

**TOWN OF WEYMOUTH
BOARD OF ZONING APPEALS APPLICATION**

TO BE COMPLETED BY STAFF

Case Number: 3257 Town Clerk Stamp
Submittal Accepted: _____ Date _____
Signature of Planning Dept. Staff for minimal requirements
Determined to be complete and may now be filed with Town Clerk: _____
Signature of Principal Planner or Director

2015 MAY 20 PM 3:48

RECEIVED
TOWN OF WEYMOUTH
TOWN CLERK'S OFFICE

PROPERTY INFORMATION - TO BE COMPLETED BY APPLICANT

PROJECT / PROPERTY STREET ADDRESS: 25 Main Street
Assessor's Map Sheet, Block, & Lot: 29-327-24 & 29-327-35
Zoning District: B-1 Overlay District: _____
OWNER OF RECORD (S) (print & sign): Brewster Main Street LLC
(The owner of record is the person or entity who owns title to the property as of today's date)
Address of owner of record: 25 Main Street, Weymouth, MA 02188
Norfolk County Registry of Deeds Book and Page No. Book 32255, Page 57
Or registered in Land Registration Office under Certificate No. Cert. #188700
NAME OF APPLICANT (S) (print & sign): George W. Brewster, Member
Applicant's Address: 25 Main Street, Weymouth, MA 02188
Contact Information: Email _____ Phone _____
Check if you are an: owner(s) ☒ lessee(s) ☐ optionee (s) ☐
NAME & AFFILIATION OF REPRESENTATIVE: Gregory F. Galvin
Address: Gregory F. Galvin, Esq., 775 Pleasant St., Weymouth, MA 02189
Contact Information: Email ggalvin@gregorygalvin.com Phone 781-340-5335
NAME OF ENGINEER AND / OR ARCHITECT: Stenbeck & Taylor, Inc.

Prior to submitting your application you must review this entire package and the Board Rules and Regulations outlining the Board's policies and procedures. Your signature signifies that you have read the required material and you will be expected to adhere to them.

I (we) hereby certify that I (we) have read the Board of Zoning Appeals Rules and Regulations and that the statements within my (our) application are true and accurate to the best of my (our) knowledge.

Applicant / Petitioner - Date (sign & print) _____

NATURE OF REQUEST

Application is for: ☒ Special Permit _____ Variance _____ Other: _____

Applicable Section of Zoning Ordinance (specify Section (s) of the Zoning Ordinance from which relief is sought):

Article VII, Section 120-24, (A) & (D)

The above relief and Ordinance sections will be further reviewed after a complete package is submitted. This may be amended by the Planning or Building staff during the application review process after having the benefit of plan to accurately advertise the application before the Board.

PETITIONER'S DESCRIPTION AND NARRATIVE:

To be completed by all Board of Appeals Applicants. Attach additional sheets as necessary.

1. Describe what is presently located on the property (use as much detail as possible including all uses and square footage of each use):

The locus is the former site of an automobile dealer's business(Ricky Smith)

2. The applicant seeks to (describe what you want to do on the property in as much detail as possible):

The applicant is seeking to remove the existing block building and to construct a metal pre-fabricated building meeting all of the required set-backs.

3. Such a use is permitted by the Town of Weymouth Zoning Ordinance under Article (insert Article, Section of the Zoning Ordinance which permits the proposed use of the property).

Article 120-23, F and by Special Permit under 120-24, A & D.

4. Are you aware if this property has been previously granted approvals from any Town Board or Commission? If so, please list (provide dates of previous approvals, book and page numbers or any recorded decisions and copies of past decisions).

No

5. Any other additional information as relevant to the Variance or Special Permit:

The applicant will close the access/egress closest to the Main Street & Washington Street (Rte 18 & 53) intersection.

ZONING COMPUTATION WORKSHEET

(To be attached with all Board of Zoning Appeals Applications)

The Zoning Computation Worksheet must be completed by the Applicant / Petitioner. All information should be measured and calculated in accordance with the Weymouth Zoning Ordinance (Section 120-51 Table 1 "Schedule District Regulations" and other applicable sections of the Zoning Ordinance). The information should be based on engineer/surveyor/architectural prepared plans and or calculations. Further guidance can also be provided by the Board's step-by-step application instructions and by contacting the Planning or Building Department while completing this section.

Data	Required	Existing	Proposed
Use			
Lot Area / Size (Sq. Ft.)	10,000'	103,464'	103,464'
Dwelling Units	N/A	N/A	N/A
Frontage (ft.)	40'	407'	407'
Lot Width (ft.)	100'	407'	407'
Front Yard Setback (ft.)	30'	28.9'	36'
Front Yard Setback (ft.) – corner lots	N/A	N/A	N/A
Side Yard Setback (ft.)	10'	54.8	28'
Side Yard Setback (ft.)	N/A	N/A	N/A
Rear Yard Setback (ft.)	10'	95'	64.6'
Height (ft.) & # of Stories	80' & 6 STORIES	30+ 2 Stories	30'
Lot Coverage	50%	18%	<50%
Off-Street Parking Spaces	see S.120-74R	150+/-	S. 120-74R
Off-Street Loading Spaces	1	1	1
Parking Setback	N/A	N/A	N/A
Accessory Structure Setback	N/A	N/A	N/A
Landscaping	15%	18.3%	15%
Floor Area Ratio	N/A	N/A	N/A
Signage	60'	unknown	60'
Other:			

SPECIAL PERMIT APPLICATION

To be completed for Special Permit Applications only.

SPECIAL PERMIT FINDINGS OF FACT

In the spaces below explain how the adverse effects of the proposal will not outweigh its beneficial impacts to the Town with respect to each of the following considerations per Article XXV, Section 120-122 of the Zoning Ordinance. The Special Permit Granting Authority may approve any such application for a special permit **only** if it finds that, in its judgment, all of the following conditions are met. (Attach additional supporting documentation as necessary).

1. Is the specific site an appropriate location for such a use? Please explain.

The site was last used for an automobile dealership. The applicant is seeking to locate his ambulance headquarters on the site. The vehicle trips will be significantly reduced.

2. Will the proposed use / structure be detrimental or adversely affect the character of the neighborhood or town? Please explain.

The site is in a high commercial area with other automobile uses abutting and across the street from the site and a service station and a storage facility also in close proximity. Residential property to the rear.

3. Is there potential for nuisance or serious hazard to vehicles or pedestrians? Please explain.

The site currently has 2 access/egress locations and the applicant proposes to close the entry located closest to the Main St.- Washington St. intersection thereby making the use less hazard to vehicles and pedestrians.

4. Will adequate and appropriate facilities, utilities and other public services be provided for the proper operation of the proposed use? Please explain.

The applicant will provide for all washing and servicing of vehicles inside the building and will have inside deliveries.

5. Will the public convenience and welfare be substantially serviced with this proposal? Please explain.

This application will provide for a new building meeting all of the required setbacks and provide for less traffic entering and exiting the site.

SUPPLEMENTARY QUESTIONS - SECTION 120-40 SPECIAL PERMITS

Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Structure or Use
(Article XIII "Nonconforming Uses" Section 120-40 "Extension or Change")

To be completed by Applicants applying for a Special Permit under Section 120-40 Only.

EXTENSION OR CHANGE FINDINGS OF FACT:

Any lawful structure or use in existences at the time the Zoning Ordinance was adopted or amended may be extended or altered, provided that no such extension or alteration shall be permitted unless there is a finding by the Board of Zoning Appeals that such change, extension or alteration shall not be substantially more detrimental than the existing nonconforming use or structure to the neighborhood.

1. Describe what is currently nonconforming about this structure (list specific dimensional nonconformities):

N/A

2. Indicate how long the nonconforming aspects of the structure have been in existence:

N/A

3. At the time the nonconformity was created (the structure or use initiated) was it compliant with the current zoning requirements? Past zoning ordinances are available for research at the Town Clerk's office and Planning Department. Past zoning maps are available at the Planning Department.

N/A

4. Explain how the extension, alteration, or change itself complies with the current Zoning Ordinance requirements:

N/A

5. Indicate the number of off-street parking spaces currently provided and to be provided for the proposed structure as extended, altered or changed:

Currently there are approximately 150 parking spaces. The applicant will have 90 outdoor parking spaces together with 44 inside spaces

6. Explain how the use or structure as extended, altered or changed will not be substantially more detrimental to the neighborhood than the existing structure:

N/A

VARIANCE APPLICATION

To be completed for Variance applications only.

VARIANCE FINDINGS OF FACT:

Criteria for approval. The Board may approve any such application for a Variance **only** if it finds that, in its judgment, all of the following conditions are met.

Complete the following questions. Your responses should provide justifications as to why the requested Variance(s) should be granted. Attach additional documentation as necessary.

1. Describe how a literal enforcement of the provision of the Town of Weymouth Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner.

N/A

2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located.

N/A

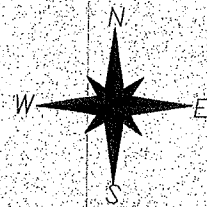
3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the Town of Weymouth Zoning Ordinance.

N/A

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship.

N/A

NOTE THAT THE LAW DOES NOT PERMIT THE BOARD TO GRANT A VARIANCE UNLESS ALL OF THE REQUIREMENTS SET FORTH IN CHAPTER 40A SECTION 10 OF THE GENERAL LAWS AND IN ARTICLE XXIV SECTION 120-119 OF THE WEYMOUTH ZONING ORDINANCE ARE SATISFIED. EACH OF THE ABOVE FINDINGS MUST BE ANSWERED IN DETAIL. ATTACH ADDITIONAL SHEETS IF NECESSARY.



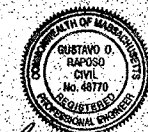
SITE PLAN

PARCELS: 29-327-24 & 29-327-35

25 MAIN ST.

WEYMOUTH, MA

APRIL 1, 2015



Gustavo D. Raposo
4/1/15

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- Sheet 3: Developed Conditions Plan
- Sheet 4: Proposed Grading And Utilities Plan
- Sheet 5: Landscape Plan
- Sheet 6: Landscape Plan Details
- Sheet 7: Construction Details Plan
- Sheet 8: Fuel Tank Plan

Prepared For
George Brewster

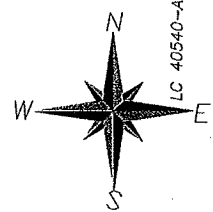
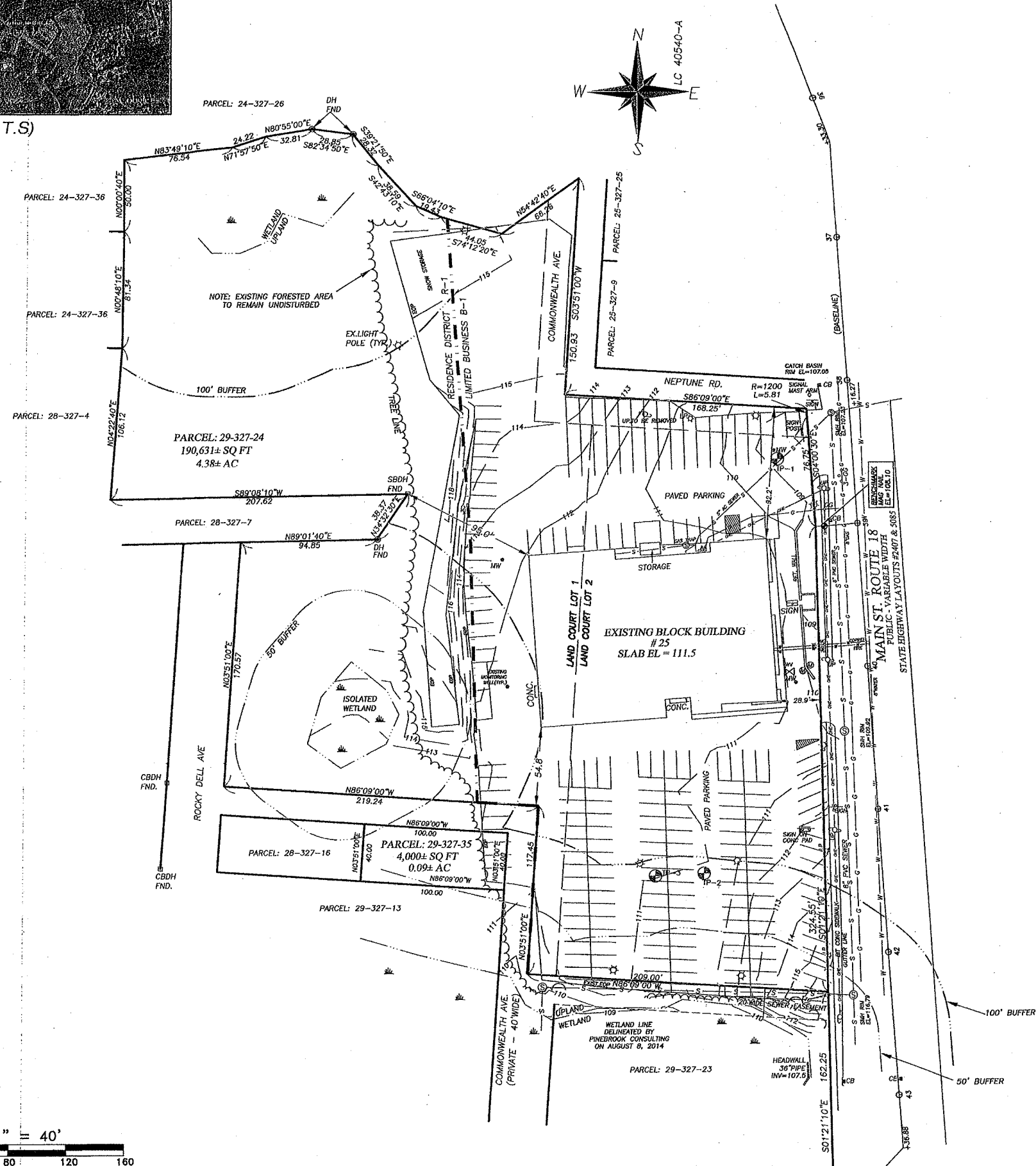
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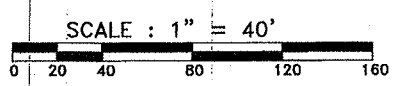




LOCUS MAP (N.T.S)



LC 40540-A



ZONING COMPLIANCE TABLE							
LIMITED BUSINESS B1							
	LOT AREA	LOT WIDTH	SIDE YARD	FRONT YARD	REAR YARD	LOT COVERAGE	BLDG. HT.
REQUIRED	10,000 SF.	100 FT.	10 FT.	30 FT.	10 FT.	50% MAX. & LANDSCAPE AREA IN FRONT YARD	6 STORIES NOT > 80FT
EXISTING	103,464 SF.	407 FT.	54.8 FT.	28.9 FT.	95 FT.	18.3%	

ZONING COMPLIANCE TABLE							
RESIDENCE DISTRICT R1							
	LOT AREA	LOT WIDTH	SIDE YARD	FRONT YARD	REAR YARD	LOT COVERAGE	BLDG. HT.
REQUIRED	25,000 SF.	120 FT.	10 FT. OR 20 FT. FROM ANOTHER BUILDING	18 FT.	24 FT. OR 1/5 LOT DEPTH	30% MAX.	35 FT. 2 1/2 ST.
EXISTING	91,167 SF.	N/A	N/A	N/A	N/A	N/A	N/A

NOTES

THE LOCUS IS LOCATED IN FLOOD ZONE X AS SHOWN ON F.I.R.M. MAP 25021C0229E EFFECTIVE DATE JULY 17, 2012.

ELEVATIONS ARE BASED ON CITY OF WEYMOUTH DATUM

- PLAN REFERENCES**
- NORFOLK COUNTY REGISTRY OF DEEDS
- DEED REFERENCES:**
- BK 32255 PG 57
- LC CERT #188700
- PLAN REFERENCES:**
- LC PLAN 40540-A
- PLAN BK 19 PG 881
- MASS HIGHWAY LAYOUTS: 5085-1, 2407, 2406, 834-4, 834-3
- "PLAN OF LAND, WEYMOUTH AUTO MALL, 25 MAIN STREET, WEYMOUTH, MASSACHUSETTS" DATED 5/13/2013, BY HOYT LAND SURVEYING
- "SITE PLAN OF LAND, 25 MAIN STREET, WEYMOUTH, MASS." DATED 03/17/1997 BUT C.F. ARNOLD ASSOCIATES, INC.

Utility Disclaimer: Note - Locations of all utilities and subsurface structures are based upon field location of visible structures and records of public and private utility companies and are considered approximate, both as to size and locations. They are indicated on these drawings to give a general idea of existing conditions and may not be complete, and must be verified in the field prior to any proposed design, excavation, or construction.

Stenbeck & Taylor, Inc. assumes no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.

Dig-Safe should be notified prior to construction at 1-888-344-7233

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Marblehead, MA 02050
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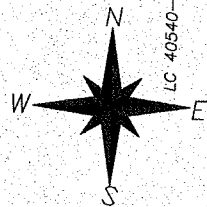
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Checked By: RVS
Scale: 1"=40'
Date: 4/1/15
Job No.: 8091
Plan No.: 8091 Brewster
Sheet No. 2 OF 8

Revisions

Drawn For: George Brewster
EXISTING CONDITIONS PLAN
PARCEL: 29-327-24 & 29-327-35
25 MAIN ST.
WEYMOUTH, MA

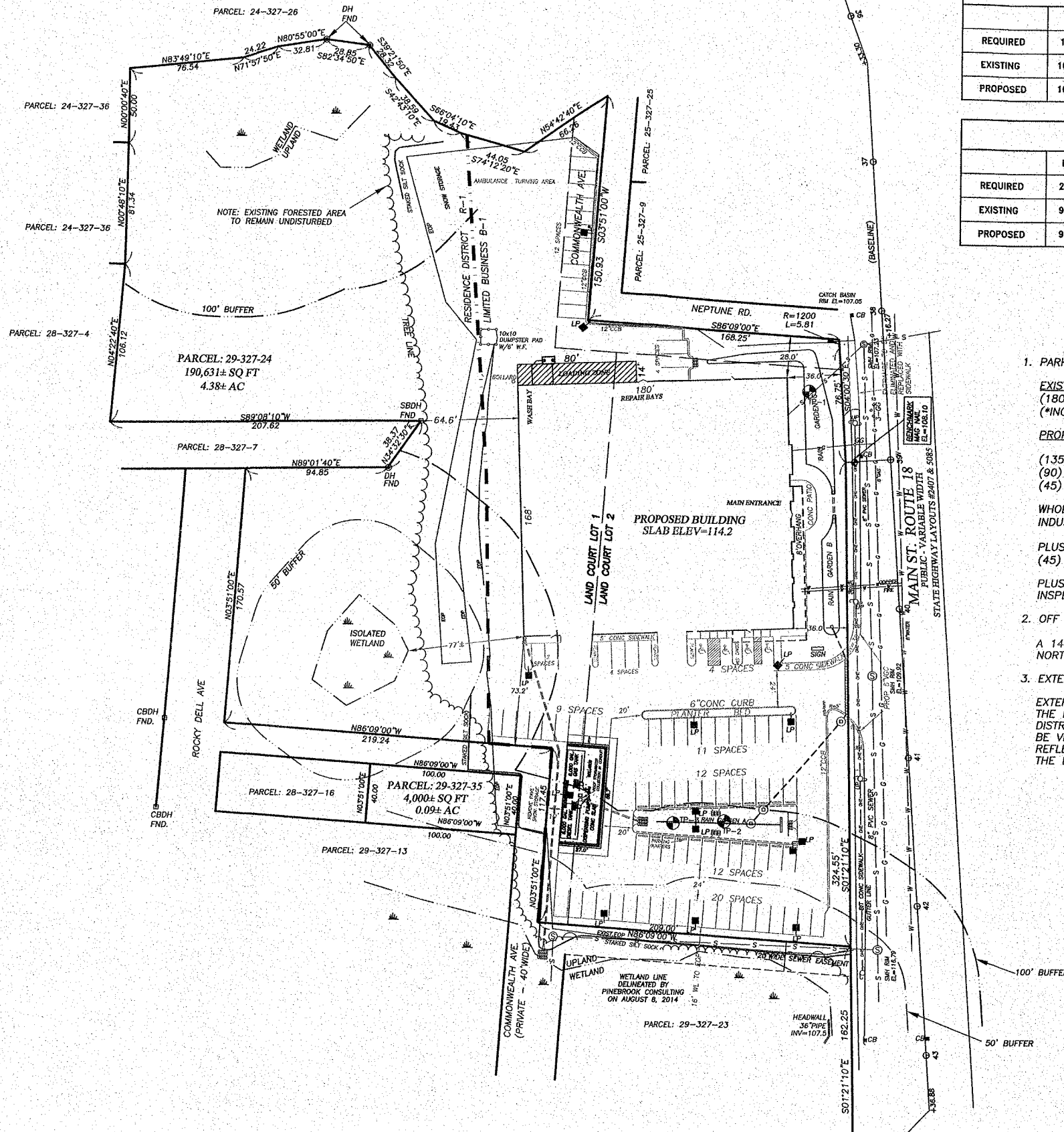
8091

LOCUS MAP (N.T.S)



SCALE : 1" = 40'

DIG SAFE
ANYONE WHO EXCAVATES ON PUBLIC OR PRIVATE PROPERTY MUST NOTIFY UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO DIGGING, EXCEPT IN AN EMERGENCY. THE EXPENSE OF REPAIRING DAMAGED FACILITIES GOES TO THOSE RESPONSIBLE FOR DAMAGING THEM. NOTIFY DIG-SAFE AT 1-888-344-7233 TO MARK FACILITIES ON THE GROUND PRIOR TO EXCAVATING.



ZONING COMPLIANCE TABLE LIMITED BUSINESS B1							
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REQUIRED	10,000 SF.	100 FT.	10 FT.	30 FT.	10 FT.	50% MAX. & LANDSCAPE AREA IN FRONT YARD	6 STORIES NOT > 80FT
EXISTING	103,464 SF.	407 FT.	54.8 FT.	28.9 FT.	95 FT.	18.3%	
PROPOSED	103,464 SF.	407 FT.	28 FT.	36 FT.	64.6 FT.	29.3%	30 FT.

ZONING COMPLIANCE TABLE RESIDENCE DISTRICT R1							
	LOT AREA	LOT WIDTH	SIDE YARD	FRONT YARD	REAR YARD	LOT COVERAGE	BLDG. HT.
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EXISTING	91,167 SF.	N/A	N/A	N/A	N/A	N/A	N/A
PROPOSED	91,167 SF.	N/A	N/A	N/A	N/A	N/A	N/A

NOTES

THE LOCUS IS LOCATED IN FLOOD ZONE X AS SHOWN ON F.I.R.M. MAP 25021C0229E EFFECTIVE DATE JULY 17, 2012.

ELEVATIONS ARE BASED ON CITY OF WEYMOUTH DATUM

1. PARKING:

EXISTING PARKING
(180) EXISTING SPACES*
(*INCLUDES STACKED PARKING BAYS)

PROPOSED PARKING

(135) TOTAL
(90) PROPOSED SPACES OUTSIDE
(45) PROPOSED INSIDE BUILDING

WHOLESALE ESTABLISHMENTS
INDUSTRIAL USES: ONE SPACE/EACH 2 EMPLOYEES

PLUS ONE SPACE/EACH COMPANY OWNED & OPERATED VEHICLE
(45) AMBULANCE SPACES PROVIDED INSIDE BUILDING

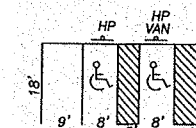
PLUS SPACES FOR CUSTOMERS AS DETERMINED BY BUILDING INSPECTOR

2. OFF STREET LOADING:

A 14' X 80' LOADING ZONE IS PROPOSED ADJACENT TO THE NORTHWEST CORNER OF THE BUILDING.

3. EXTERIOR LIGHTING:

EXTERIOR LIGHTING SHALL BE SHIELDED OR REFLECTED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM ANY RESIDENTIAL DISTRICT. EXTERIOR LIGHTING, THE SOURCE OF WHICH WOULD BE VISIBLE FROM ANY PUBLIC STREET, SHALL HAVE ITS SOURCE REFLECTED OR RETRACTED SO AS TO DIRECT AND DISTRIBUTE THE LIGHT TO MINIMIZE GLARE.



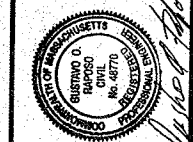
PROPOSED PARKING SPACE DIMENSIONS

LEGEND

- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE

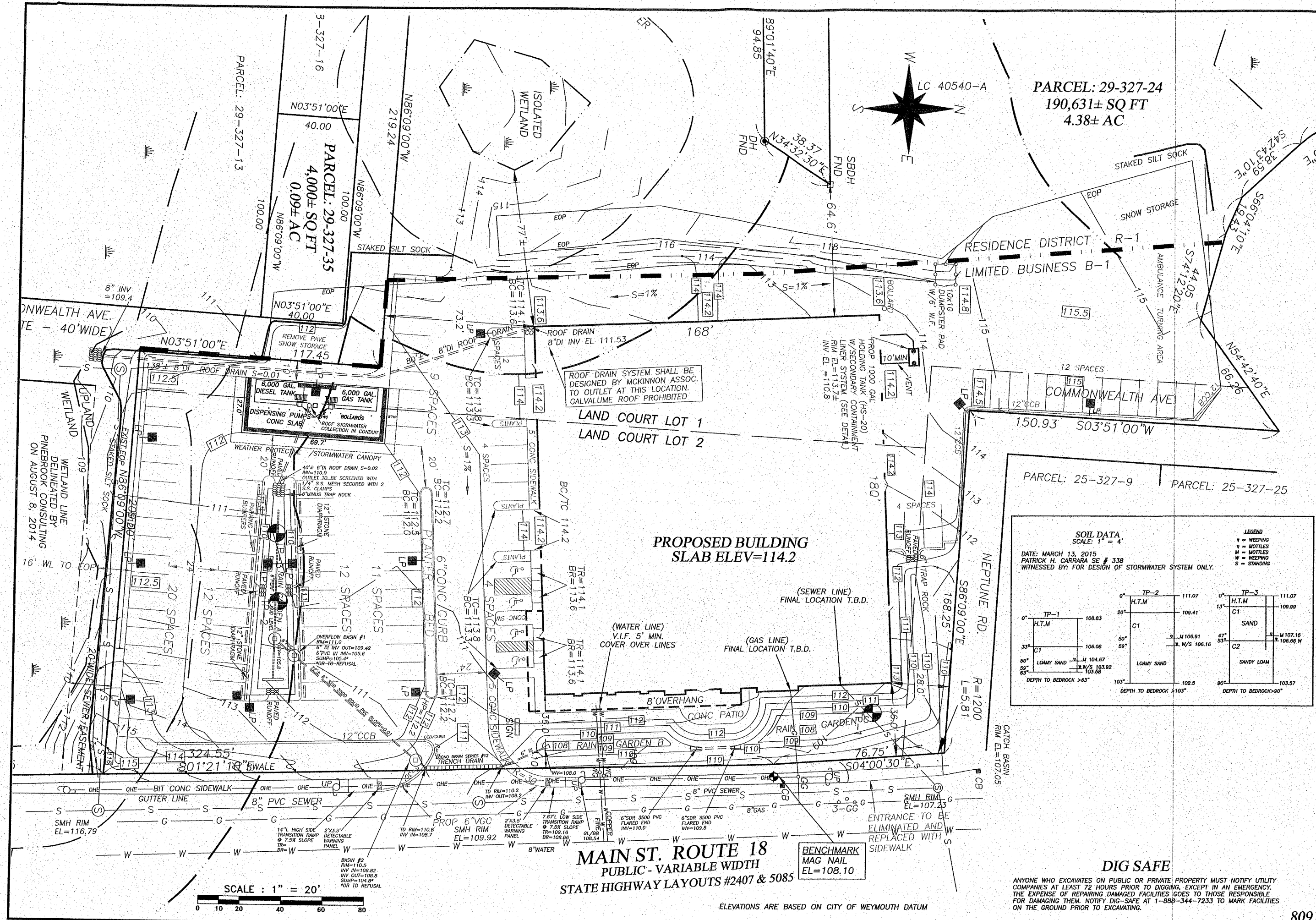
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Job No.: 8091
Plan No.: 8091 Brewster
Sheet No. 3 OF 8



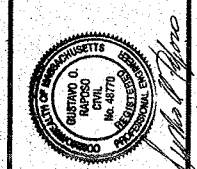
Revisions

Drawn For : George Brewster
DEVELOPED CONDITIONS PLAN
PARCEL: 29-327-24 & 29-327-35
25 MAIN ST.
WEYMOUTH, MA



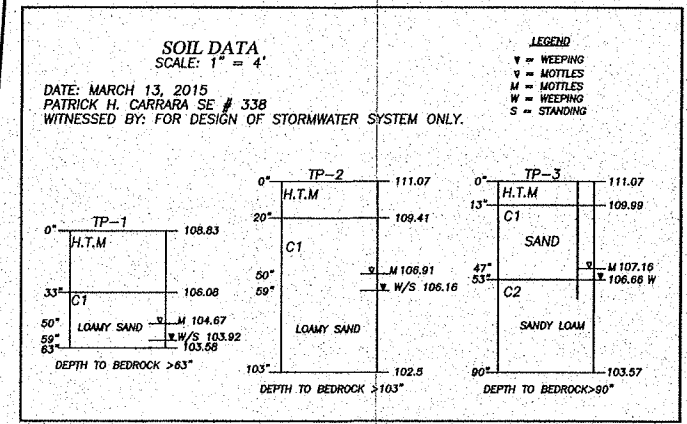
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Checked By: BTJ
Scale: 1"=20'
Date: 4/1/15
Job No.: 8091
Plan No.: 8091 SITE
Sheet No. 4 OF 8

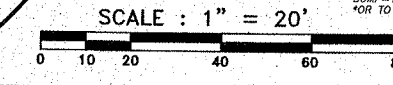


Revisions	

Drawn For: George Brewster
PROPOSED GRADING & UTILITY PLAN
PARCEL: 29-327-24 & 29-327-35
25 MAIN ST.
WEYMOUTH, MA

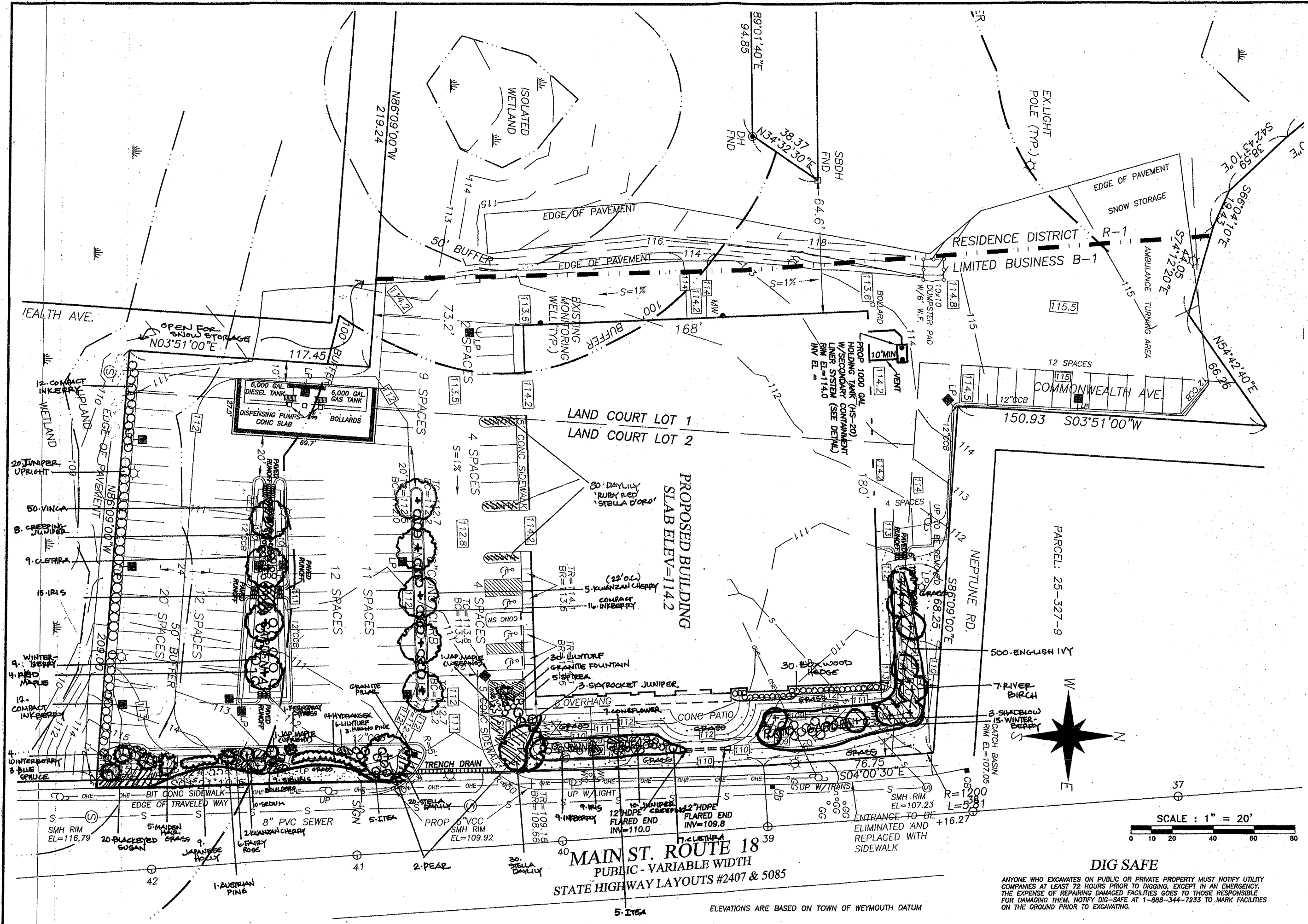


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MAIN ST. ROUTE 18
PUBLIC - VARIABLE WIDTH
STATE HIGHWAY LAYOUTS #2407 & 5085

ELEVATIONS ARE BASED ON CITY OF WEYMOUTH DATUM



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CMG
Landscape Architecture
CMG Design
Carm Gosselin
203 Cross Street
Norwell, MA 02061
781-249-2211

Revisions

Drawn For: George Brewster
Landscape Plan
PARCEL: 29-327-24
25 MAIN ST.
WEYMOUTH, MA

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Checked By: BT
Scale: 1"=20'
Date: 02/2015
Job No.: 8091
Plan No.: 8091SITE
Sheet No. 5 OF 8

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Sheet No. 6 OF 8

Landscape Plan Landscape Plan Details

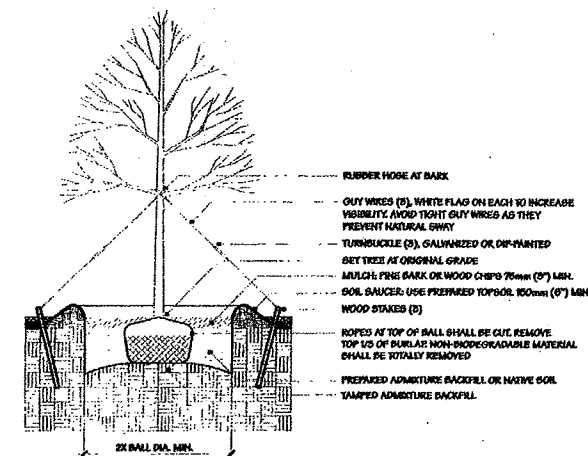
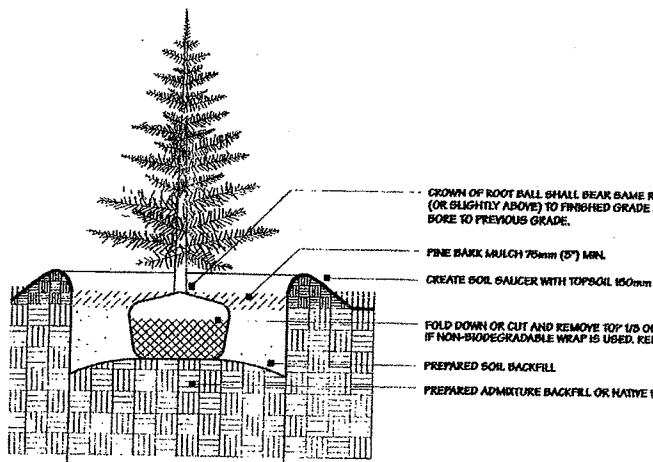
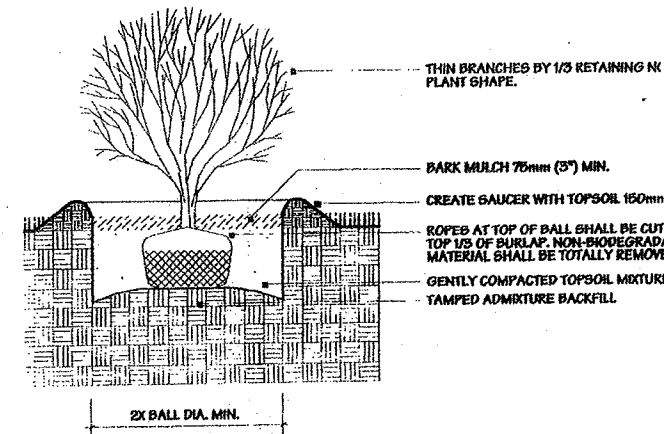
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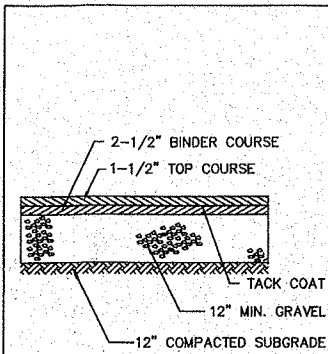
25 Main Street

Weymouth, MA

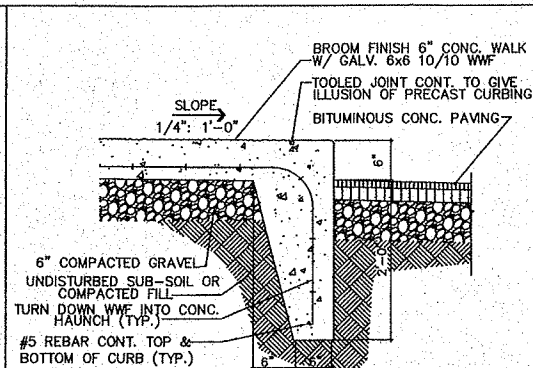
Plant Schedule

Qty.	Latin Name	Common Name	Size	Features
1	Acer palmatum Orange Dream	Japanese Maple	5-6'	Specimen tree, slow growing, 20' Max Ht, brilliant color
1	Acer palmatum Dazzle Queen	Cutleaf Red Japanese Maple	3-4'	Weeping habit, flowing over the boulders, great red leaves
4	Acer rubrum 'October Glory'	Red Maple	3"cal.	Stormwater plant, water tolerant, oval canopy, no care
3	Amelanchier Canadensis	Shadblow Serviceberry	8-10'	White spring flowers, stormwater plant, native
7	Betula nigra	Clump River Birch	8-10'	White bark, oval canopy, disease resistant, great year round
30	Buxus microphylla Green Velvet	Green Velvet Boxwood	24-30"	Dwarf, slow growing, rounded natural habit, winter hardy
1	Chamaecyparis Gold Cypress	Fernspray Gold Cypress	4-5'	20' Max Ht., great coloring, hardy, evergreen, great habit
16	Clethra	Summersweet	2-3'	Summer fragrant white flowers, stormwater, native
7	Echinacea	Coneflower	1 Gal.	Perennial, hardy, stormwater plant, elegant
500	Hedera Helix	English Ivy	25/Tray	Evergreen groundcover for stormwater, very hardy, low
80	Hemerocallis 'Stella d' Oro'	Stella d'Oro Daylily	1 Gal.	Yellow flowers for 60-90 days, hardy, 18"H
50	Hemerocallis 'Ruby Red'	Ruby Red Daylily	1 Gal.	Red with yellow center for 60-90 days, hardy, 18"H
14	Hydrangea Macrophylla Endless Summer	Endless Summer Hydrangea	3 Gal.	Color all summer, blooms on old wood and new wood, hardy
9	Ilex crenata compacta	Compact Japanese Holly	3 Gal.	Rounded habit, evergreen, compact slow growing, dark leaf
28	Ilex verticillata (25 female, 3 male)	Sparkleberry Winterberry	3 Gal.	Red winter berries, eye catching, very hardy, native
49	Ilex glabra compacta	Compact Ligberry	24-30"	Compact variety staying smaller, hardy evergreen, rounded
24	Iris laevis	Wetland Iris	1 Gal.	Wetland compatible for stormwater, purple flowers
9	Iris Siberian Caesar's Brother	Purple Siberian Iris	1 Gal.	30"H, likes moisture, elegant thin leaves, June flowers, sun
10	Ilex 'Little Henry'	Ilex	3 Gal.	Dwarf Habit, white spring flowers, very hardy, red fall color
20	Juniperus communis 'Compressa'	Common Upright Juniper	4-5'	Evergreen, hardy, wetland tolerant plant, no care
18	Juniperus horizontalis 'Bar Harbor'	Creeping Juniper	2 Gal.	Very hardy, evergreen, stormwater plant, no care
3	Juniperus scopulorum Skyrocket	Skyrocket Juniper	6-7'	Upright, columnar shape, hardy evergreen, more narrow
36	Liriodendron Big Blue	Lily Turf	1 Gal.	Clump Dark green leaves, 12-15"H, violet color, low growing
5	Miscanthus sinensis Gracillimus	Maiden Miscanthus Grass	2 Gal.	5-8' Arching leaves, vase shaped, October bloom, green
3	Picea pungens Glauca	Colorado Blue Spruce	10-12'	Evergreen, blue needles, large growing tree
3	Pinus nigra	Compact Mugo Pine	3 Gal.	Dwarf habit, slow growing, long needles, hardy
7	Prunus serrulata Kwanzan	Austrian Pine	7-8'	Hardy evergreen tree, long needles, stiff habit
2	Pyrus calleryana Cleveland Select	Kwanzan Cherry Tree	2.5-3'	Double pink flowers in mid-spring, hardy ornamental
6	Rosa Fairy Tea	Cleveland Pear Tree	3-3.5'	Oval canopy, white early spring flowers, hardy street tree
20	Rudbeckia Goldsturm	Fairy Tea Rose	2 Gal.	Small shrub, pink double blossoms, easy care, hardy
10	Sedum Stonecrop 'Autumn Fire'	Black Eyed Susan	1 Gal.	Yellow flowers, dark center, 24"H, sun, Aug-Sept.
5	Spiraea 'Magic Carpet'	Stonewort Sedum	1 Gal.	30"H, Bronze Sept/Oct. flowers, sun loving
50	Vinca minor	Magic Carpet Spiraea	3 Gal.	Pink summer flowers, yellow leaves, compact, 18"H
		Common Periwinkle	25/Tray	Evergreen groundcover, purple flowers, hardy

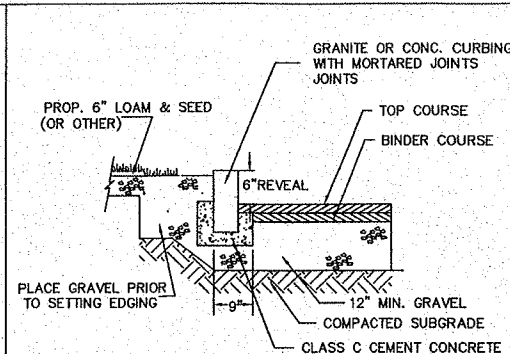




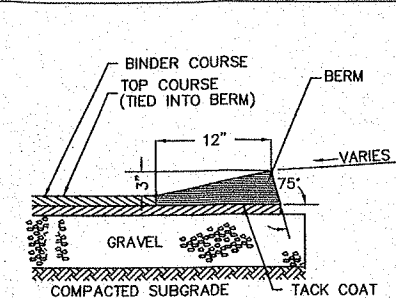
PAVEMENT DETAIL
NOT TO SCALE



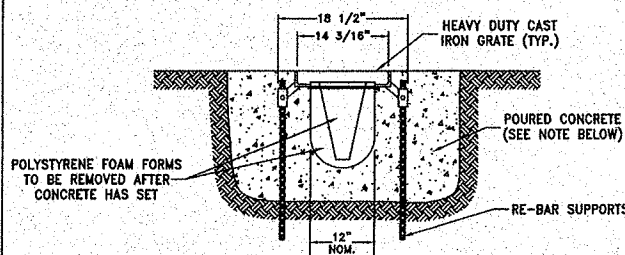
CONCRETE SIDEWALK/CURB DETAIL (TYP.)
NOT TO SCALE



VERTICAL CURB DETAIL (TYP.)
NOT TO SCALE

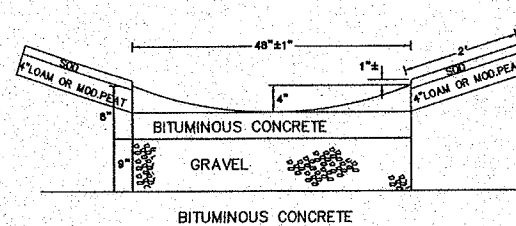
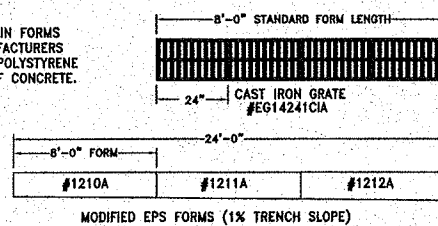
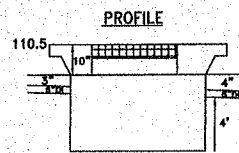


CAPE COD BERM DETAIL (TYP.)
NOT TO SCALE

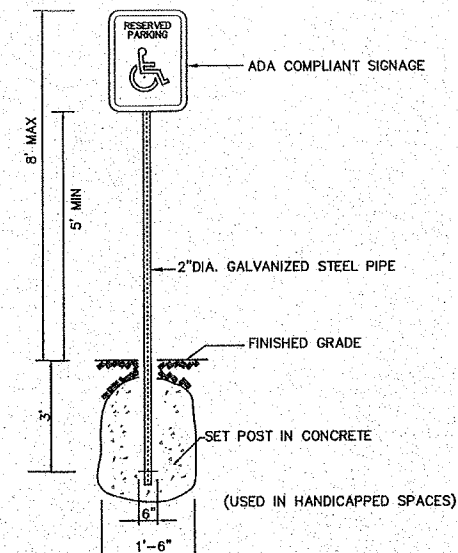


ECONODRAIN® TRENCH DRAIN SYSTEM #12 SERIES DETAIL
NOT TO SCALE

INSTALLATION NOTE:
THE CONTRACTOR SHALL INSTALL TRENCH DRAIN FORMS AND CONCRETE IN CONFORMANCE WITH MANUFACTURERS RECOMMENDED PROCEDURE TO PREVENT THE POLYSTYRENE FORMS FROM FLOATING DURING PLACEMENT OF CONCRETE.



PAVED WATERWAYS
NOT TO SCALE



VAN ACCESSIBLE SIGN DETAIL
NOT TO SCALE

NOTES & SPECIFICATIONS

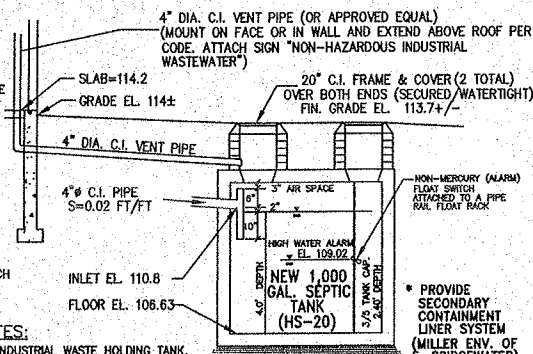
1. THE DESIGN INTENT IS TO INSTALL AN INDUSTRIAL WASTE HOLDING TANK SYSTEM. PER 314 CMR 18.08 FOR FLOOR DRAINS.
2. THE PREPARATION OF THIS PLAN DOES NOT GUARANTEE THAT THE SYSTEM WILL BE INSTALLED AS DESIGNED, NOR DOES THIS PLAN GUARANTEE THE OPERATION OF THE SYSTEM.
3. CONTRACTOR TO EXCAVATE AND INSTALL THE INDUSTRIAL WASTE HOLDING TANK IN ACCORDANCE WITH D.E.P. REQUIREMENTS.
4. CONTRACTOR SHALL NOT DISTURB EXISTING STRUCTURES OR SYSTEMS.
5. ALL VENT PIPING (UNLESS NOTED) SHALL BE 4" CAST IRON.
6. ALL DISTURBED AREAS ARE TO BE RESTORED TO MATCH EXISTING CONDITIONS.

INDUSTRIAL WASTE HOLDING TANK NOTES:

NEW HIGH FLUID LEVEL ALARM TO BE INSTALLED IN THE INDUSTRIAL WASTE HOLDING TANK. THE AUDIBLE & VISUAL ALARM PANEL TO BE LOCATED WITHIN ELEC. ROOM IN THE BUILDING. SECONDARY AUDIBLE & VISUAL ALARM PANEL TO BE LOCATED OUTSIDE THE ELEC. ROOM. CONSTRUCTION MUST BE IN STRICT ACCORDANCE WITH THIS PLAN. NO CHANGES SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

OPERATION & MAINTENANCE PLAN

OPERATOR OF FACILITY TO HAVE A WRITTEN CONTRACT WITH A LICENSED WASTE HAULING & DISPOSAL FIRM TO REMOVE THE TANK CONTENTS AND PROPERLY DISPOSE OF WASTEWATER. A COPY OF THE CONTRACT TO BE PROVIDED TO THE D.E.P./BOH. TELEPHONE NUMBER TO BE POSTED ON AND NEAR ALARM PANEL. PROPER DOCUMENTATION ON WASTEWATER DISPOSAL TO BE SUBMITTED TO THE D.E.P./BOH. THE INDUSTRIAL WASTE HOLDING TANK IS TO BE PUMPED WHEN THE ALARM IS ACTIVATED. INDUSTRIAL WASTE HOLDING TANK IS TO BE COMPLETELY PUMPED AT LEAST ONCE PER YEAR.



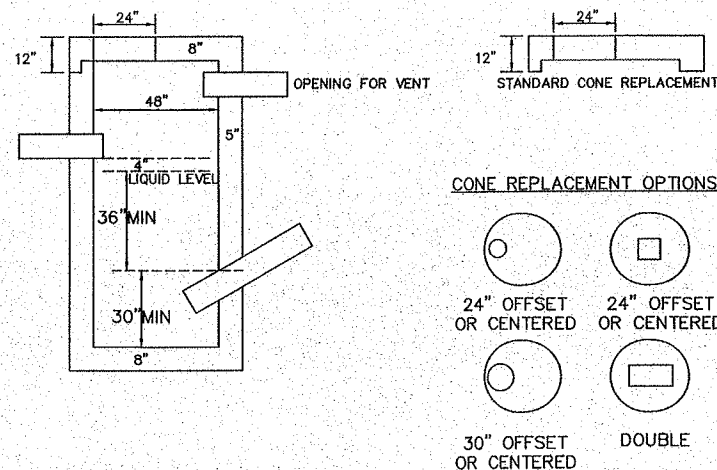
SYSTEM PROFILE (OR APPROVED EQUAL)
(NOT TO SCALE)

HOLDING TANK DETAIL
NOT TO SCALE

MDC GAS TRAP

NOT TO SCALE

4" INSIDE DIAMETER, 5" WALLS
H2O
LIQUID LINE TO TOP MEASUREMENT VARIES



NOTES

1. HOLES CORED TO YOUR PLANS/SPECIFICATIONS. DRAWINGS OR PLANS MUST BE SUBMITTED PRIOR TO ANY CORING.
2. CONCRETE STRENGTH f'c 4000PSI@28 DAYS. DENSITY 150 PCF. 5000 PSI AVAILABLE
3. CEMENT, PORTLAND TYPE II OR III, ASTM C150-B1
4. FIBER, ADMIXTURES, AIR & PLASTICIZERS PER ASTM C233-82
5. DESIGN LOADING AASHTO HS20-44; ASTM C478 SPECS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS
6. BUTYL RESIN JOINT SEAL CONFORMS TO LATEST ASTM C913 & C443 SPECS
7. OPTIONAL STEEL REINFORCED PLASTIC STEPS MEET ASTM C478 SPECS -- AVAILABLE

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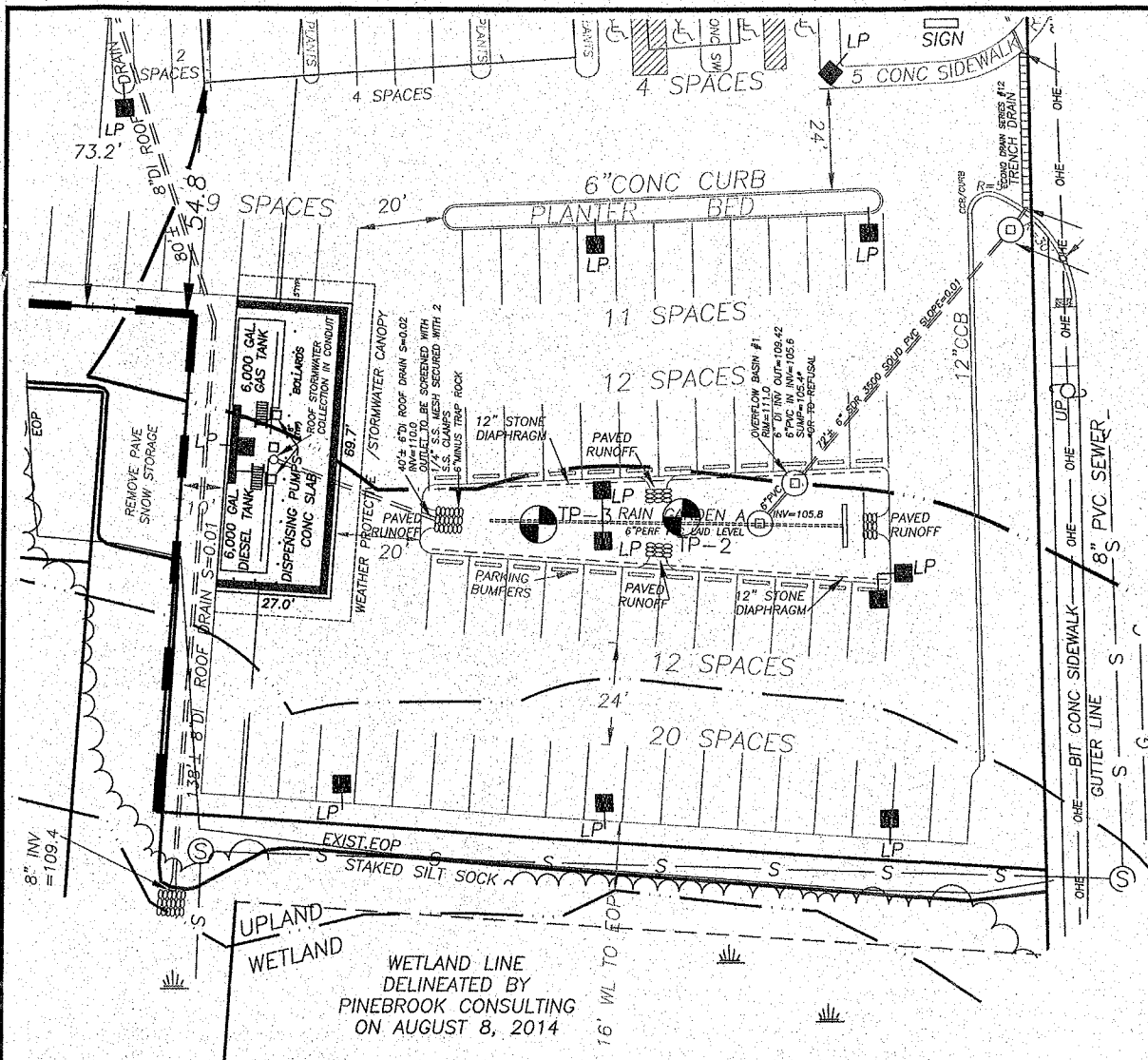
Drawn By: CT
Checked By: BJT
Scale: AS NOTED
Date: 4/1/15
Job No.: 8091
Plan No.: 8091 Brewster
Sheet No.: 7 OF 8

Revisions

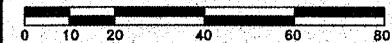
CONSTRUCTION DETAILS
PARCEL: 29-327-24 & 29-327-35
25 MAIN ST.
WEYMOUTH, MA

Drawn For: George Brewster

8091

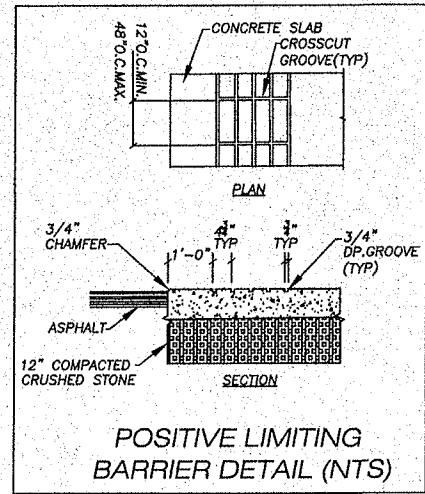


SCALE : 1" = 20'



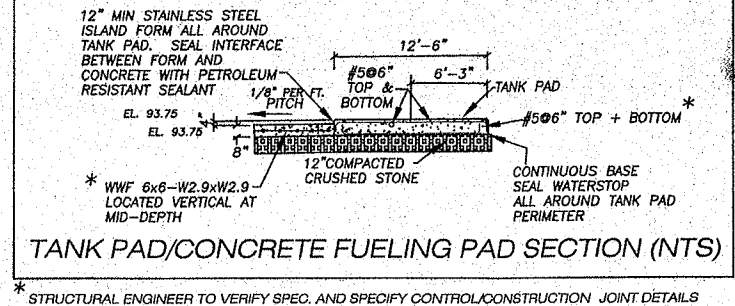
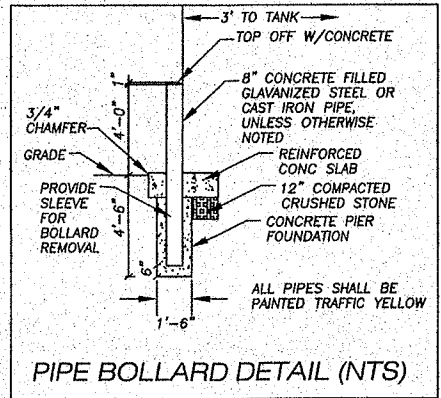
- NOTE:
- 20# PORTABLE FIRE EXTINGUISHERS TO BE MOUNTED ON SIDES OF STAIRWAYS
 - ALL DESIGN, CONSTRUCTION, AND INSTALLATION SHALL CONFORM TO NFPA 30-2003, 527 CMR 9.00 AND ALL APPLICABLE STATE AND LOCAL CODE REQUIREMENTS
 - PUMPS TO BE EQUIPPED WITH AUTOMATIC BREAKAWAY NOZZLES AND CHECK VALVES

ELECTRICAL NOTE:
ALL ELECTRICAL EQUIPMENT FOR USE IN THE TANK LOCATION SHALL BE LISTED FOR HAZARDOUS LOCATIONS USE AN "EMERGENCY SHUT OFF SWITCH" SHALL BE LOCATED IN AN AREA APPROVED BY THE WIRING INSPECTOR AND VISIBLE FROM THE DISPENSER. THE TANKS SHALL BE EQUIPPED WITH GROUNDING LUGS AND BE GROUNDED THROUGH THE RAILS TO THE REINFORCED CONCRETE PAD.



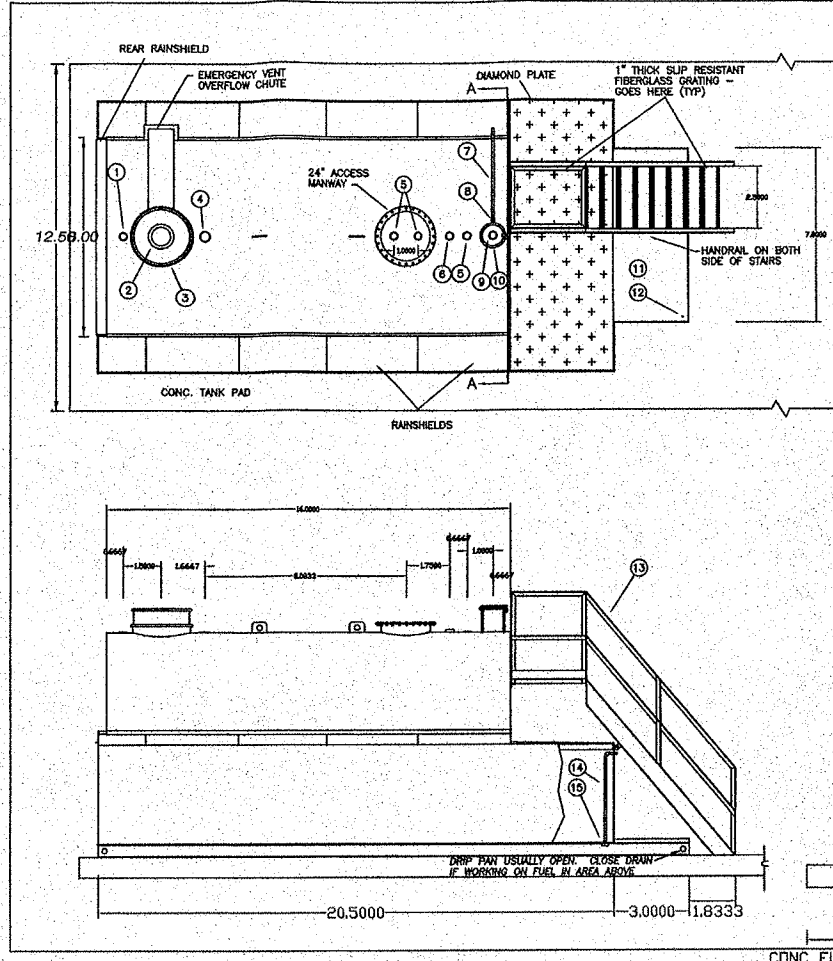
AREO-POWER STANDARD TANKS - CAPACITY & DIMENSIONS

TANK CAPACITY - 6,000 GAL
SAFETY CONTAINMENT - 6,600 GAL
CONTAINMENT DIMENSIONS - 20'6" x 10'10" x 4'
SHIPPING WEIGHT - 13,000 LBS



* STRUCTURAL ENGINEER TO VERIFY SPEC. AND SPECIFY CONTROL/CONSTRUCTION JOINT DETAILS

CROSS SECTION (NTS)



ITEM	DESCRIPTION
1	3" NORMAL VENT FITTING
2	8"-8 OZ. EMERGENCY VENT - SHIPPED LOOSE
3	VENT DEFLECTOR ASSEMBLY - SHIPPED LOOSE
4	4" FITTING
5	3" FITTING
6	3" FCP/LG
7	1" OVERFLOW PIPE - SHIPPED LOOSE
8	1" PIPE UNION
9	4" FILL FITTING
10	FILL CONTAINMENT CHAMBER
11	DRIP PAN PLATFORM WITH 2" LIP
12	1/2" DRAIN FITTING
13	STAIRS, PLATFORM AND HANDRAIL-SHIPPED LOOSE
14	3/4" PUMPOUT PIPE
15	3" PIPE CAP SUMP
16	6" WF (S)

- NOTES**
- PRIMARY TANK: SHELL - 1/4" HEAD - 5/16"
 - MATERIAL - MILD CARBON STEEL
 - TEST AT 5-7 PSIG.
 - ENTIRE UNIT LISTED.
 - EXTERIOR FINISH - SEE BELOW
 - INTERIOR LINING - SEE BELOW
 - ALL DIMENSIONS APPROXIMATE.

AREO-POWER®			
TITLE	6000 GAL. AREO FUELER	REV #	REV DATE
U.S. PATENT #	4890272	CANADIAN PATENT APPLIED FOR	
SCALE	1"=10'	DRAWN BY	DATA NO.
1/4"=1'	8/1/92	APB660	

Recommended Specifications for Areo-Power Storage Tanks

A. General
The above-ground storage tank shall be as manufactured by Areo-Power Utilized Fuels, Inc., and as shown on tank construction drawing number APB660.
The unit shall consist of a steel 6000 gal. above-ground horizontal cylindrical storage tank mounted on saddles within a containment dike providing secondary containment of at least 110% of primary tank capacity.
The entire tank / dike assembly shall be listed by Underwriters Laboratories, Inc. (UL) and labeled with the UL "Closed Top Diked Aboveground Tank for Flammable Liquids" label.

B. Materials
The tank, dike and all steel appurtenances shall be fabricated from commercial or structural grade carbon steel. Only new materials shall be used.
All carbon steel shall comply with the latest edition of the Specification for Structural Steel, ASTM A36; or the Specification for Steel, Carbon (0.15 Maximum, Percent), Hot Rolled Sheet and Strip, Commercial Quality ; ASTM A569.

C. Size and Dimensions
The primary tank shall be 96" diameter by 16'0" long. The shell steel thickness shall be 1/4" and tank heads shall be 5/16".
The containment dike shall be 10'10" wide by 20'6" long by 4'0" high. The containment dike steel thickness shall be 1/4".

D. Primary Tank Fittings
All fittings will be sized and located as indicated on tank construction drawing number APB660.
All fittings shall be protected with plastic thread protectors to prevent damage to threads and minimize foreign matter from entering the tank during shipping.

E. Assembly and Appurtenances
The tanks will be furnished with 6" high steel supports.
The containment dike shall be furnished with support dunnage to allow for visual inspection of containment dike bottom. The size and location of supports shall be as indicated on tank construction drawing number APB660.
The unit will be provided with a drip pan type pump platform of the size and location indicated on drawing number APB660.
The unit shall be provided with removable 12 ga. (min) steel rainshields designed to minimize water and debris from entering the diked area. The rainshield design will allow for easy visual interior dike inspection while allowing the dike area to be naturally ventilated to avoid possible vapor collection.
The primary tank shall be provided with a fill containment sump designed to contain spills of up to 3 gal.(approximately) in a tank top reservoir while a 1" sch 40 overflow pipe diverts spills in excess of 3 gal in to the containment dike.
The tank shall be furnished with a 8" emergency vent designed to relieve internal tank pressure in excess of 0.5 psig. The emergency vent shall have a 419,261 cubic feet per hour (cfh) rating at 2.5 psig.
The tank assembly shall be provide with an emergency vent protection hood designed to prevent snow, ice and debris from rendering the emergency vent ineffective while allowing the vent to operate as intended. The hood shall provide a cross sectional venting area of 160 square inches.
An emergency vent diverter shall be provided such that under emergency conditions the first 9 gallons (approximately) of product emitted from the emergency vent will be contained in a tank top reservoir using a weir plate. Emissions in excess of 9 gallons shall be directed to the containment dike via a chute of rectangular cross section having an area of 48 square inches.
The containment dike shall be provided with a sump and 3/4" sch 40 drawoff pipe to allow liquid to be pumped out of the dike.
The unit will be provided with stairs, landing and handrails designed in accordance with OSHA requirements. The top of the staircase shall attach to the front head of the tank to allow easy tank top filling. The stair frame and handrails shall be fabricated from carbon steel. Stair treads and fill platforms shall be constructed of slip resistant grating.
The tank and dike shall be provided with separate lifting lugs such that the primary tank and dike may be lifted separately.

F. Exterior Coating for Steel Parts
All exterior steel surfaces (including the interior of the containment dike) shall be factory coated with red oxide primer.
-or-
All exterior steel surfaces (including the interior of the containment dike) shall be factory grit blasted to the Steel Structures Paint Councils Surface Preparation Specification No. 7 (SSPC-SP7) and coated with the manufactures standard high solids gray primer.
-or-
All exterior steel surfaces (including the interior of the containment dike) shall be factory grit blasted to the Steel Structures Paint Councils Surface Preparation Specification No. 7 (SSPC-SP7) and coated with the manufactures standard white finish (epoxy, polyurethane, enamel at manufacturers option).

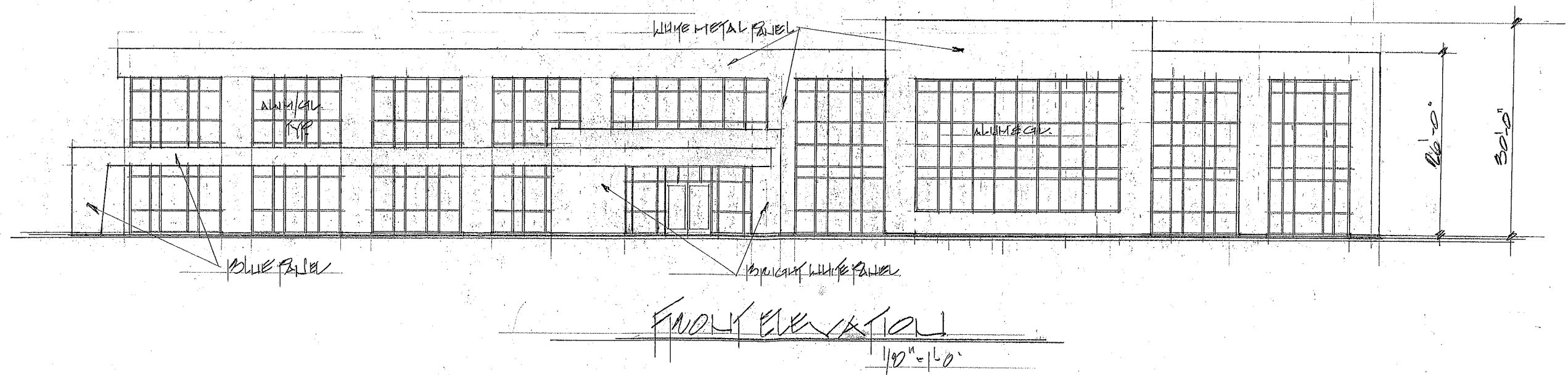
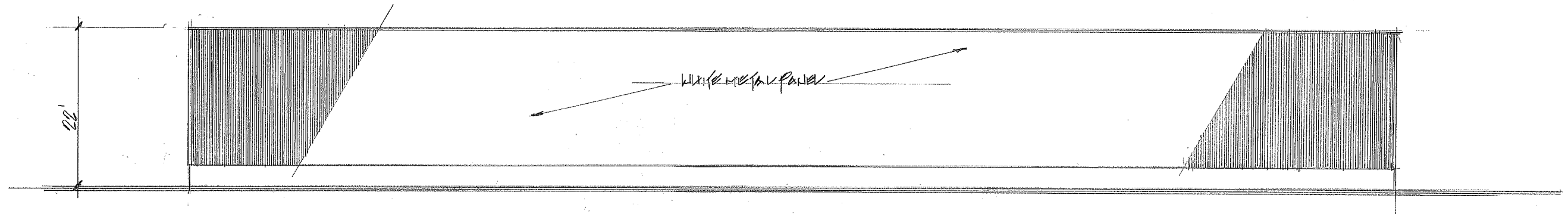
G. Factory Testing Requirements
The tank shall be factory tested in accordance with the requirements of UL 142.

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Drawn By: CT
Checked By: BT
Scale: 1"=20'
Date: 4/1/15
Job No.: 8091
Plan No.: 8091 Brewster
Sheet No. 8 OF 8

Revisions

FUEL TANK PLAN
PARCEL: 29-327-24
25 MAIN ST.
WEYMOUTH, MA



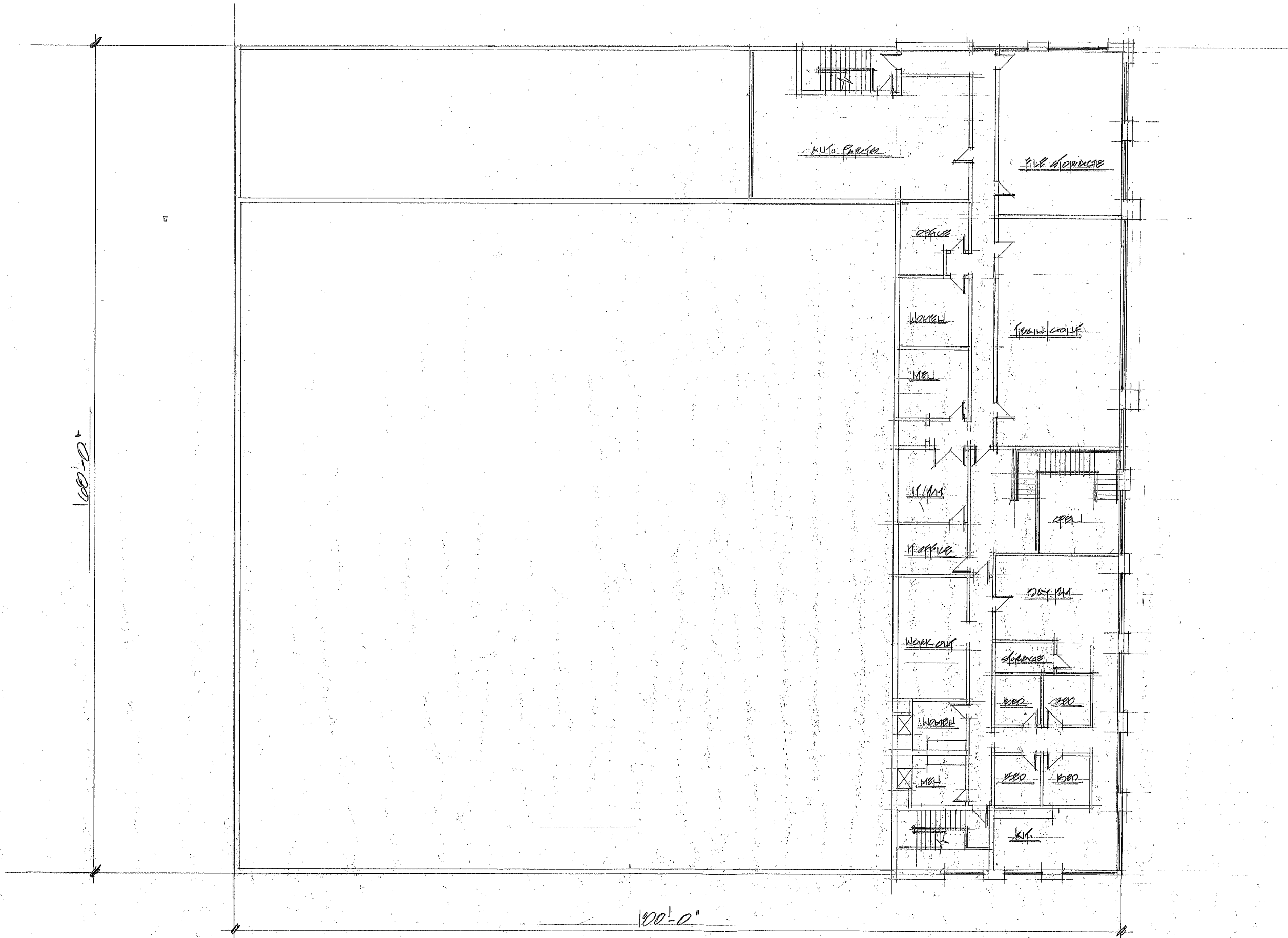
Water A. McKinnon Associates, Inc.
Consulting Engineers
278 Washington Street Weymouth, Massachusetts
Phone: (781) 331-3888 • Email: mckinnoneng@gmail.com

DRIVEN BY: [Signature]
DATE: 4/19/10
JOB NO.: 14-0000
SCALE: 1/8\"/>

DATE: 4/19/10
JOB NO.: 14-0000
SCALE: 1/8\"/>

REV#	DESCRIPTION	DATE

SHEET NO.



Walter A. McKinnon Associates, Inc.
Consulting Engineers
278 Washington Street
Weymouth, Massachusetts
Phone: (781) 331-5898 • Email: mckinnoneng@gmail.com

BRANDER AMBULANCE
25 MAIN STREET
WEYMOUTH MA

DRWN BY :
CHK'D BY :
DATE : 4.16.15
JOB NO. : 14-2000
SCALE : 1" = 10'

REV#	DESCRIPTION	DATE

SHEET NO.

1