

JACKSON SQUARE

WEYMOUTH, MA

AUGUST 4, 2023

SITE PLAN REVIEW

ARCHITECT

EMBARC

580 HARRISON AVE, SUITE 2W
BOSTON, MA 02118
O: 617.766.8330
www.embarcdesign.com

OWNER

CMK DEVELOPMENT
97 LIBBEY PARKWAY
SUITE 304
WEYMOUTH, MA 02189

CONSULTANTS

CIVIL
MCKENZIE ENGINEERING
150 LONGWATER DRIVE, SUITE 101
NORWELL, MA 02061
781.792.3900

LANDSCAPE

MDJA
840 SUMMER STREET
SUITE #201A
BOSTON, MA 02127

ABBREVIATIONS

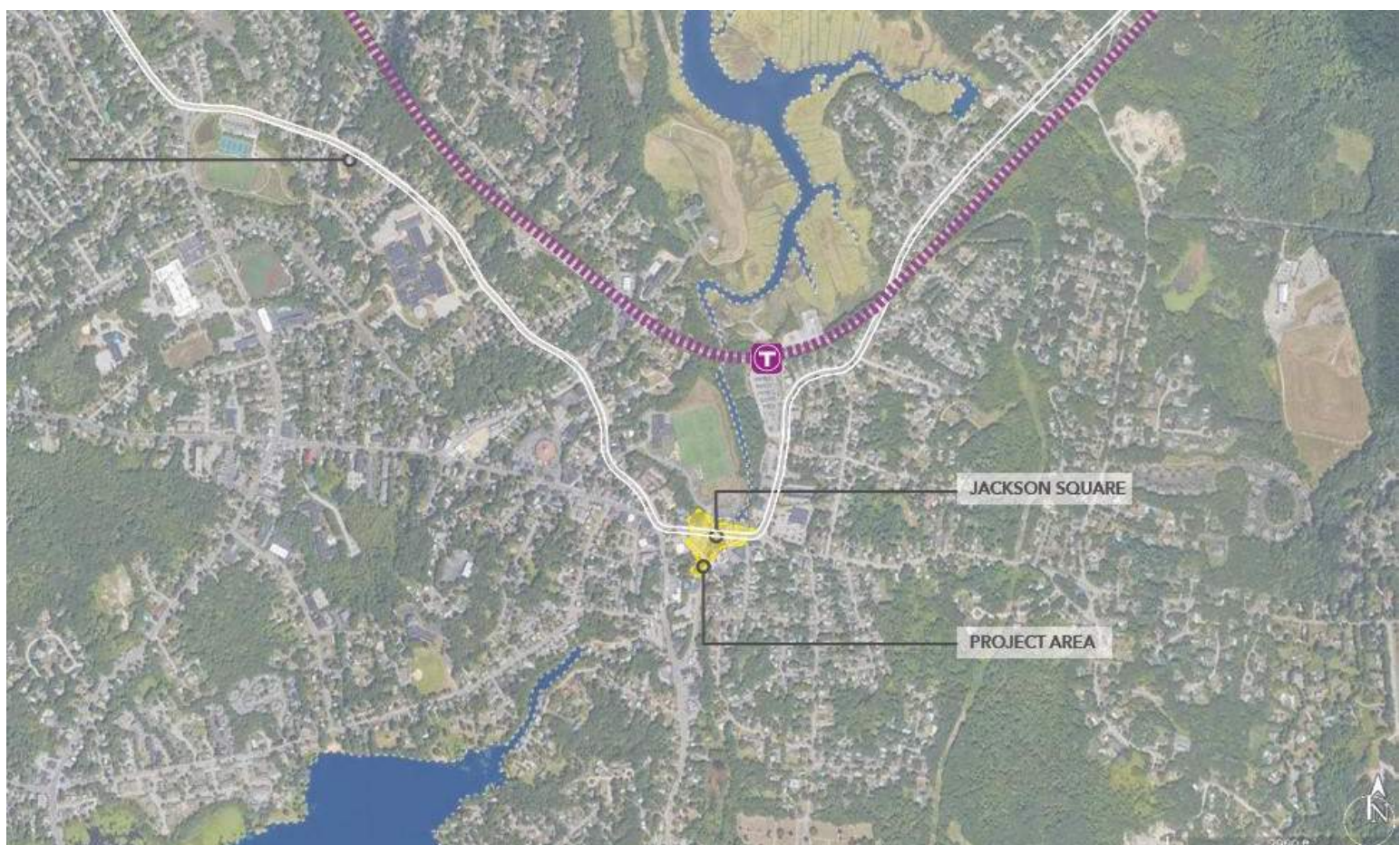
A.F.F.	ABOVE FINISHED FLOOR
ACT	ACOUSTIC CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
AV	AUDIO VISUAL
BLDG	BUILDING
BLKG	BLOCKING
B.O.	BOTTOM OF
CAB	CABINET
C.H.	CEILING HEIGHT
CLR.	CLEAR
CL	CENTERLINE
COL	COLUMN
CONT.	CONTINUOUS
CMU	CONCRETE MASONRY UNIT
C.J.	CONTROL JOINT
DTL	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN	DOWN
DWG.	DRAWING
(E)	EXISTING
EL	ELEVATION
ELEC.	ELECTRICAL
EQ	EQUAL
FD.	FLOOR DRAIN
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
GFIC	GROUND FAULT INTERCEPTOR CIRCUIT
GSM.	GALVANIZED SHEET METAL
GWB	GYPSUM WALL BOARD
H OR HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
H.B.	HOSE BIB
HM	HOLLOW METAL
MAX	MAXIMUM
M.O.	MASONRY OPENING
MECH.	MECHANICAL
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.	OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
OPP.	OPPOSITE
P.G.	PAINT GRADE
PLYWD.	PLYWOOD
PTD.	PAINTED
R.D.	ROOF DRAIN
REQD.	REQUIRED
R.O.	ROUGH OPENING
SCHED.	SCHEDULE
S.G.	STAIN GRADE
SIM	SIMILAR
S.L.D.	SEE LANDSCAPE DRAWINGS
SQ.	SQUARE
SPEC.	SPECIFICATION
S.S.D.	SEE STRUCTURAL DRAWINGS
SSTL	STAINLESS STEEL
STL	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SYM.	SYMMETRICAL
T.	TEMPERED
T&G	TONGUE AND GROOVE
THK.	THICKNESS
T.O.	TOP OF
T.O.S.	TOP OF SLAB
T.S.	TUBULAR STEEL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WD	WOOD
WPM.	WATERPROOFING MEMBRANE

SYMBOLS

	REFERENCE NUMBER BUILDING SECTION DRAWING SHEET
	REFERENCE NUMBER WALL SECTION DRAWING SHEET
	REFERENCE NUMBER DETAIL DRAWING SHEET
	REFERENCE NUMBER DRAWING DRAWING SHEET
	REFERENCE NUMBER INTERIOR ELEVATION DRAWING SHEET
	REFERENCE NUMBER EXTERIOR ELEVATION DRAWING SHEET
	NORTH ARROW
	WINDOW TAG
	DOOR TAG
	INTERIOR WALL TYPE TAG
	APPLIANCE TAG
	REVISION TAG
	CENTER LINE



VICINITY MAP



SHEET LIST

GENERAL

A000	COVER SHEET
A001	PROGRAM AND ZONING ANALYSIS

CIVIL

EX-1	EXISTING CONDITIONS PLAN
EX-2	EXISTING CONDITIONS PLAN
EX-3	EXISTING CONDITIONS PLAN
C-1	SITE LAYOUT PLAN BUILDINGS A&B
C-2	SITE LAYOUT PLAN BUILDINGS C&D
C-3	GRADING & DRAINAGE PLAN BUILDINGS A&B
C-4	GRADING & DRAINAGE PLAN BUILDINGS C&D
C-5	CONSTRUCTION DETAILS
C-6	CONSTRUCTION DETAILS
C-7	CONSTRUCTION DETAILS
C-8	CONSTRUCTION DETAILS
C-9	CONSTRUCTION DETAILS
C-10	CONSTRUCTION DETAILS
C-11	CONSTRUCTION DETAILS
C-12	EROSION CONTROL PLAN
C-13	EROSION CONTROL PLAN
C-14	EROSION CONTROL PLAN

ARCHITECTURAL

A010	ARCHITECTURAL SITE PLAN
A101A	BUILDING A FLOOR PLANS
A101B	BUILDING A FLOOR PLANS
A102	BUILDING B FLOOR PLANS
A103	BUILDING C FLOOR PLANS
A104	BUILDING D FLOOR PLANS
A201	BUILDING A ELEVATIONS
A202	BUILDING B ELEVATIONS
A203	BUILDING C ELEVATIONS
A204	BUILDING D ELEVATIONS
A210	BUILDING MATERIALS
A301	BROAD STREET SECTION
A901	PERSPECTIVE VIEWS
A902	PERSPECTIVE VIEWS

LANDSCAPE

L0	LANDSCAPE KEY PLAN
L1	LANDSCAPE PLANTING AND LIGHTING PLAN
L2	LANDSCAPE PLANTING AND LIGHTING PLAN
L3	LANDSCAPE PLANTING AND LIGHTING PLAN
L4	ROOF DECK AMENITY ENLARGEMENTS
L5	LANDSCAPE PHOTOMETRICS PLAN
L6	LANDSCAPE PHOTOMETRICS PLAN
L7	LANDSCAPE PHOTOMETRICS PLAN
L8	LANDSCAPE DETAILS
L9	LANDSCAPE DETAILS

JACKSON SQUARE

WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

MARK	ISSUE	DATE
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DRAWING INFORMATION

ISSUE:	SITE PLAN REVIEW
DATE:	AUGUST 4, 2023
PROJECT #:	22034
SCALE:	As indicated

DRAWING TITLE

COVER SHEET

DRAWING NUMBER

A000

copyright: EMBARC DESIGN, LLC

BUILDING A			
	REQUIRED	PROPOSED	Compliant (Y/N/SP)
Zoning District	B-2		
Overlay District	LJSD		
Use	Mixed Use	Mixed Use ^a	Y
Lot Area / Size (Sq. Ft.)	N/A	34,903 s.f.	Y
Frontage (ft.)	N/A	206.44 ft.	Y
Lot Width (ft.)	N/A	206.44 ft.	Y
Lot Coverage	Max 80%	80%	Y
Front Yard Setback (ft.)	N/A	Modal	Y
Front Yard Setback (ft.) + corner lots	N/A	Modal	Y
Side Yard Setback (ft.)	N/A	6'-5" east, 3'-9" west	Y
Rear Yard Setback (ft.)	N/A	7'-10"	Y
Height (ft.) and # of Stories	5 Floors 60 ft. ^d	5 Floors 59 ft. 7 in.	SP
Off-Street Parking Spaces	N/A	218 (85 for property)	Y
Accessory Structure Setback	N/A	N/A	Y
Landscaping	Refer to Landscape table	Refer to Landscape table	Y
Floor Area Ratio	N/A	1.93	Y
FOOTNOTES			
a. Permitted via Special Permit by the Planning Board and Board of Zoning Appeals			
b. Min of (3) charging stations have been included. Refer to plans.			
c. Refer to "total project" parking counts on separate chart.			
d. 5 floors allowable via Special Permit in LJSD with Affordable Density Bonus (min 10%)			

BUILDING GROSS SQUARE FOOTAGE	
Basement	24,310
Mezzanine	20,930
Ground Floor	28,265
Second Floor	27,550
Third Floor	27,550
Fourth Floor	23,645
Fifth Floor	16,615
Total Building GSF	168,865

PROGRAM SUMMARY	
Residential Area	48,040
Restaurant Area	0
Commercial Area	2,465
Lobby & Amenity Area	3,130
Common Area	14,555
FAR Building Area	68,190
Garage Parking GSF	98,670
Storage & Utility Area	2,005
Total Building GSF	168,865

UNIT MIX						
	Studio	1 Bedroom	1 Bedroom +	2 Bedroom		Total
Ground Floor	2	1	1	0		4
Second Floor	7	3	3	3		16
Third Floor	7	3	3	3		16
Fourth Floor	4	2	2	3		11
Fifth Floor	4	8	1	4		17
Total	24	17	10	13		64
Ratio	38%	27%	16%	20%		100%

BUILDING B			
	REQUIRED	PROPOSED	Compliant (Y/N/SP)
Zoning District	B-2		
Overlay District	UJSD		
Use	Mixed Use	Mixed Use ^a	Y
Lot Area / Size (Sq. Ft.)	N/A	17,812 s.f.	Y
Frontage (ft.)	N/A	197.45 ft.	Y
Lot Width (ft.)	N/A	197.45 ft.	Y
Lot Coverage	Max 80%	56%	Y
Front Yard Setback (ft.)	N/A	Modal	Y
Front Yard Setback (ft.) + corner lots	N/A	Modal	Y
Side Yard Setback (ft.)	N/A	37'-4" east ^b , 6'-7" west	Y
Rear Yard Setback (ft.)	N/A	1'-10"	Y
Height (ft.) and # of Stories	3 Floors 40 ft.	4 Floors 48 ft. 7 in.	N
Off-Street Parking Spaces	N/A	0 (+51 via easement @ Building A)	Y
Accessory Structure Setback	N/A	N/A	Y
Landscaping	Refer to Landscape table	Refer to Landscape table	Y
Floor Area Ratio	N/A	1.96	Y
FOOTNOTES			
a. Permitted via Special Permit by the Planning Board and Board of Zoning Appeals			
b. 20'-1" setback from Herring Run Brook			

BUILDING GROSS SQUARE FOOTAGE	
Ground Floor	10,330
Second Floor	10,355
Third Floor	10,355
Fourth Floor	7,755
Total Building GSF	38,795

PROGRAM SUMMARY	
Residential Area	25,430
Restaurant Area	4,265
Commercial Area	1,335
Lobby & Amenity Area	1,900
Common Area	5,845
FAR Building Area	36,230
Garage Parking GSF	0
Storage & Utility Area	2,565
Total Building GSF	38,795

UNIT MIX						
	Studio	1 Bedroom	1 Bedroom +	2 Bedroom		Total
Ground Floor	0	0	0	0		0
Second Floor	8	3	4	0		15
Third Floor	8	3	4	0		15
Fourth Floor	8	4	0	0		12
Fifth Floor	n/a	n/a	n/a	n/a		0
Total	24	10	8	0		42
Ratio	57%	24%	19%	0%		100%

BUILDING C			
	REQUIRED	PROPOSED	Compliant (Y/N/SP)
Zoning District	B-2		
Overlay District	LJSD		
Use	Mixed Use	Mixed Use ^a	Y
Lot Area / Size (Sq. Ft.)	N/A	26,522 s.f.	Y
Frontage (ft.)	N/A	225.69 ft.	Y
Lot Width (ft.)	N/A	225.69	Y
Lot Coverage	Max 80%	77%	Y
Front Yard Setback (ft.)	N/A	Modal	Y
Front Yard Setback (ft.) + corner lots	N/A	Modal	Y
Side Yard Setback (ft.)	20 & N/A	20'-0" south ^a , 7'-6" east, 5'-8" west	Y
Rear Yard Setback (ft.)	N/A	N/A (corner)	Y
Height (ft.) and # of Stories	5 Floors 60 ft. ^d	5 Floors 58 ft. 7 in.	SP
Off-Street Parking Spaces	N/A	28 (+47 via easement @ Building A)	Y
Accessory Structure Setback	N/A	N/A	Y
Landscaping	Refer to Landscape table	Refer to Landscape table	Y
Floor Area Ratio	N/A	2.68	Y
FOOTNOTES			
a. Permitted via Special Permit by the Planning Board and Board of Zoning Appeals			
b. Min of (2) charging stations have been included. Refer to plans.			
c. Refer to "total project" parking counts on separate chart.			
d. 5 floors allowable via Special Permit in LJSD with Affordable Density Bonus (min 10%)			
e. 20'-0" setback from Herring Run Brook			

BUILDING GROSS SQUARE FOOTAGE	
Ground Floor	17,530
Second Floor	16,780
Third Floor	16,780
Fourth Floor	12,695
Fifth Floor	10,610
Total Building GSF	74,395

PROGRAM SUMMARY	
Residential Area	45,865
Restaurant Area	2,030
Commercial Area	1,320
Lobby & Amenity Area	4,690
Common Area	20,490
FAR Building Area	61,340
Garage Parking GSF	11,200
Storage & Utility Area	1,855
Total Building GSF	74,395

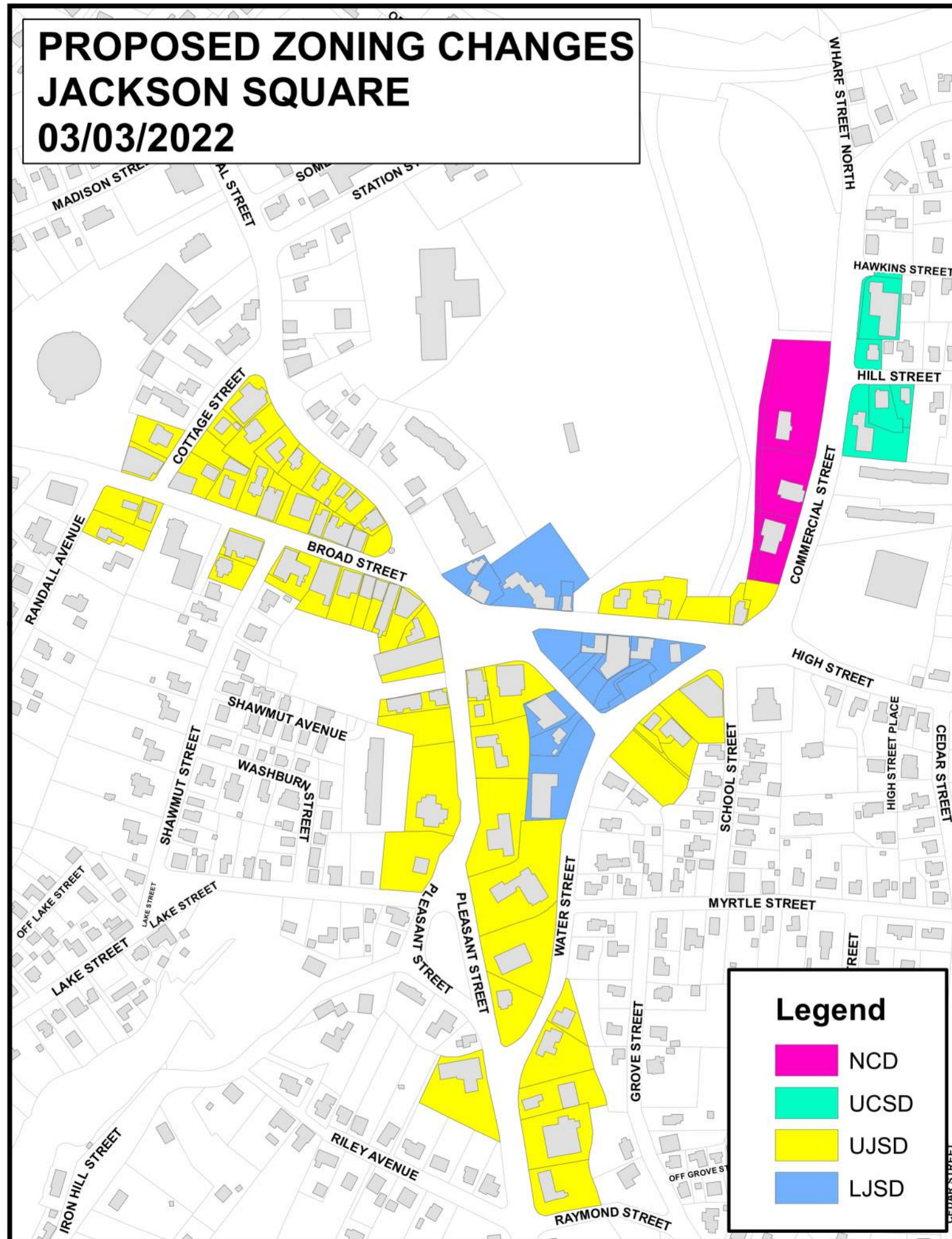
UNIT MIX						
	Studio	1 Bedroom	1 Bedroom +	2 Bedroom		Total
Ground Floor	0	0	0	0		0
Second Floor	8	5	1	5		19
Third Floor	8	5	1	5		19
Fourth Floor	6	4	3	2		15
Fifth Floor	0	6	1	3		10
Total	22	20	6	15		63
Ratio	35%	32%	10%	24%		100%

BUILDING D			
	REQUIRED	PROPOSED	Compliant (Y/N/SP)
Zoning District	B-2		
Overlay District	LJSD		
Use	Mixed Use	Mixed Use ^a	Y
Lot Area / Size (Sq. Ft.)	N/A	9,842 s.f.	Y
Frontage (ft.)	N/A	80.30 ft.	Y
Lot Width (ft.)	N/A	80.30 ft.	Y
Lot Coverage	Max 80%	70%	Y
Front Yard Setback (ft.)	N/A	Modal	Y
Front Yard Setback (ft.) + corner lots	N/A	N/A	Y
Side Yard Setback (ft.)		5'-3" east, 6'-7" west	Y
Rear Yard Setback (ft.)	N/A	0'-6"	Y
Height (ft.) and # of Stories	5 Floors 60 ft. ^d	5 Floors 50 ft. 1 in.	SP
Off-Street Parking Spaces	N/A	13 (+35 via easement @ Building A)	Y
Accessory Structure Setback	N/A	N/A	Y
Landscaping	Refer to Landscape table	Refer to Landscape table	Y
Floor Area Ratio	N/A	2.57	Y
FOOTNOTES			
a. Permitted via Special Permit by the Planning Board and Board of Zoning Appeals			
b. Min of (1) charging station has been included. Refer to plans.			
c. Refer to "total project" parking counts on separate chart.			
d. 5 floors allowable via Special Permit in LJSD with Affordable Density Bonus (min 10%)			

BUILDING GROSS SQUARE FOOTAGE	
Ground Floor	6,915
Second Floor	7,045
Third Floor	7,045
Fourth Floor	5,330
Fifth Floor	9,265
Total Building GSF	31,030

PROGRAM SUMMARY	
Residential Area	21,015
Restaurant Area	0
Commercial Area	490
Lobby & Amenity Area	260
Common Area	9,265
FAR Building Area	25,270
Garage Parking GSF	5,170
Storage & Utility Area	590
Total Building GSF	31,030

UNIT MIX						
	Studio	1 Bedroom	1 Bedroom +	2 Bedroom		Total
Ground Floor	0	0	0	0		0
Second Floor	4	2	2	1		9
Third Floor	4	2	2	1		9
Fourth Floor	4	2	0	1		7
Fifth Floor	1	5	0	0		6
Total	13	11	4	3		31
Ratio	42%	35%	13%	10%		100%



TOTAL GROSS SQUARE FOOTAGE					
	Building A	Building B	Buildings C	Building D	Total
Basement	24,310	n/a	n/a	n/a	24,310
Mezzanine	20,930	n/a	n/a	n/a	20,930
Ground Floor	28,265	10,330	17,530	6,915	63,040
Second Floor	27,550	10,355	16,780	7,045	61,730
Third Floor	27,550	10,355	16,780	7,045	61,730
Fourth Floor	23,645	7,755	12,695	5,330	49,425
Fifth Floor	16,615	n/a	10,610	4,695	31,920
Total Building GSF	168,865	38,795	74,395	31,030	313,085

TOTAL UNIT MIX				
	Count	Avg SF	Ratio	Req Spoces
Studio	83	550	41.5%	83
1 Bedroom	58	690	29%	87
1 Bedroom +	28	820	14%	42
2 Bedroom	31	1025	15.5%	47
Total	200	702	100%	259

TOTAL PROGRAM SUMMARY	
Residential Area	140,350
Restaurant Area	6,315
Commercial Area	5,610
Lobby & Amenity Area	9,980

Total Ground Floor Area	23,490
Ground Floor Commercial Area	11,925
Grond Floor Commercial Ratio	51%

TOTAL PARKING SUMMARY	
Total Off-Street Spaces	259
Garage Spaces	259
Surface Spaces	0
Total Required Spaces	289
Required Residential	259
Required Commercial	40
75% Commercial	30
Total Bicycle Spaces	13

ARCHITECT

EMBARC

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LANDSCAPE

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JACKSON SQUARE
WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

MARK	ISSUE	DATE
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DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW

DATE: AUGUST 4, 2023

PROJECT #: 22034

SCALE:

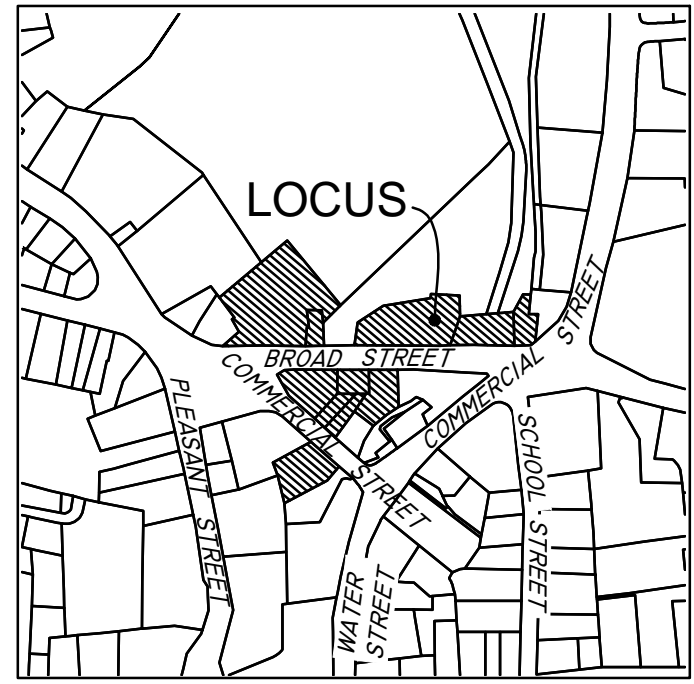
DRAWING TITLE

PROGRAM AND
ZONING
ANALYSIS

DRAWING NUMBER

A001

copyright: EMBARC INC.



LOCUS MAP
Not to Scale

MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM

SURVEY NOTES:

- LOCUS IS SHOWN ON THE TOWN OF WEYMOUTH ASSESSORS MAP SHEET 23 AS PARCELS:
253-14 (864-884 BROAD STREET)
305-1 (881 BROAD STREET)
253-16 (890 BROAD STREET)
305-10 (899 BROAD STREET)
305-9 (909 BROAD STREET)
253-17 (910 BROAD STREET)
253-18 (930 BROAD STREET)
253-21 (948 BROAD STREET)
305-11 (1404 COMMERCIAL STREET)
305-4 (1406 COMMERCIAL STREET)
306-11 (1409 COMMERCIAL STREET)
- DEED TO LOCUS IS RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS AT 30205 PAGE 65, BOOK 37384, PAGE 324, BOOK 37384, PAGE 384, BOOK 39583, PAGE 284, BOOK 39583, PAGE 392, BOOK 40410, PAGE 538, LC CTF. 206790, LC CTF. 206791, LC CTF. 201613.
- THIS SURVEY WAS MADE ON THE GROUND IN NOVEMBER OF 2022 THROUGH JANUARY OF 2023 BY MCKENZIE ENGINEERING GROUP, INC.
- ELEVATIONS SHOWN ARE REFERENCED TO TOWN OF WEYMOUTH DATUM.
- TOWN OF WEYMOUTH DATUM SUBTRACT 6.63' = NAVD88 (FEMA DATUM).
- WETLAND RESOURCE AREAS WERE NOT ENCOUNTERED DURING THE FIELD SURVEY.
- LOCUS IS ZONED GENERAL BUSINESS (B-2)
MINIMUM SETBACK REQUIREMENTS:
FRONT YARD NONE
SIDE YARD NONE*
REAR YARD NONE*
* IF ABUTTING A RESIDENTIAL DISTRICT OR SCHOOL, NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED WITHIN 20 FEET OF A SIDE LOT LINE AND/OR A REAR LOT LINE.
- LOCUS IS SITUATED IN ZONE X AND AE AS SHOWN ON F.I.R.M. NO 25021C0233E, EFFECTIVE JULY 17, 2012.
ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
ZONE AE - SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR.
- LOCUS IS NOT LOCATED IN A DEP ZONE 2 OR TOWN OF WEYMOUTH WATERSHED PROTECTION DISTRICT ZONE.
- UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.

10. PLAN REFERENCES:	PB	PG	PLAN NO
	2346		2346
	1435	417	
	1784	403	
	1794	79	
	2210	473	
	2215	526	359 OF 1936
	2249	374	
	1571	611	587 OF 1950
	211	506	1961 (DRAINAGE EASEMENT)
	4379	604	943 OF 1966
	4737	111	386 OF 1971
	4807	500	111 OF 1972
	288		286 OF 1981
	290		617 OF 1981
	6491	249	1045 OF 1984
	355		782 OF 1987
			LC PLAN 8571A
			LC PLAN 11926A
			LC PLAN 10022A
			LC PLAN 32001A
			LC PLAN 34047A
			LC PLAN 34543A

TOWN OF WEYMOUTH STREET LAYOUT SHEET 17078, 17079, 17080.

SHEET EX-3

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY CONDUCTED BY MCKENZIE ENGINEERING GROUP, INC. IN NOVEMBER, 2022.

RICHARD J. HOOD, PLS DATE

LEGEND

SURVEY SYMBOLS

- REBAR
- ANGLE IRON
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND
- STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT

- RIP RAP
- BOLLARD
- SIGN
- FIRE ALARM
- DECIDUOUS TREE
- CONIFEROUS TREE

LINE DESIGNATORS

- WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- RAILROAD TRACKS
- OVERHEAD WIRES
- GAS LINE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- STORM DRAIN LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- DRAINAGE SWALE
- CHAIN LINK FENCE

ABBREVIATIONS

- BIT CONC. BITUMINOUS CONCRETE PAVEMENT
- CCB CAPE COD BERM
- EDG OF PAVEMENT
- BC BITUMINOUS CONCRETE CURB
- RET WALL CONCRETE
- CONC. REINFORCED CONCRETE PIPE
- RCP VERTICAL GRANITE CURB
- VGC EDGE OF TRAVEL WAY
- ETW METAL BERM
- MTL VERTICAL CONCRETE CURB
- CMP CORRUGATED METAL PIPE
- TH THRESHOLD ELEVATION

ARCHITECT

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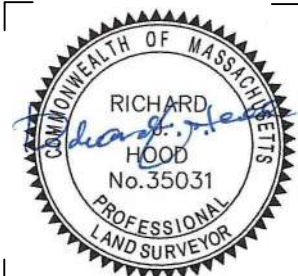
WD 1
840 SUMMER STREET
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BOSTON, MA 02127

JACKSON SQUARE
WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

DATE	REVISION	BY
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DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW
DATE: AUGUST 4, 2023
PROJECT #: 20234
SCALE: 1" = 20'

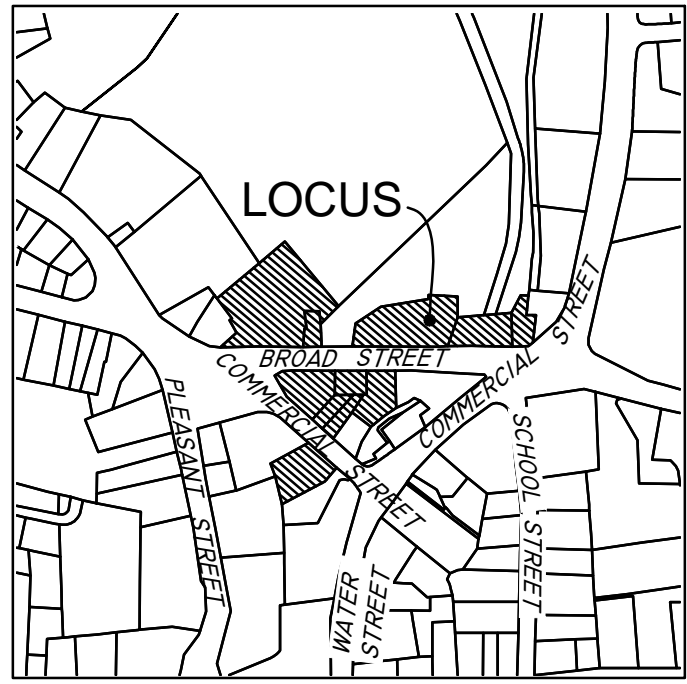
DRAWING TITLE

EXISTING
CONDITIONS
PLAN

DRAWING NUMBER

EX-1

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LOCUS MAP
Not to Scale

LOVELL
FIELD

SHEET EX-1
SHEET EX-2

MATCH LINE

SHEET EX-3

BROAD STREET
(PUBLIC - VARIABLE WIDTH)

COMMERCIAL STREET
(PUBLIC - VARIABLE WIDTH)

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781.792.3900

LANDSCAPE

MDLA

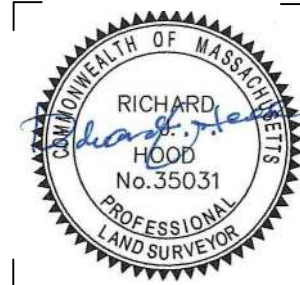
840 SUMMER STREET
SUITE #201A
BOSTON, MA 02127

JACKSON SQUARE
WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

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ISSUE: SITE PLAN REVIEW

DATE: AUGUST 4, 2023

PROJECT #: 22034

SCALE: 1" = 20'

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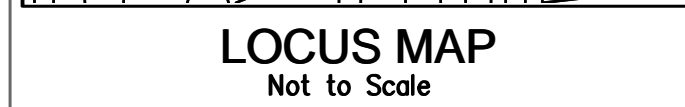
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LOCUS MAP
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MATCH LINE

SHEET EX-2

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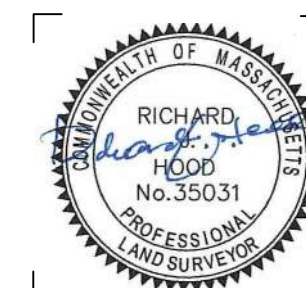
SCHOOL STREET

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MARK	NAME	DATE
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EXISTING
CONDITIONS
PLAN

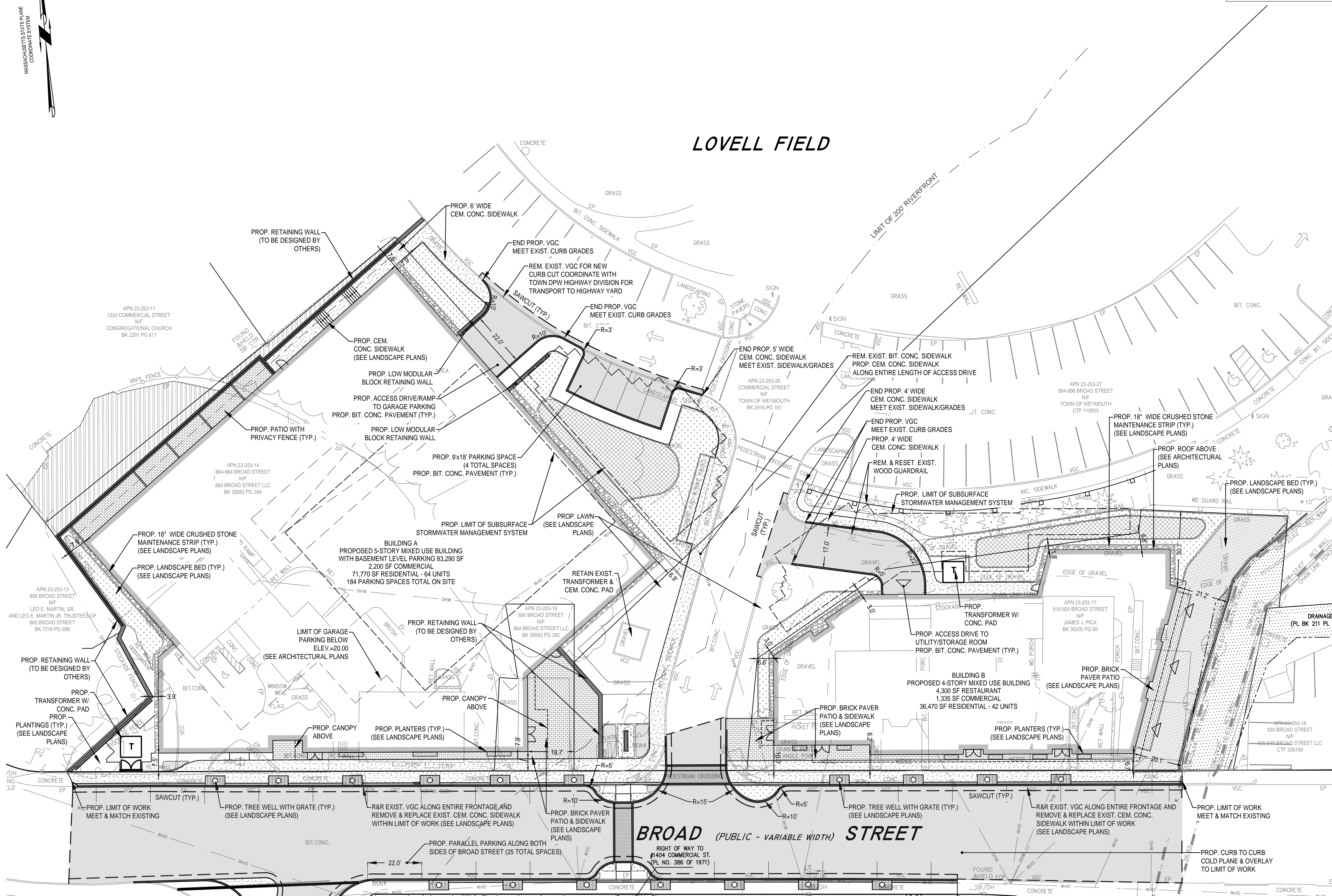
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MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM



ABBREVIATIONS	
FTE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET WALL	RETAINING WALL
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
ETW	EDGE OF TRAVEL WAY
MTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE

LEGEND

SURVEY SYMBOLS

- REBAR
- ANGLE IRON
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND
- STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT

- RIP RAP
- BOLLARD
- SIGN
- FIRE ALARM
- DECIDUOUS TREE
- CONIFEROUS TREE

LINE DESIGNATORS

- WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- RAILROAD TRACKS
- OVERHEAD WIRES
- GAS LINE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DRAINAGE SWALE
- CHAIN LINK FENCE

- LAWN AREA
- LANDSCAPE BEDS/AREAS
- PAVERS
- CEM. CONC. SIDEWALK

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LANDSCAPE

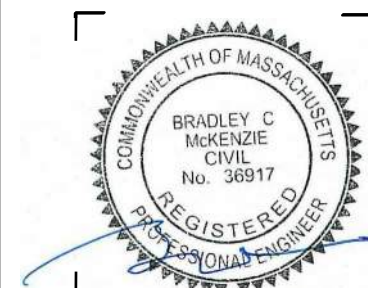
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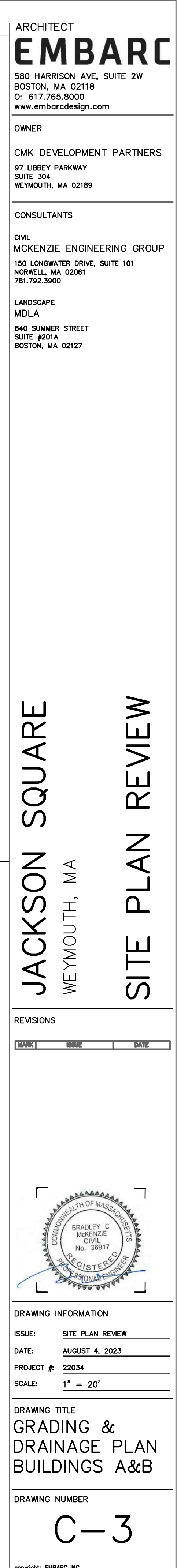
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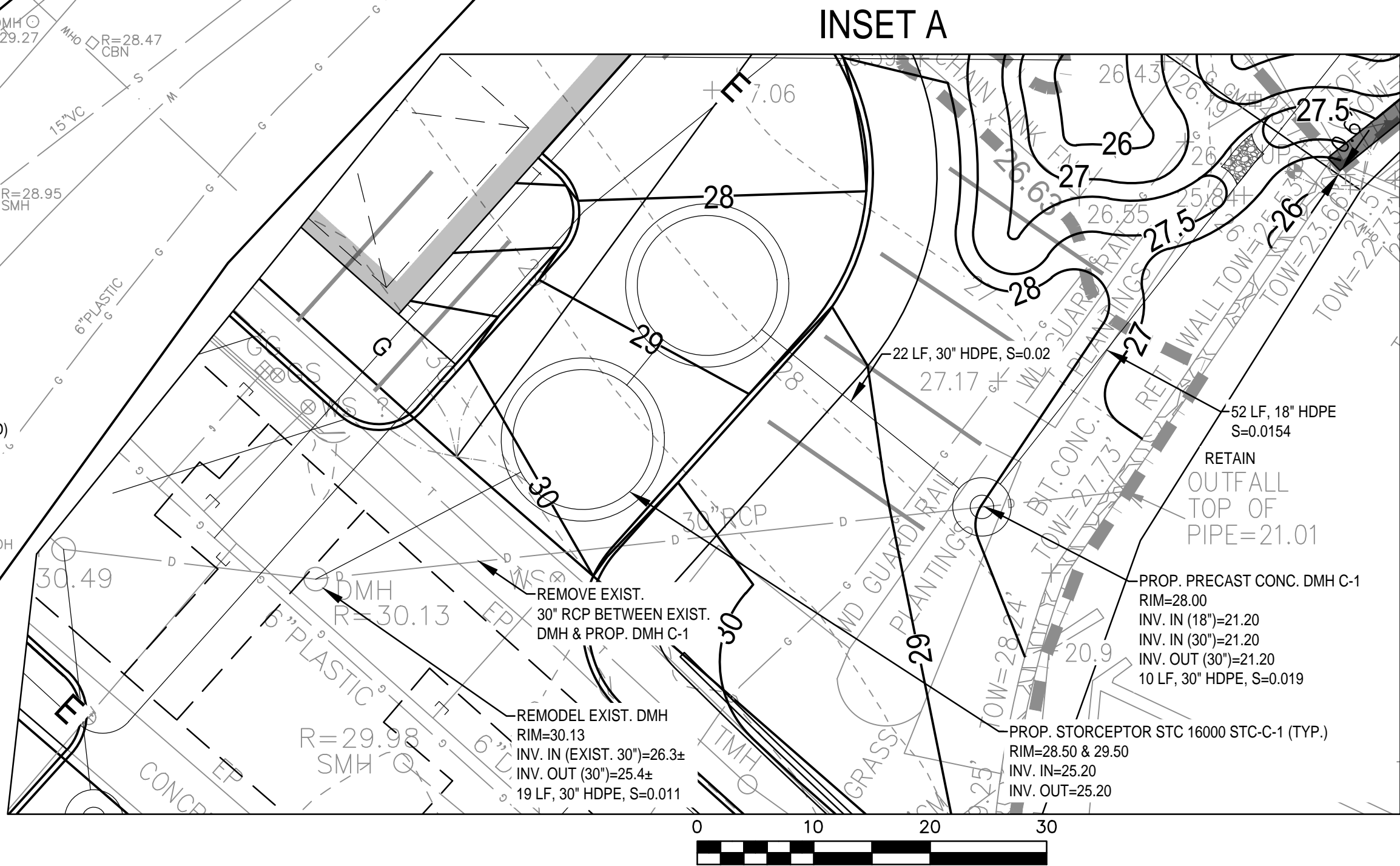
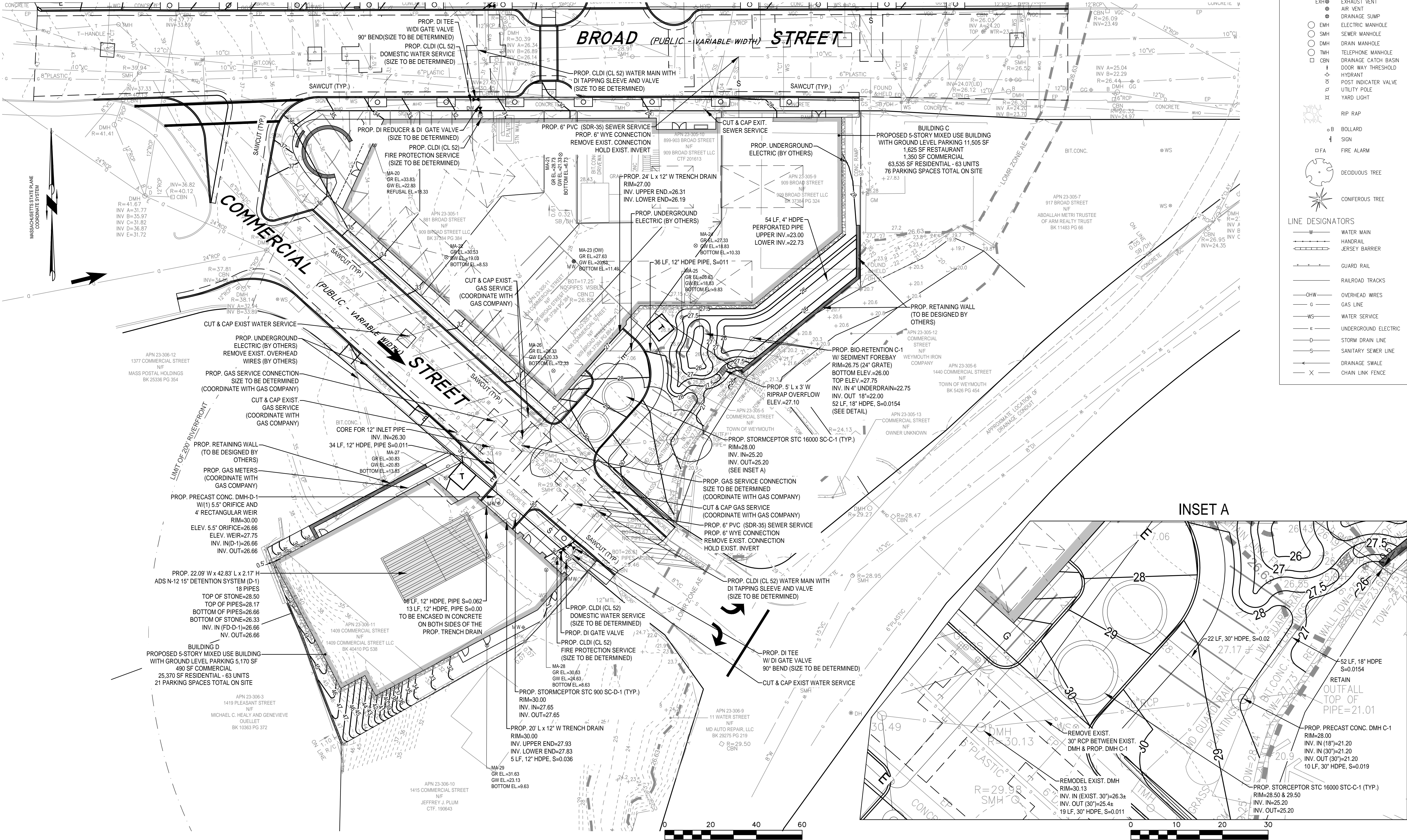
SITE LAYOUT
PLAN
BUILDINGS A&B

DRAWING NUMBER

C-1



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7/25/2023 10:55:44 AM



ABBREVIATIONS	
FTE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET WALL	RETAINING WALL
CONC.	CONCRETE
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ETW	EDGE OF TRAVEL WAY
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LEGEND	
SURVEY SYMBOLS	
•	REBAR
○	ANGLE IRON
CB/DH	CONCRETE BOUND WITH DRILL HOLE
SB	STONE BOUND
SB/DH	STONE BOUND
UTILITY SYMBOLS	
CHIMNEY	CHIMNEY
ELECTRIC HAND HOLE	ELECTRIC HAND HOLE
GUY POLE	GUY POLE
GW	GUY WIRE
HVAC UNIT	HVAC UNIT
BUILDING LIGHT W/MAST	BUILDING LIGHT W/MAST
TRANSFORMER	TRANSFORMER
WATER GATE	WATER GATE
EXH	EXHAUST VENT
AIR VENT	AIR VENT
DRAINAGE SUMP	DRAINAGE SUMP
ELECTRIC MANHOLE	ELECTRIC MANHOLE
SEWER MANHOLE	SEWER MANHOLE
DRAIN MANHOLE	DRAIN MANHOLE
TELEPHONE MANHOLE	TELEPHONE MANHOLE
DRAINAGE CATCH BASIN	DRAINAGE CATCH BASIN
DOOR WAY THRESHOLD	DOOR WAY THRESHOLD
HYDRANT	HYDRANT
POST INDICATOR VALVE	POST INDICATOR VALVE
UTILITY POLE	UTILITY POLE
YARD LIGHT	YARD LIGHT
RIP RAP	RIP RAP
BOLLARD	BOLLARD
SIGN	SIGN
FIRE ALARM	FIRE ALARM
DECIDUOUS TREE	DECIDUOUS TREE
CONIFEROUS TREE	CONIFEROUS TREE
LINE DESIGNATORS	
W	WATER MAIN
H	HANDRAIL
J	JERSEY BARRIER
G	GUARD RAIL
R	RAILROAD TRACKS
OHW	OVERHEAD WIRES
G	GAS LINE
WS	WATER SERVICE
E	UNDERGROUND ELECTRIC
D	STORM DRAIN LINE
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PROJECT #:	22034
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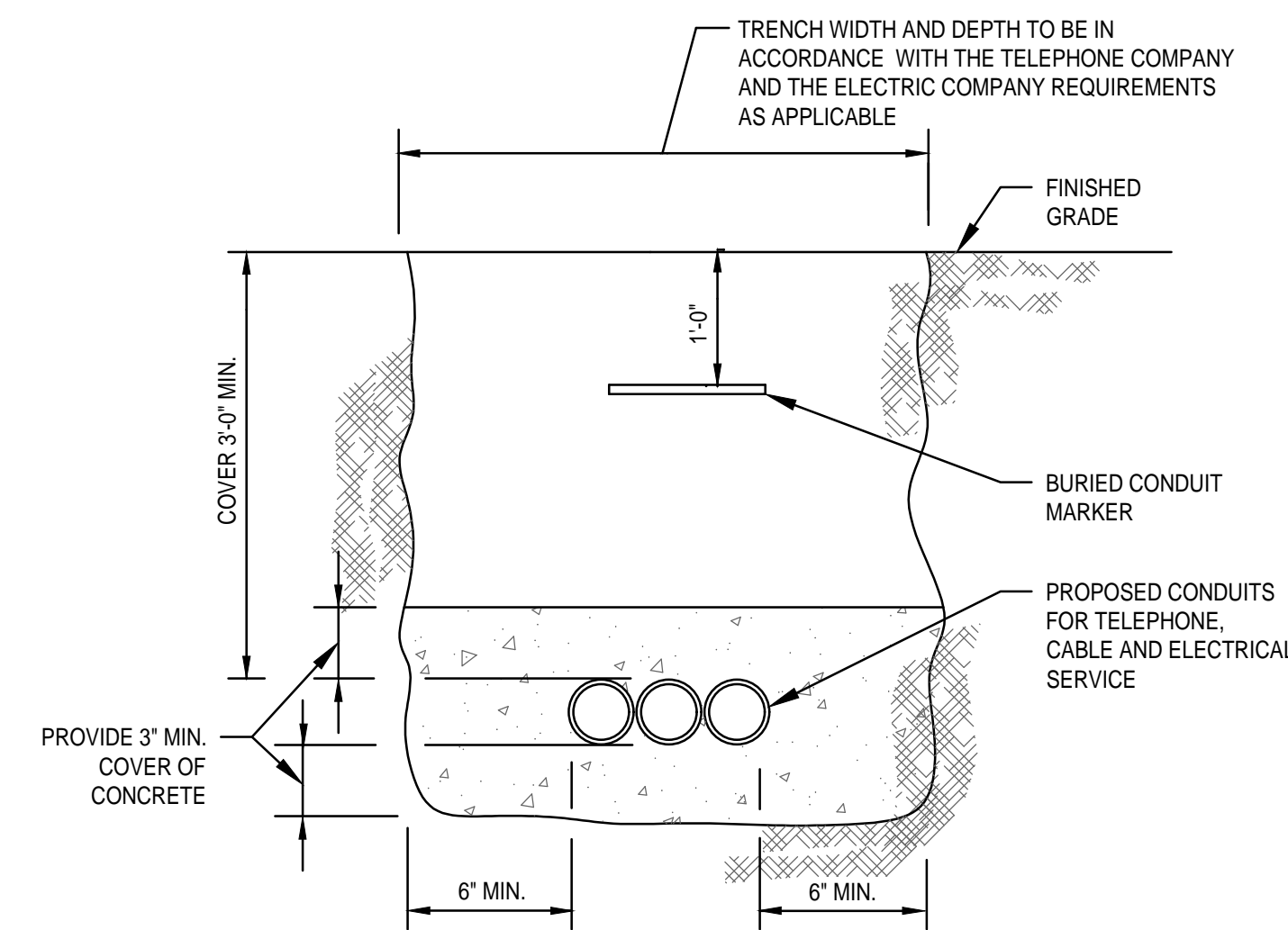
DRAWING TITLE
**GRADING &
DRAINAGE PLAN
BUILDINGS C&D**

DRAWING NUMBER

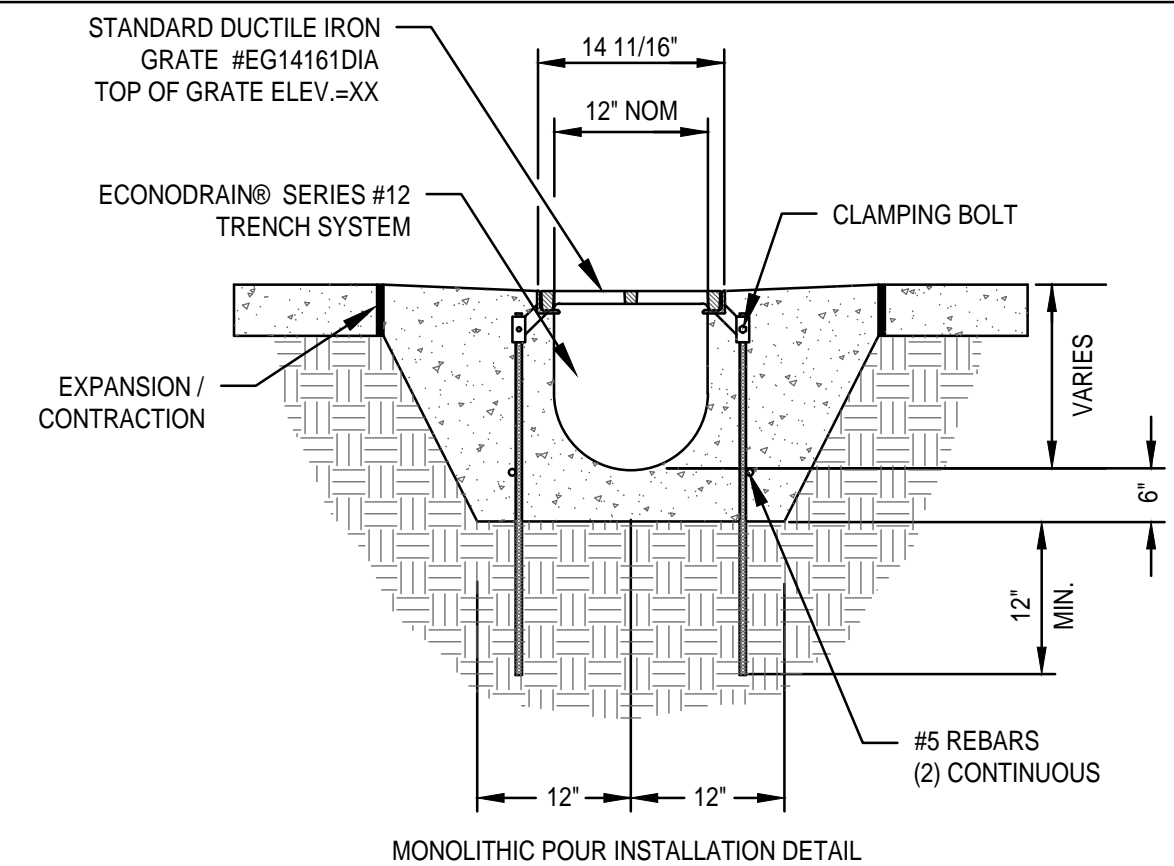
C-4

GENERAL UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. THE CONTRACTOR SHALL EXCAVATE THE TEST PITS IN THE LOCATIONS SHOWN ON THE PLAN PRIOR TO COMMENCING WORK TO VERIFY THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING ANY WORK.
4. ALL WATER SERVICES SHALL BE INSTALLED WITH 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
5. DOMESTIC WATER SERVICES 2 INCHES AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE, CURB STOP, GATE AND BOX.
6. SEE SHEET D-4 FOR WEYMOUTH WATER DEPT. CONSTRUCTION DETAILS.
7. THE CONTRACTOR SHALL PROVIDE INLET PROTECTION, SUCH AS SILT SACKS, AT ALL CATCH BASINS TO PREVENT SEDIMENT FROM ENTERING THE EXTENDED DETENTION WETLAND AREA. INLET PROTECTION WILL ALLOW THE STORM DRAIN INLETS TO BE USED BEFORE FINAL STABILIZATION.
8. THE CONTRACTOR SHALL PROVIDE SIEVE ANALYSIS SUBMITTALS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION OF THE SAND/SILT MATERIAL TO BE USED.



TYPICAL ELECTRIC/TELEPHONE/CABLE CONDUIT (US-UTILITY SERVICE)
SCALE: N.T.S.

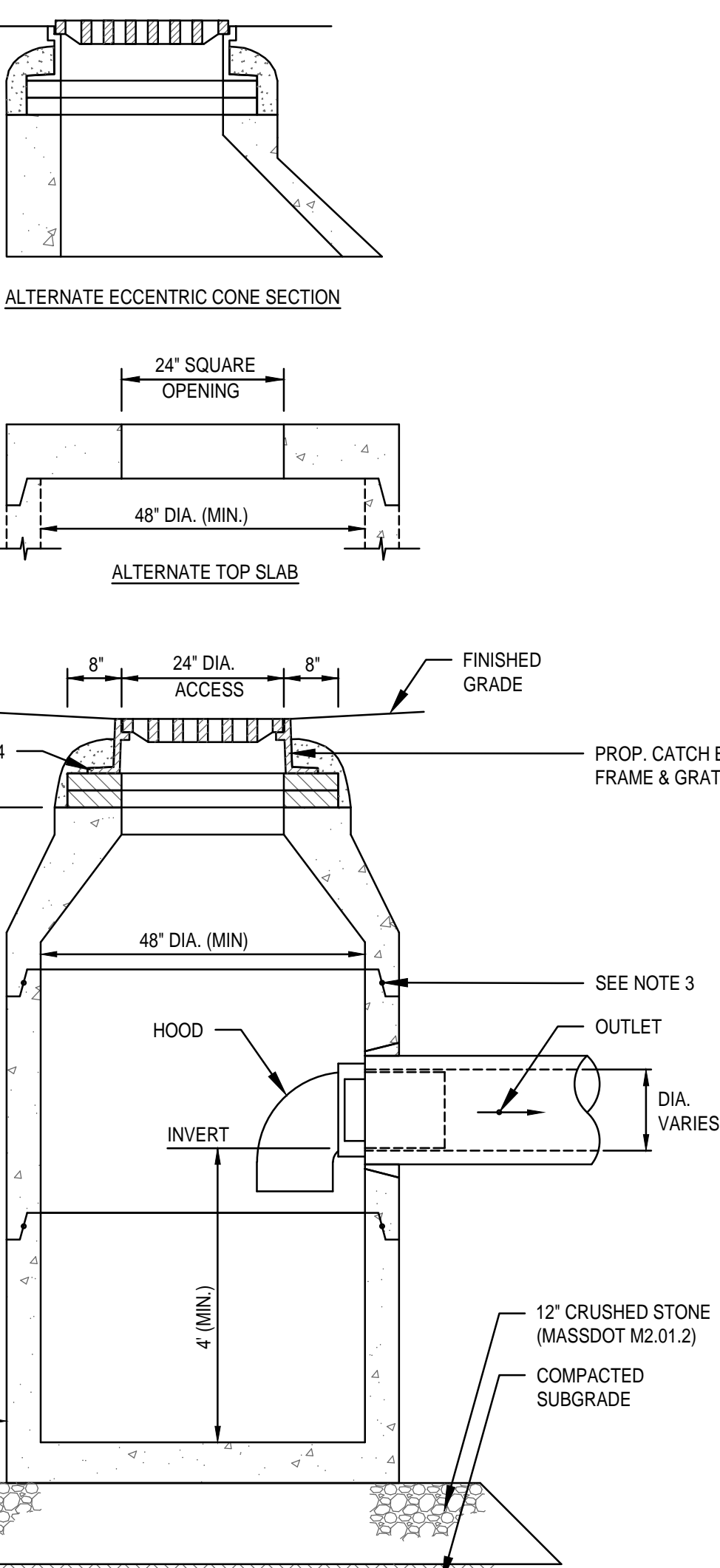


NOTES:

1. ADD REBAR AS REQUIRED.
2. SPECIFY REQUIRED DIMENSIONS (LABELED WITH *) USING 6" EACH SIDE OF STEEL FRAME AND BELOW EPS FORM AS A RECOMMENDED MINIMUM.
3. SHOW TOP OF GRATE ELEVATION IN PLAN VIEW.
4. EXPANSION / CONTRACTION JOINT PER LOCAL ENGINEERING REGULATIONS AND GUIDELINES.
5. STANDARD CHANNEL LENGTH IS 8'-0" (96").
6. STANDARD CHANNEL SLOPE IS 0.5%.

	EPS FORM	DEPTH		FLOW GPM
		MIN	MAX	
10	8"	8 1/2"	8 1/2"	743
11	9"	9 1/2"	9"	829
12	9"	9 1/2"	9"	915
13	9 1/2"	10"	10"	1003
14	10"	10 1/2"	10 1/2"	1091
15	10 1/2"	11"	11"	1180
16	11"	11 1/2"	11 1/2"	1269
17	11 1/2"	12"	12"	1359
18	12"	12 1/2"	12 1/2"	1450
19	12 1/2"	13"	13"	1541
20	13"	13 1/2"	13 1/2"	1633
21	13 1/2"	14"	14"	1725
22	14"	14 1/2"	14 1/2"	1817
23	14 1/2"	15"	15"	1910
24	15"	15 1/2"	15 1/2"	2002
25	15 1/2"	16"	16"	2095
26	16"	16 1/2"	16 1/2"	2189
27	16 1/2"	17"	17"	2282
28	17"	17 1/2"	17 1/2"	2376
29	17 1/2"	18"	18"	2470
30	18"	18 1/2"	18 1/2"	2564
31	18 1/2"	19"	19"	2658
32	19"	19 1/2"	19 1/2"	2753
33	19 1/2"	20"	20"	2847
34	20"	20 1/2"	20 1/2"	2942
35	20 1/2"	21"	21"	3036
36	21"	21 1/2"	21 1/2"	3131
37	21 1/2"	22"	22"	3226
38	22"	22 1/2"	22 1/2"	3321
39	22 1/2"	23"	23"	3416
40	23"	23 1/2"	23 1/2"	3511
41	23 1/2"	24"	24"	3607
42	24"	24 1/2"	24 1/2"	3702
43	24 1/2"	25"	25"	3798
44	25"	25 1/2"	25 1/2"	3893
45	25 1/2"	26"	26"	3989

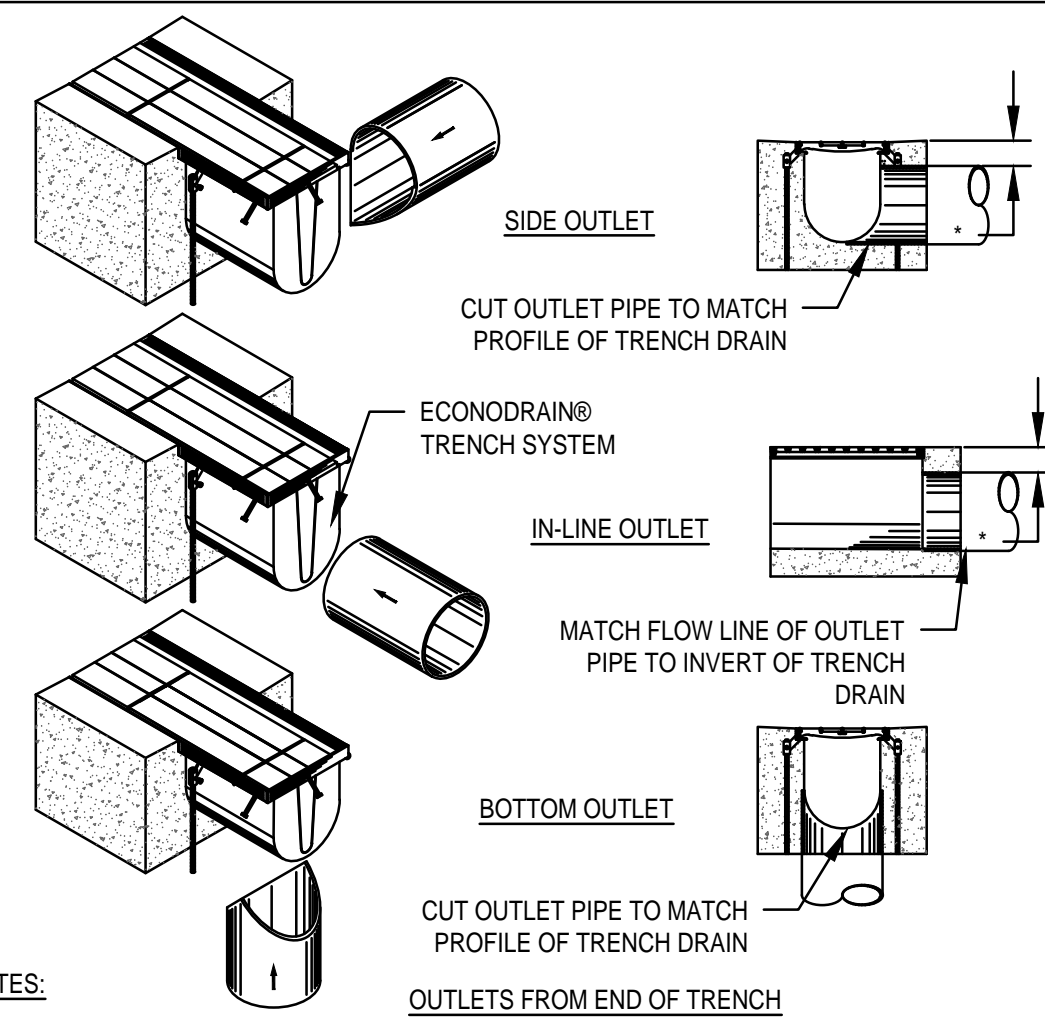
ECONODRAIN® SERIES #12 TRENCH DRAIN
SCALE: N.T.S.



NOTES:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
3. MORTAR ALL PIPE CONNECTIONS. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

CATCH BASIN W/HOOD
SCALE: N.T.S.

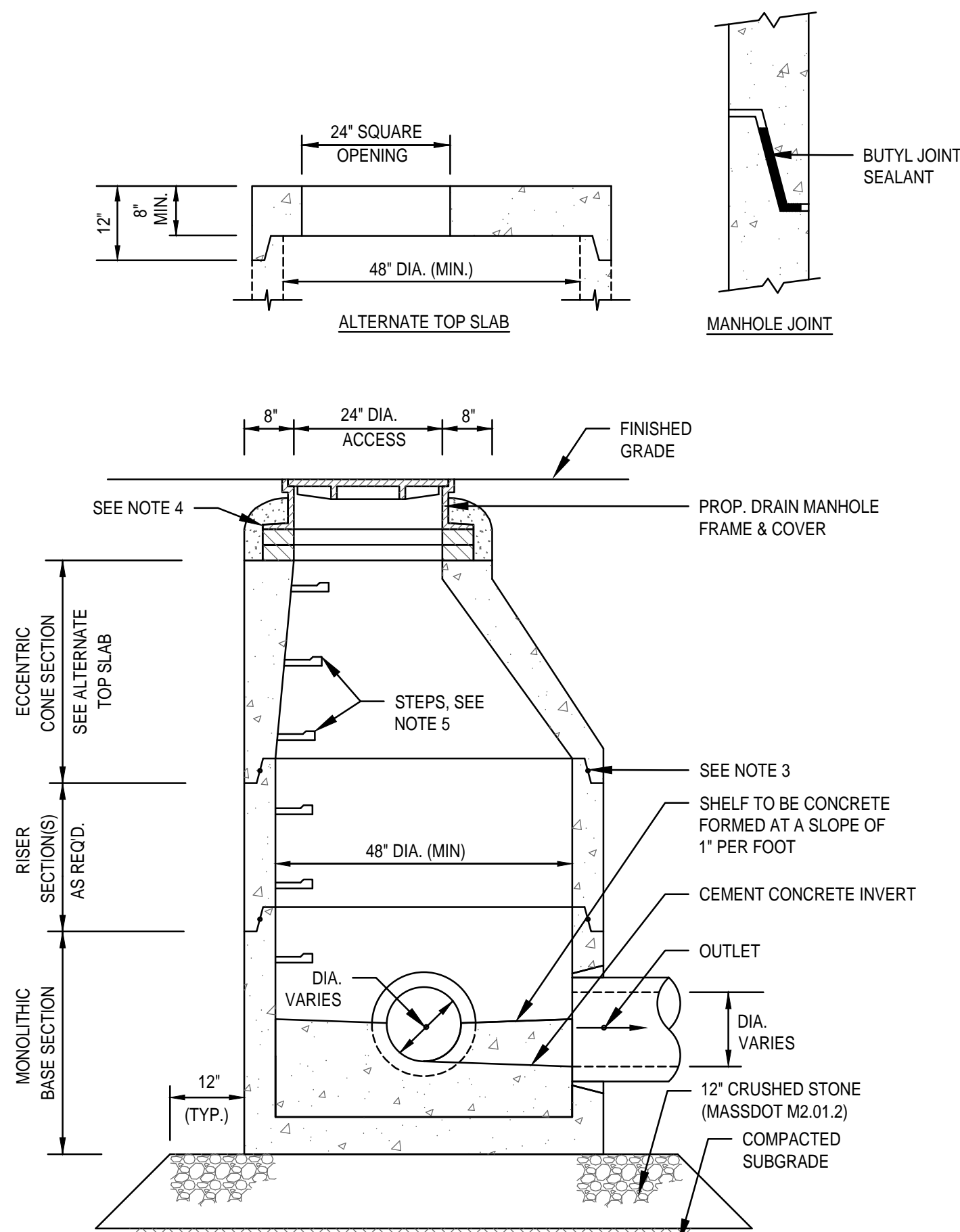


NOTES:

1. ADD REBAR AS REQUIRED
2. SPECIFY MINIMUM CONCRETE ENCASEMENT.
3. 4" MINIMUM CONCRETE COVERAGE OF OUTLET PIPE IS RECOMMENDED (LABELED WITH *).
4. FINAL CONCRETE THICKNESS PER LOCAL ENGINEERING REGULATIONS AND GUIDELINES.

CONSTRUCTION NOTES:

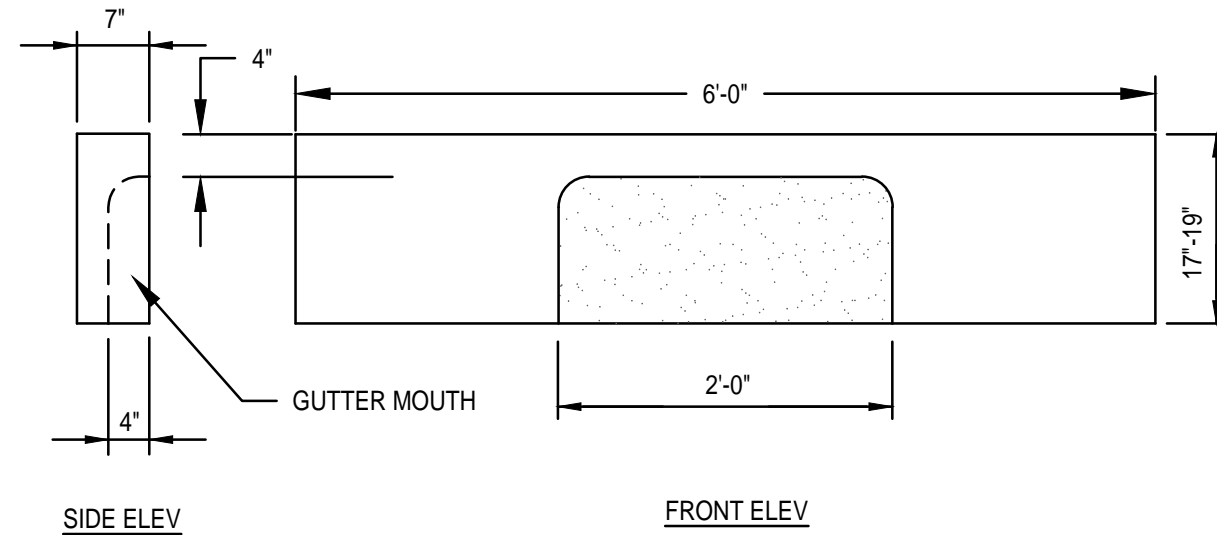
1. INSTALLATION TO BE COMPLETE IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.
2. SECURE OUTLET PIPE PRIOR TO CONCRETE OPERATIONS.
3. FOR ILLUSTRATION ONLY - DO NOT SCALE



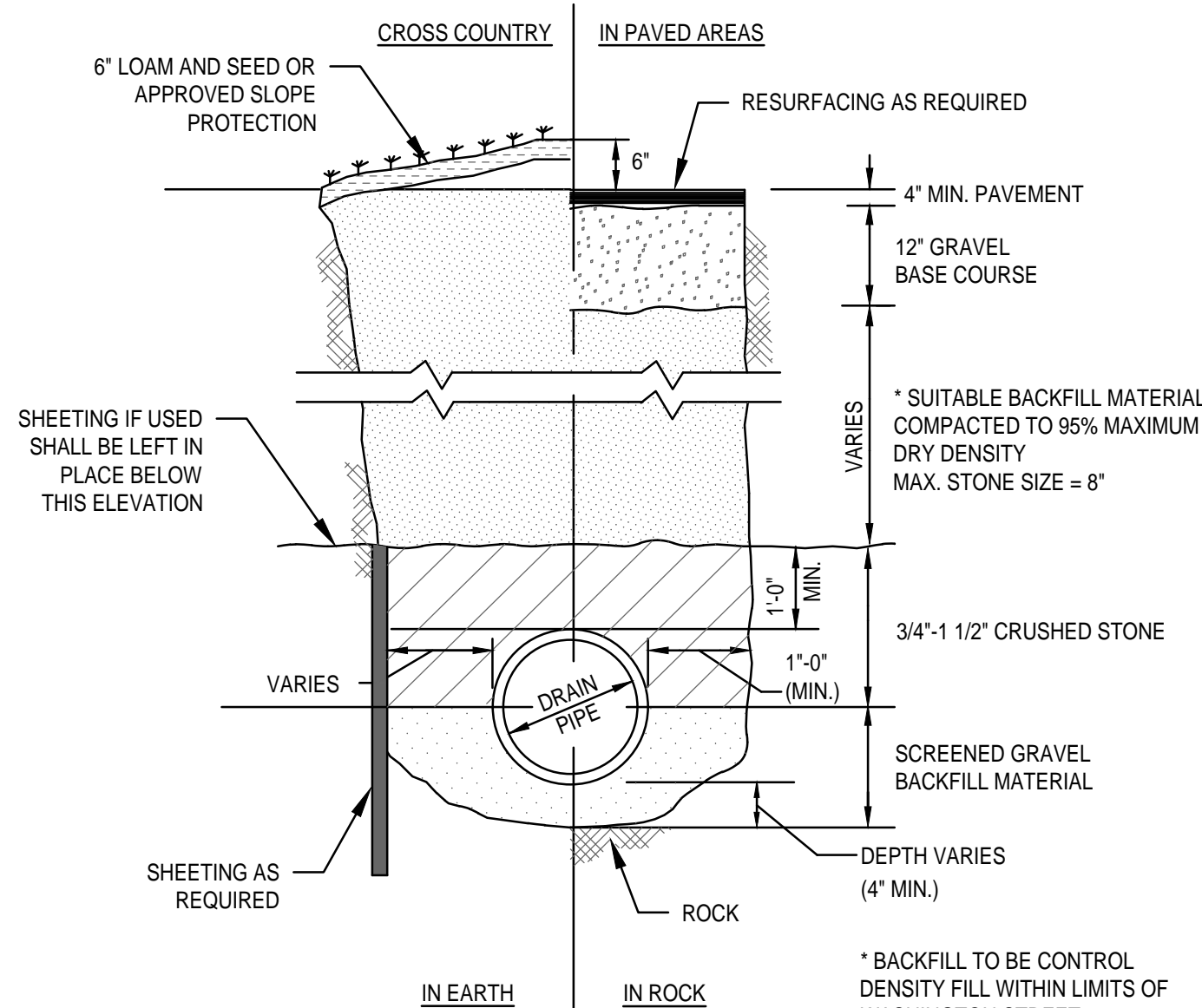
NOTES:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
5. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.

DRAIN MANHOLE DETAIL
SCALE: N.T.S.



GRANITE CURB INLET
SCALE: N.T.S.



TYPICAL DRAIN TRENCH DETAIL
SCALE: N.T.S.

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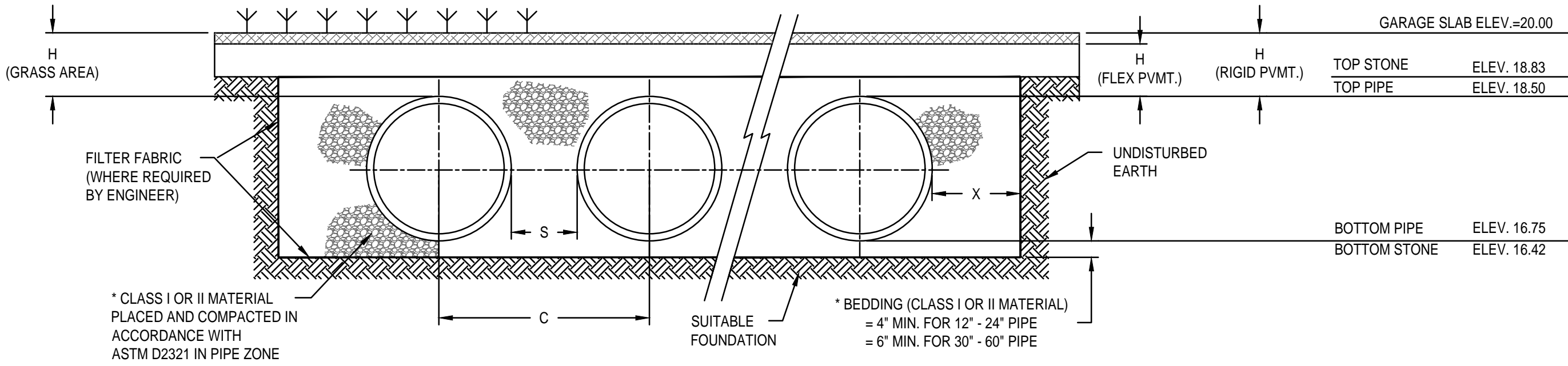
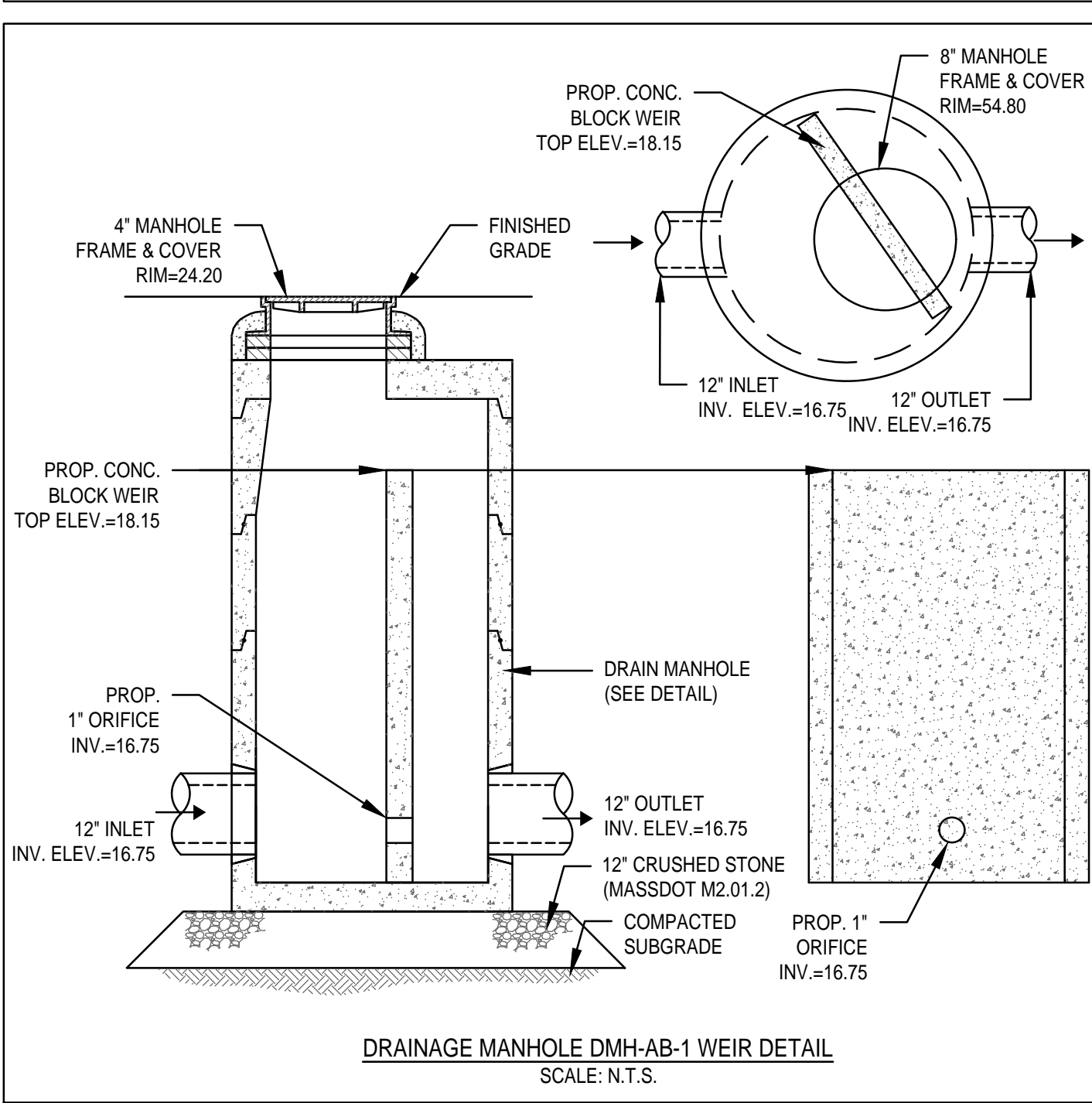
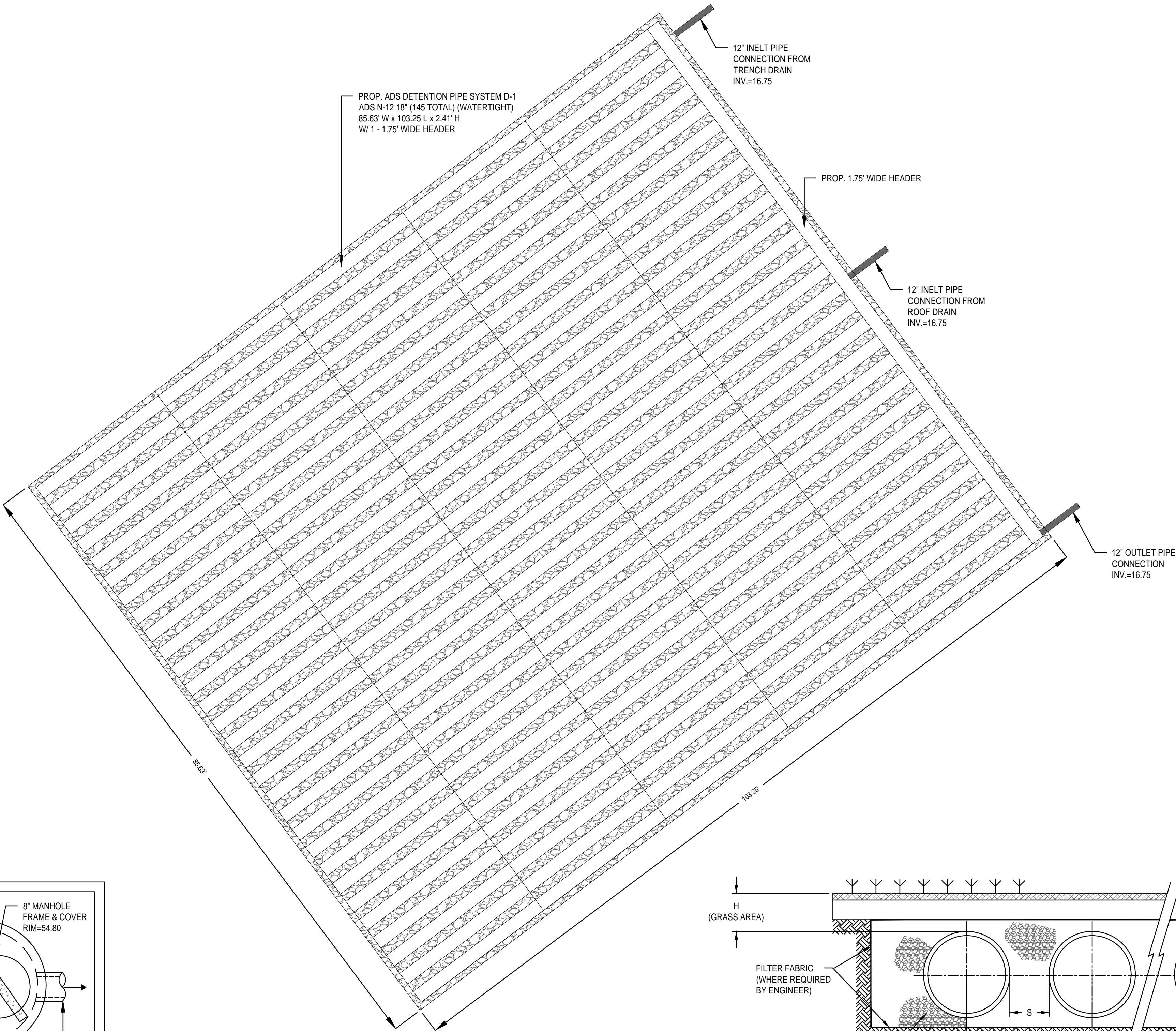
- EXCAVATE BELOW BOTTOM OF CRUSHED STONE BASE AND BACKFILL WITH CLEAN GRAVEL BORROW (MASS. HIGHWAY M1.03.0 TYPE B) TO NATURALLY OCCURRING PERVIOUS MATERIAL. (REFER TO TEST PIT SOIL LOGS SUBMITTED HEREWITH).
- INSTALLATION AND INSPECTION OF ALL SUBSURFACE INFILTRATION AND DETENTION SYSTEMS SHALL BE PERFORMED AND WRITTEN APPROVAL OBTAINED BEFORE CONSTRUCTION OF THE ACCESS ROAD AND PARKING LOT BASE COURSE BEGINS.

CRUSHED STONE:

SHALL BE DURABLE CRUSHED ROCK CONSISTING OF ANGULAR FRAGMENTS, FREE FROM A DETRIMENTAL QUANTITY OF THIN, FLAT, ELONGATED PIECES OR DURABLE CRUSHED GRAVEL STONE OBTAINED BY ARTIFICIAL CRUSHING OF BOULDERS OR FIELDSTONE. THE CRUSHED STONE MUST BE FREE FROM CLAY, LOAM, OR DELETERIOUS MATERIAL.

CRUSHED STONE TO CONFORM TO THE FOLLOWING GRADATIONS:

SIEVE SIZE	PERCENT PASSING			
	STONE SIZE			
	1 1/4 INCH	3/4 INCH	1/2 INCH	3/8 INCH
2"				
1 1/2"	100			
1 1/4"	85-100			
1"		100		
3/4"	10-40	90-100		
5/8"				100
1/2"	0-8	10-50	85-100	100
3/8"		0-20	14-45	85-100
#4		0-5	0-15	20-20
#8			0-5	0-15
#16				0-5



NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "S"	NOMINAL SPACING "C"	TYPICAL SIDE WALL "X"	H (NON-TRAFFIC)	H (TRAFFIC)
12" (300mm)	14.5" (368mm)	11" (279mm)	25.5" (648mm)	8" (203mm)	12" (305mm)	12" (305mm)
15" (375mm)	15" (457mm)	11.5" (292mm)	29.0" (737mm)	8" (203mm)	12" (305mm)	12" (305mm)
21" (450mm)	21" (533mm)	17.0" (432mm)	38.0" (965mm)	12" (228mm)	12" (305mm)	12" (305mm)
24" (600mm)	28" (711mm)	14.0" (356mm)	41.5" (1054mm)	10" (254mm)	12" (305mm)	12" (305mm)
36" (750mm)	36" (914mm)	18" (457mm)	63.0" (1600mm)	15" (457mm)	12" (305mm)	12" (305mm)
36" (900mm)	40" (1027mm)	22" (559mm)	63.0" (1600mm)	15" (457mm)	12" (305mm)	12" (305mm)
48" (1050mm)	48" (1219mm)	24" (610mm)	72.0" (1829mm)	18" (457mm)	12" (305mm)	12" (610mm)
48" (1200mm)	54" (1372mm)	25" (635mm)	78.5" (1994mm)	18" (457mm)	12" (305mm)	24" (610mm)
60" (1500mm)	60" (1702mm)	28" (610mm)	88" (2286mm)	15" (457mm)	12" (305mm)	24" (610mm)

SUBSURFACE DETENTION SYSTEMS AB-1
SCALE: N.T.S.

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CONSTRUCTION
DETAILS

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NOTES:

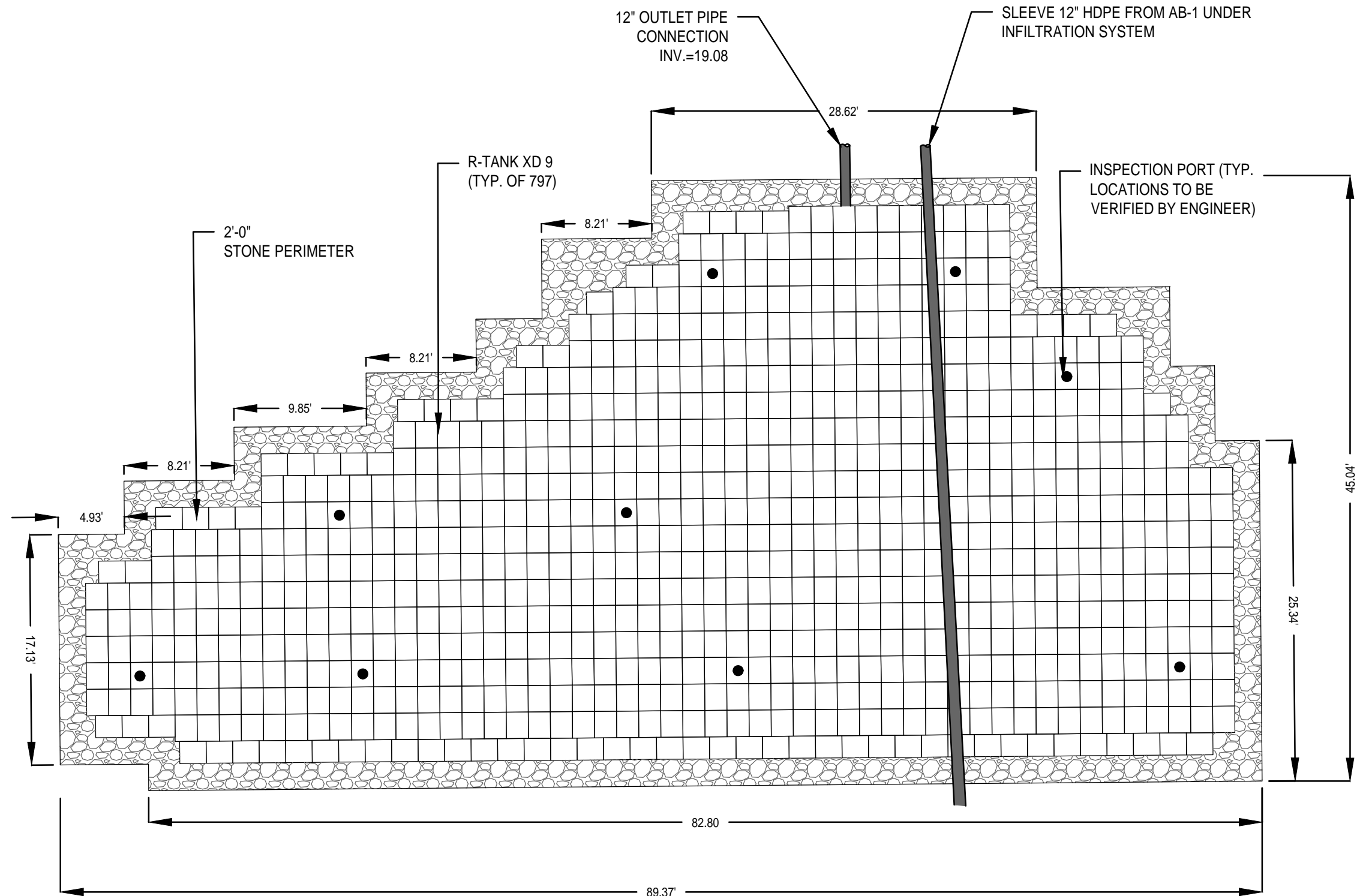
- EXCAVATE BELOW BOTTOM OF CRUSHED STONE BASE AND BACKFILL WITH CLEAN GRAVEL BORROW (MASS. HIGHWAY M1.03.0 TYPE B) TO NATURALLY OCCURRING PERVIOUS MATERIAL. (REFER TO TEST PIT SOIL LOGS SUBMITTED HEREWITH).
- INSTALLATION AND INSPECTION OF ALL SUBSURFACE INFILTRATION AND DETENTION SYSTEMS SHALL BE PERFORMED AND WRITTEN APPROVAL OBTAINED BEFORE CONSTRUCTION OF THE ACCESS ROAD AND PARKING LOT BASE COURSE BEGINS.

CRUSHED STONE:

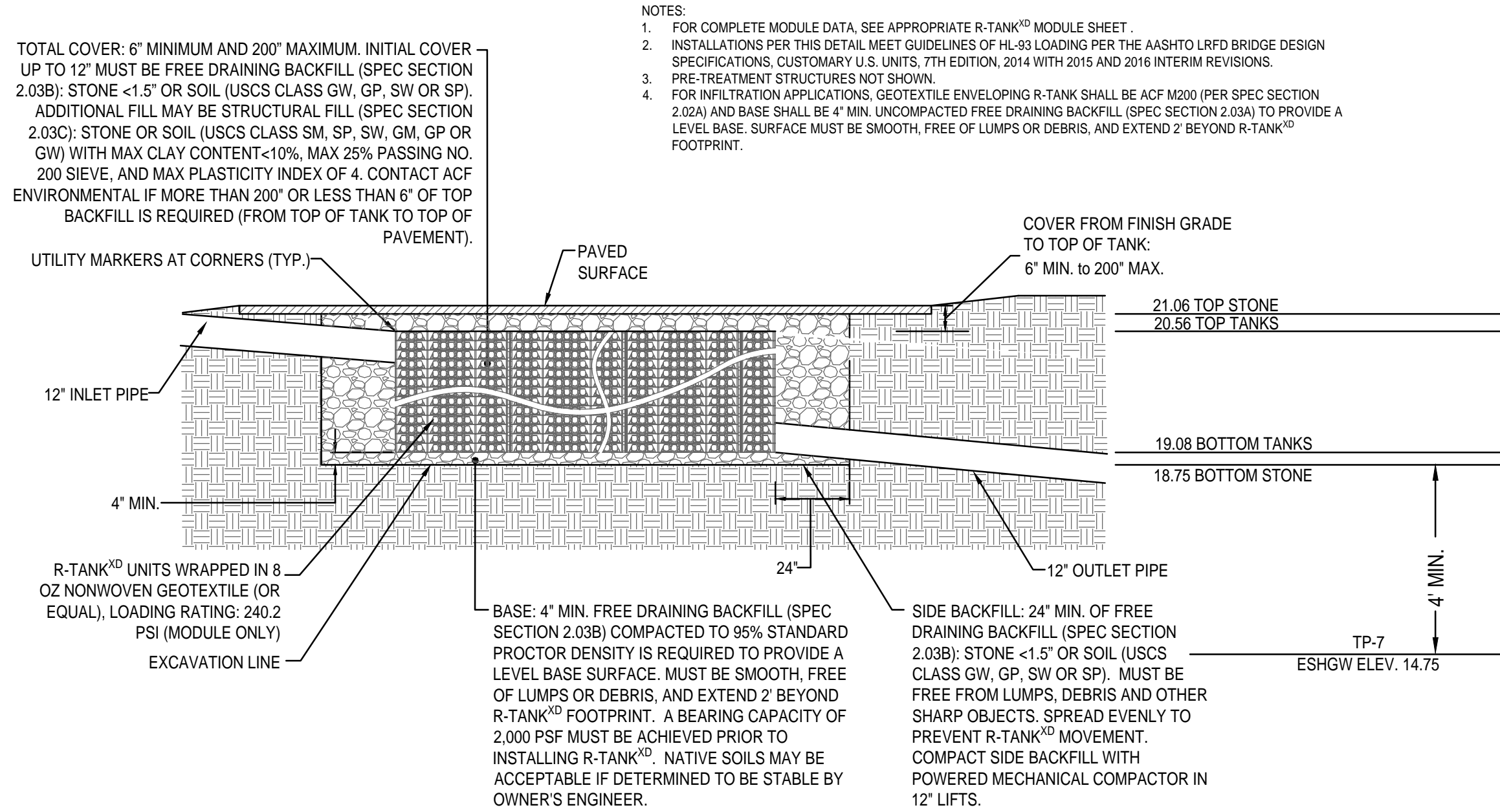
SHALL BE DURABLE CRUSHED ROCK CONSISTING OF ANGULAR FRAGMENTS, FREE FROM A DETRIMENTAL QUANTITY OF THIN, FLAT, ELONGATED PIECES OR DURABLE CRUSHED GRAVEL STONE OBTAINED BY ARTIFICIAL CRUSHING OF BOULDERS OR FIELDSTONE. THE CRUSHED STONE MUST BE FREE FROM CLAY, LOAM, OR DELETERIOUS MATERIAL.

CRUSHED STONE TO CONFORM TO THE FOLLOWING GRADATIONS:

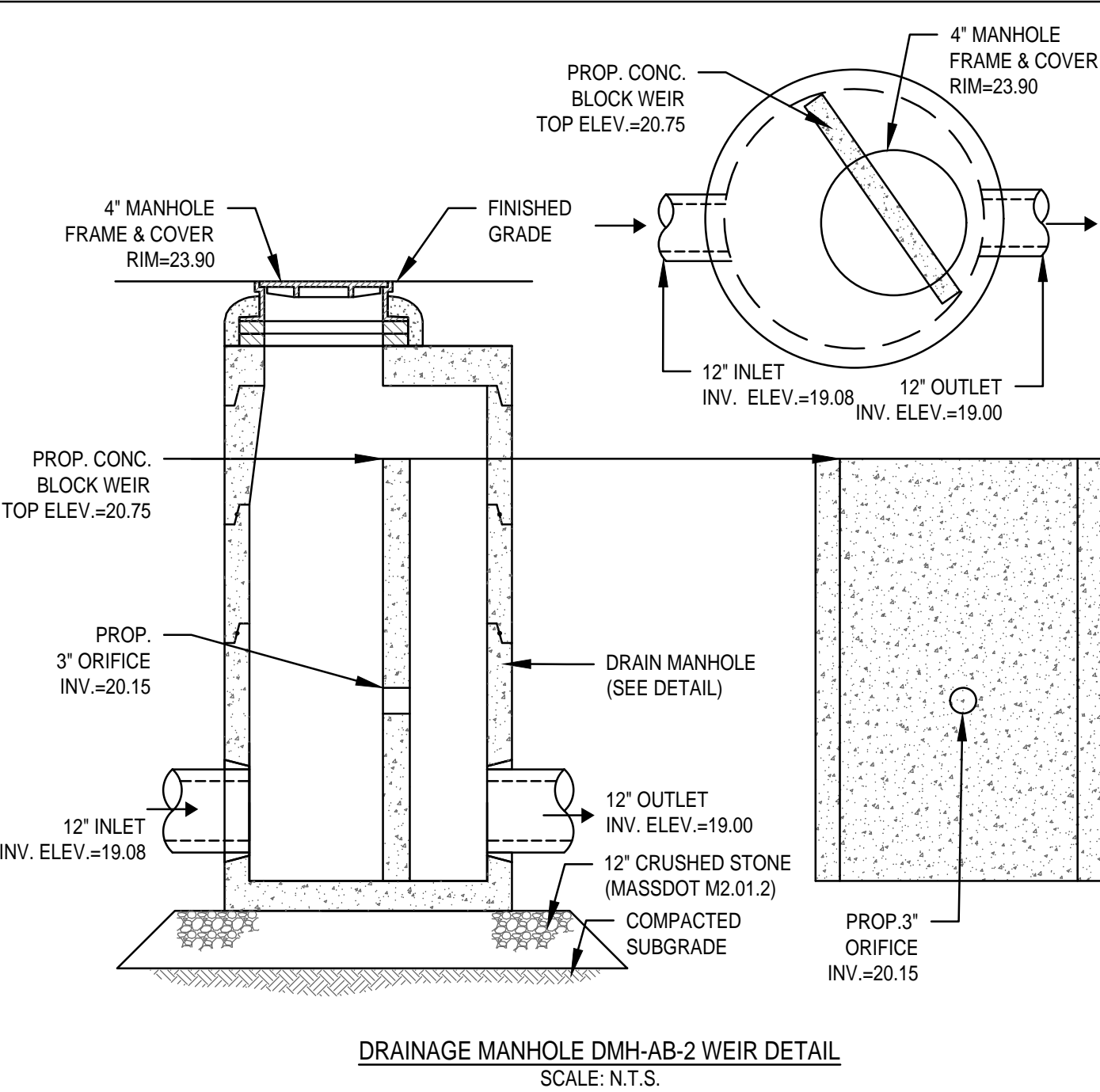
SIEVE SIZE	PERCENT PASSING			
	STONE SIZE			
2"	1 1/4 INCH	3/4 INCH	1/2 INCH	3/8 INCH
1 1/2"	100			
1 1/4"	85-100			
1"		100		
3/4"	10-40	90-100		
5/8"			100	
1/2"	0-8	10-50	85-100	100
3/8"		0-20	14-45	85-100
#4		0-5	0-15	20-20
#8			0-5	0-15
#16				0-5



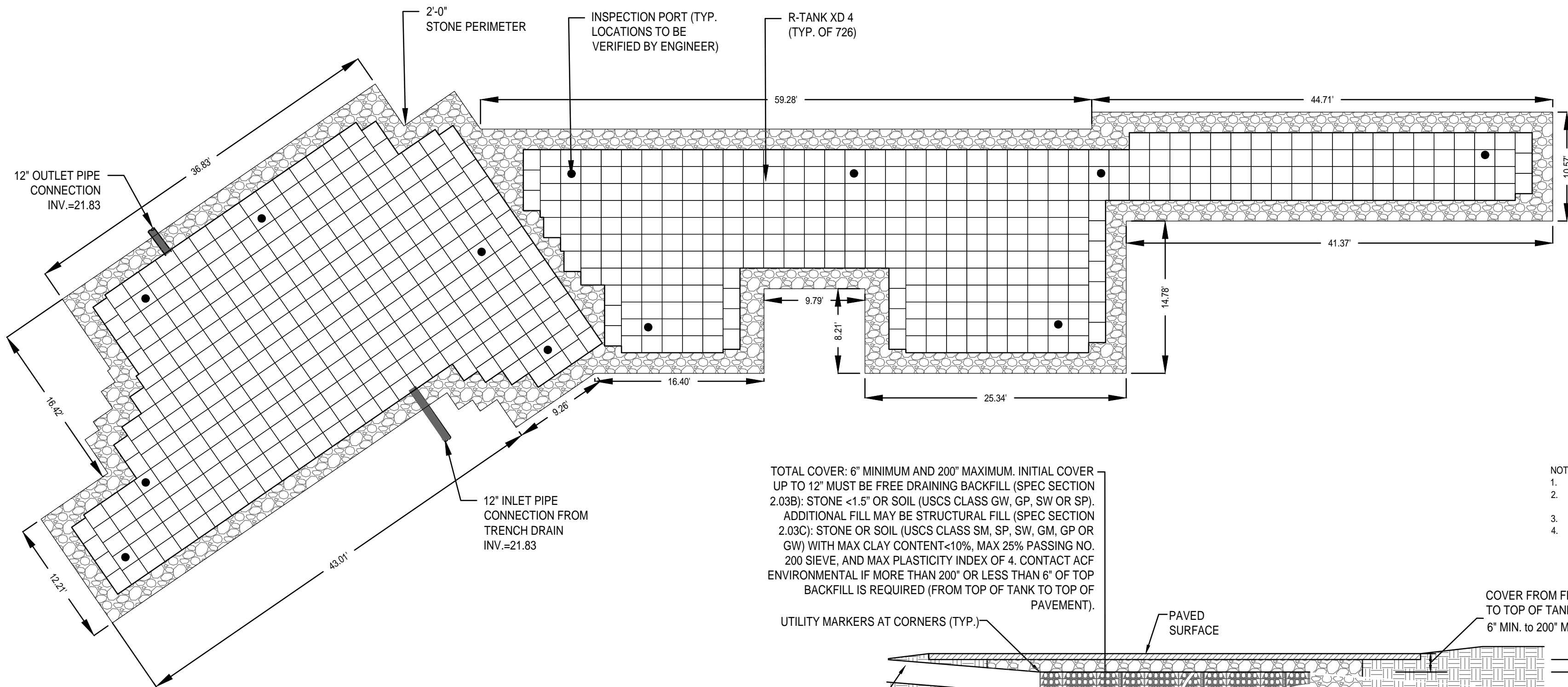
SUBSURFACE INFILTRATION SYSTEMS AB-2
SCALE: N.T.S.



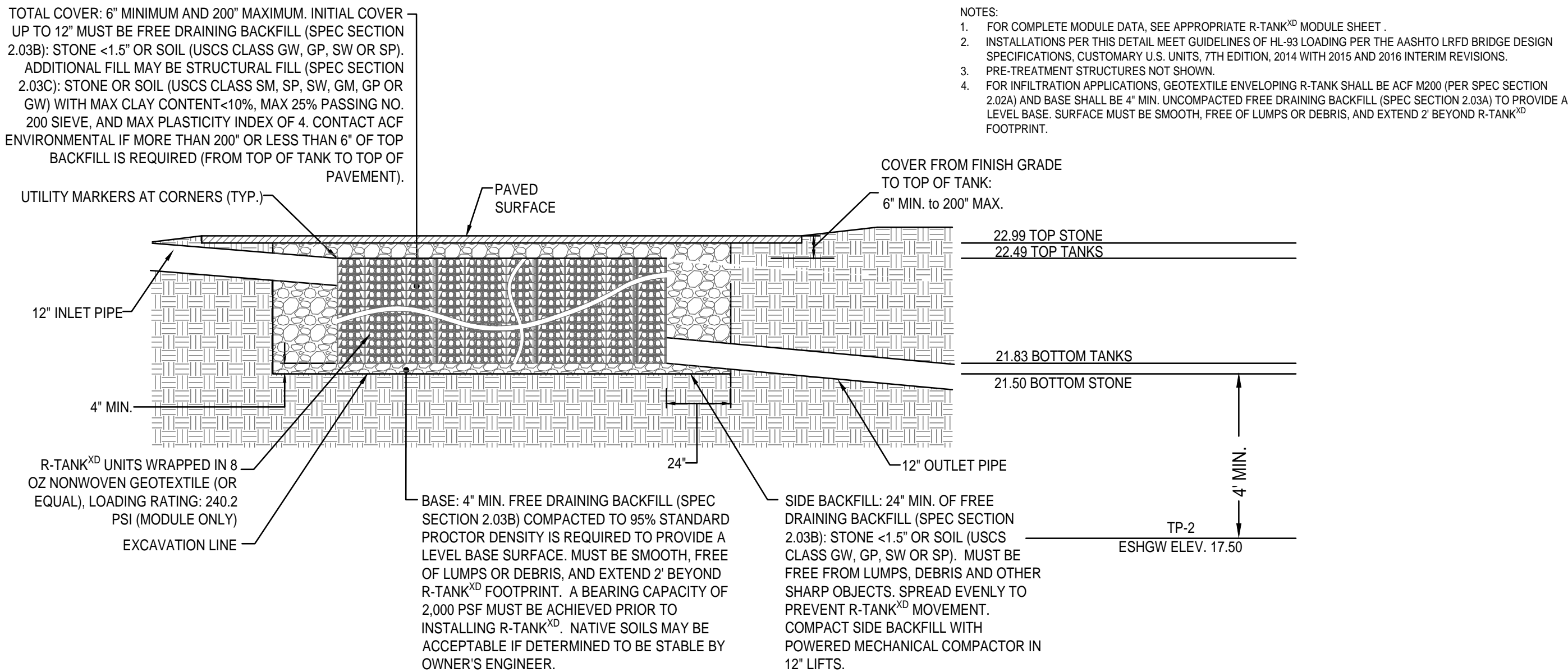
R-TANK^{XD} TANK WRAP & EXCAVATION ENVELOPE DETAIL



DRAINAGE MANHOLE DMH-AB-2 WEIR DETAIL
SCALE: N.T.S.



SUBSURFACE INFILTRATION SYSTEMS AB-3
SCALE: N.T.S.



R-TANK^{XD} TANK WRAP & EXCAVATION ENVELOPE DETAIL

NOTES:

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CRUSHED STONE:

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CRUSHED STONE TO CONFORM TO THE FOLLOWING GRADATIONS:

SIEVE SIZE	PERCENT PASSING			
	STONE SIZE			
2"	1 1/4 INCH	3/4 INCH	1/2 INCH	3/8 INCH
1 1/2"	100			
1 1/4"	85-100			
1"		100		
3/4"	10-40	90-100		
5/8"			100	
1/2"	0-8	10-50	85-100	100
3/8"		0-20	14-45	85-100
#4		0-5	0-15	20-20
#8			0-5	0-15
#16				0-5

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NORWELL, MA 02061
781.782.3900

LANDSCAPE
MDLA

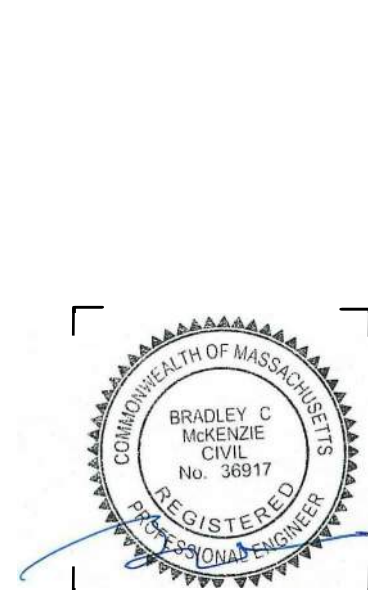
640 SUMMER STREET
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BOSTON, MA 02127

JACKSON SQUARE
WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

REVISION	DATE
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DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW

DATE: AUGUST 4, 2023

PROJECT #: 22034

SCALE: NOT TO SCALE

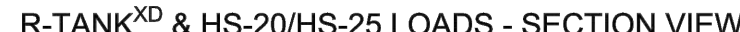
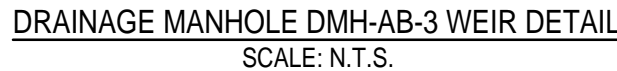
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CONSTRUCTION
DETAILS

DRAWING NUMBER

C-8

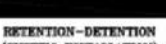
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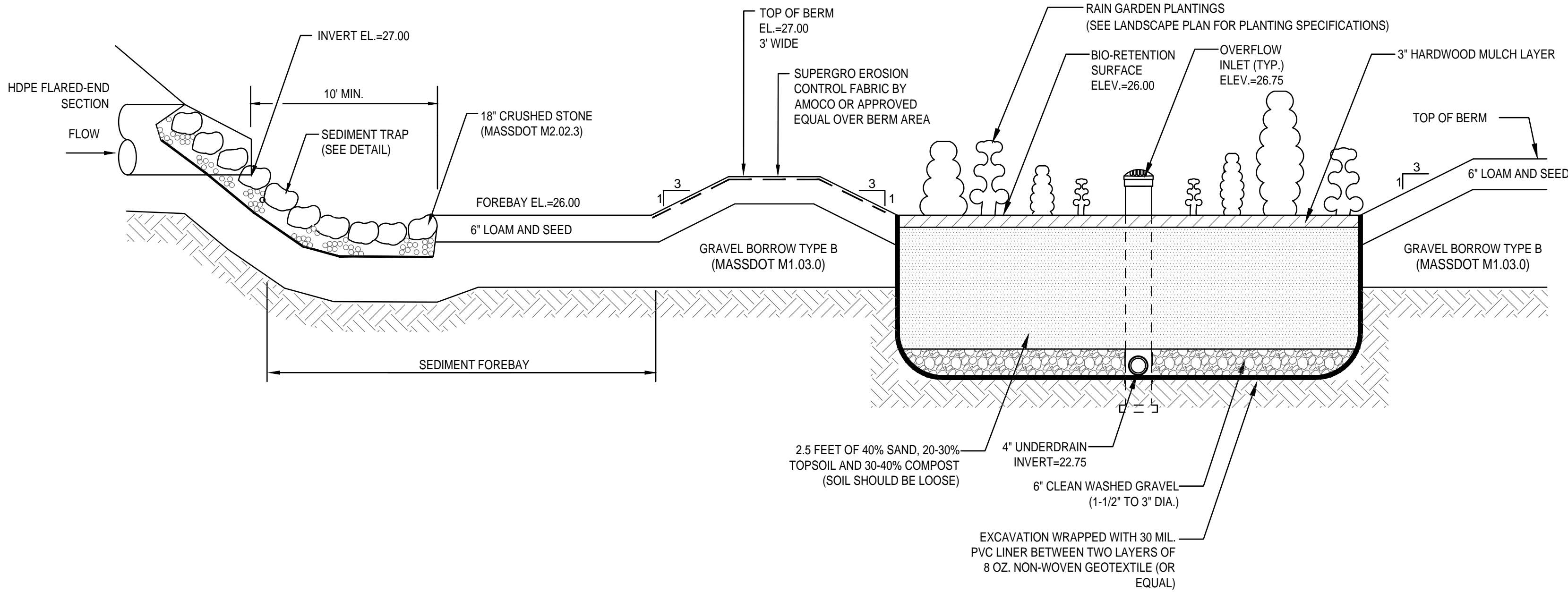


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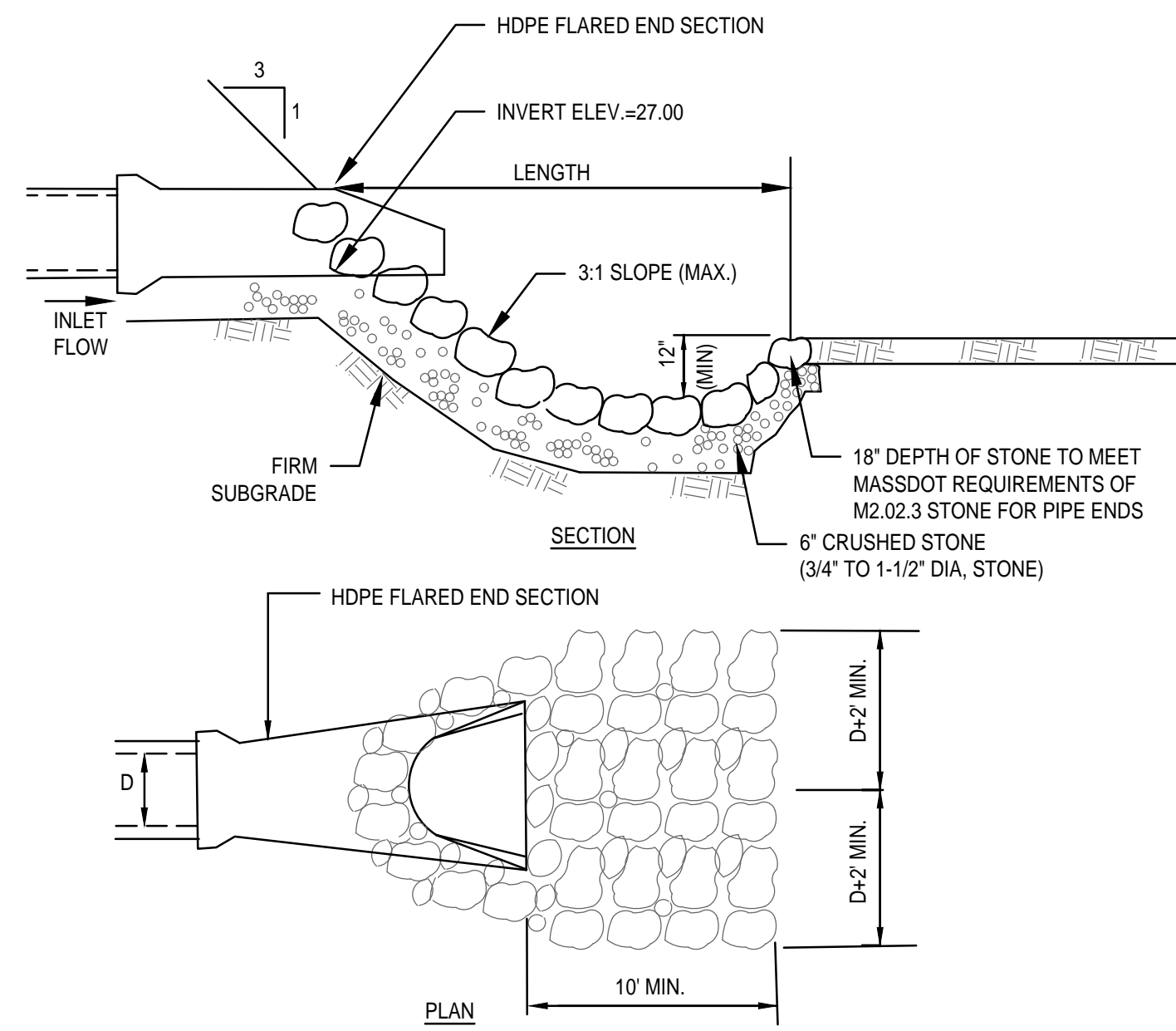
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SIEVE SIZE	1 1/4 INCH	3/4 INCH	1/2 INCH	3/8 INCH
2"				
1 1/2"	100			
1 1/4"	85-100			
1"		100		
3/4"	10-40	90-100		
5/8"				100
1/2"	0-8	10-50	85-100	100
3/8"		0-20	14-45	85-100
#4		0-5	0-15	20-20
#8			0-5	0-15
#16				0-5

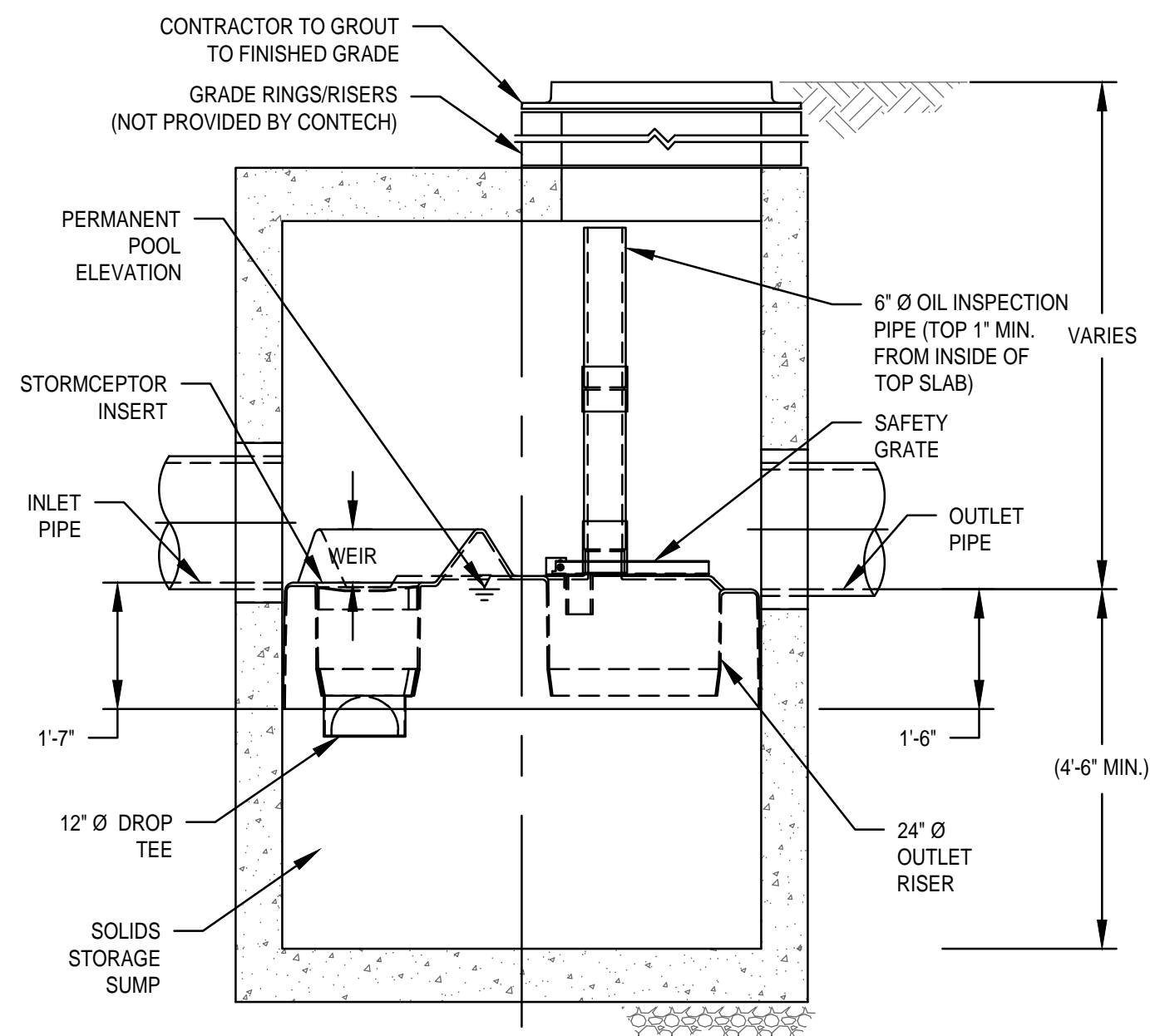




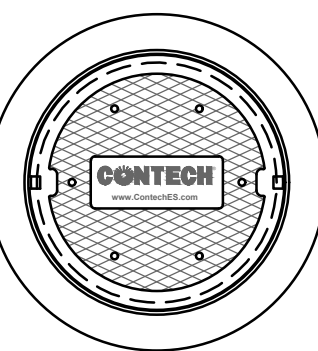
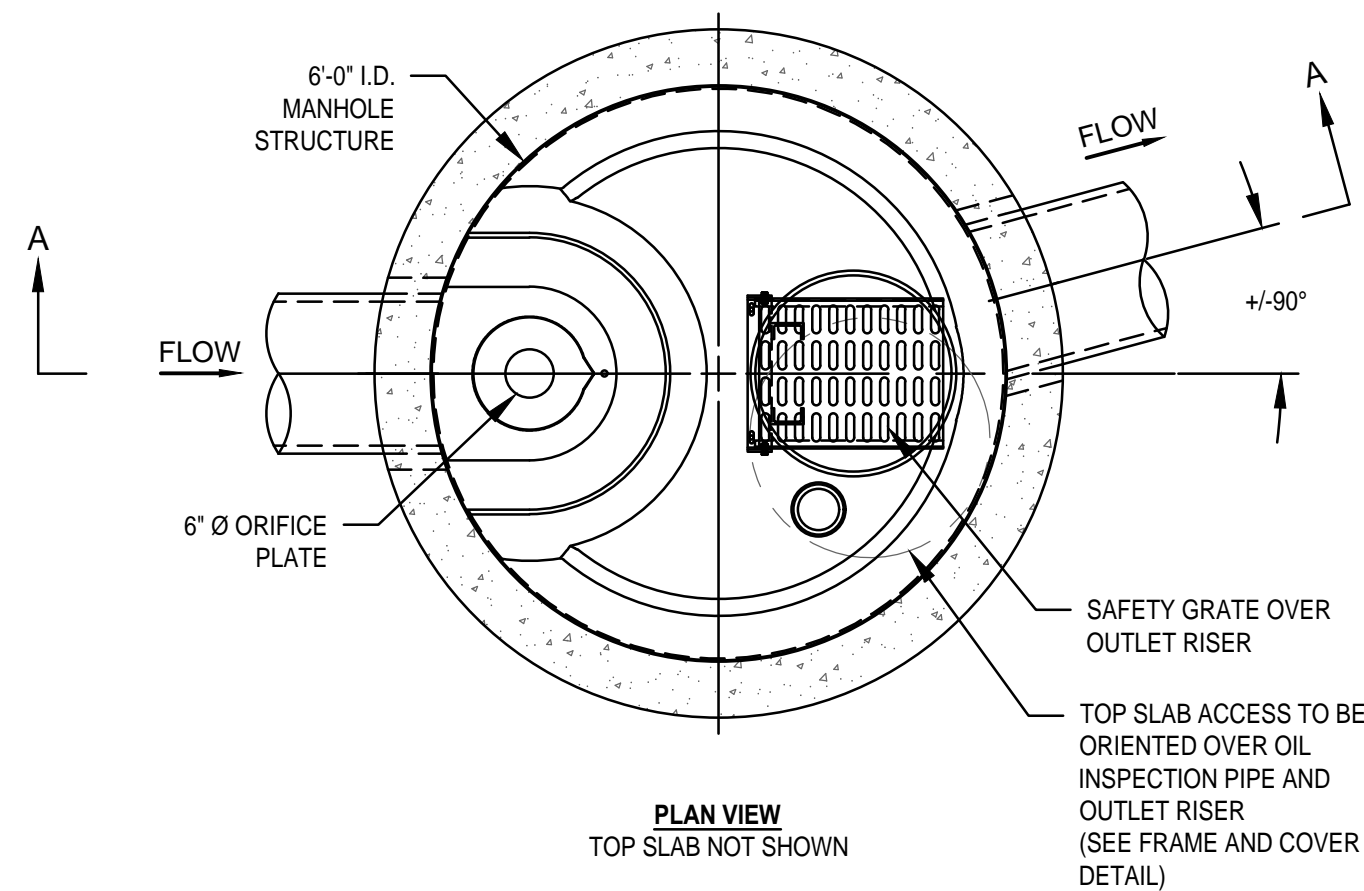
BIO-RETENTION AREA (RAIN GARDEN)
SCALE: N.T.S.



TYPICAL SEDIMENT TRAP DETAIL
SCALE: N.T.S.



SECTION A-A



FRAME AND COVER
(MAY VARY)
NOT TO SCALE

GENERAL NOTES

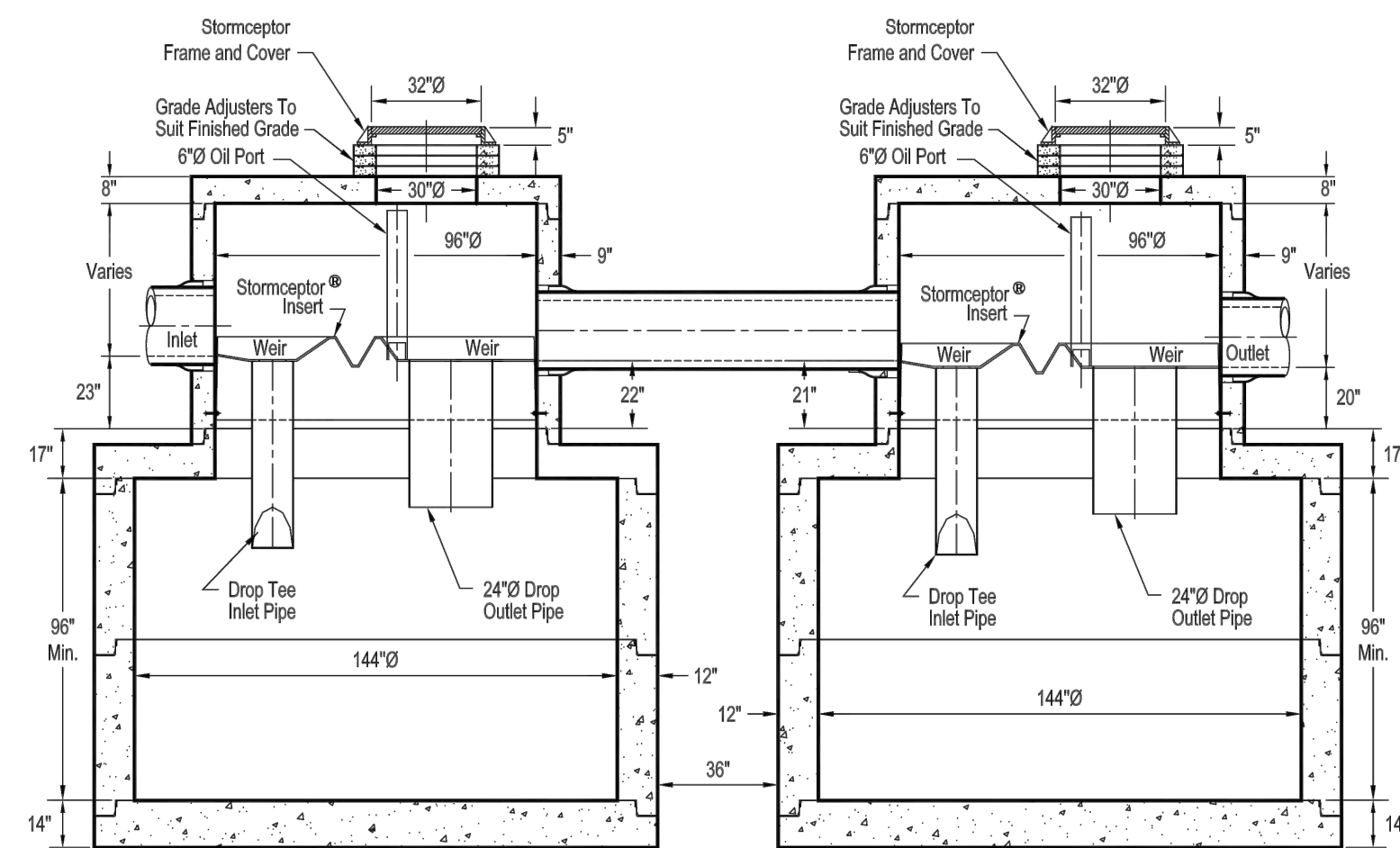
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
3. STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

STC 900 STORMCEPTOR STANDARD DETAIL
SCALE: N.T.S.

STC 16000s Precast Concrete Stormceptor®
(16000 U.S. Gallon Capacity)



Section Thru Chambers

Notes:

1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

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CONSULTANTS

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781.782.3900

LANDSCAPE

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SUITE #201A
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JACKSON SQUARE

WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

REVISION	DATE
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DRAWING INFORMATION

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PROJECT #: 22034
SCALE: NOT TO SCALE

DRAWING TITLE

CONSTRUCTION
DETAILS

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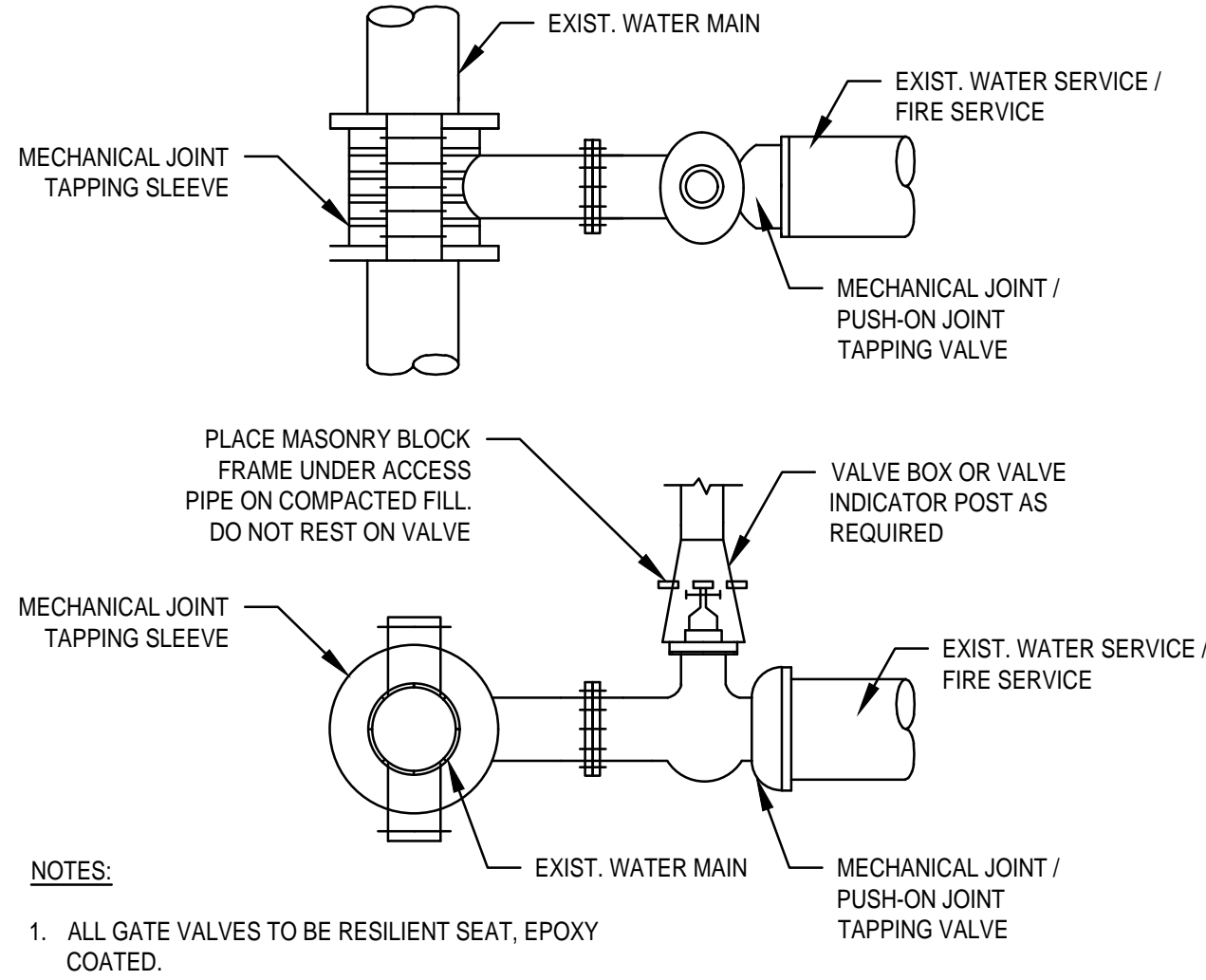
C-10

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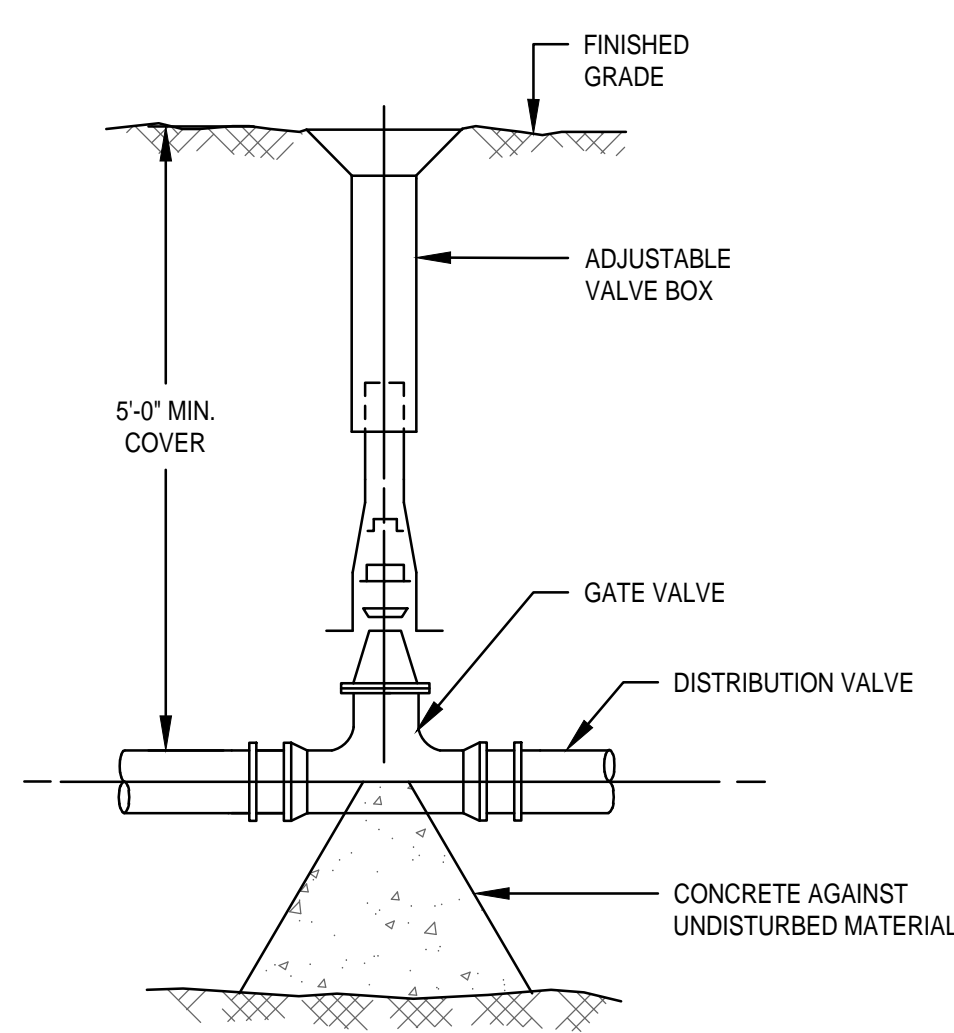
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GENERAL NOTES

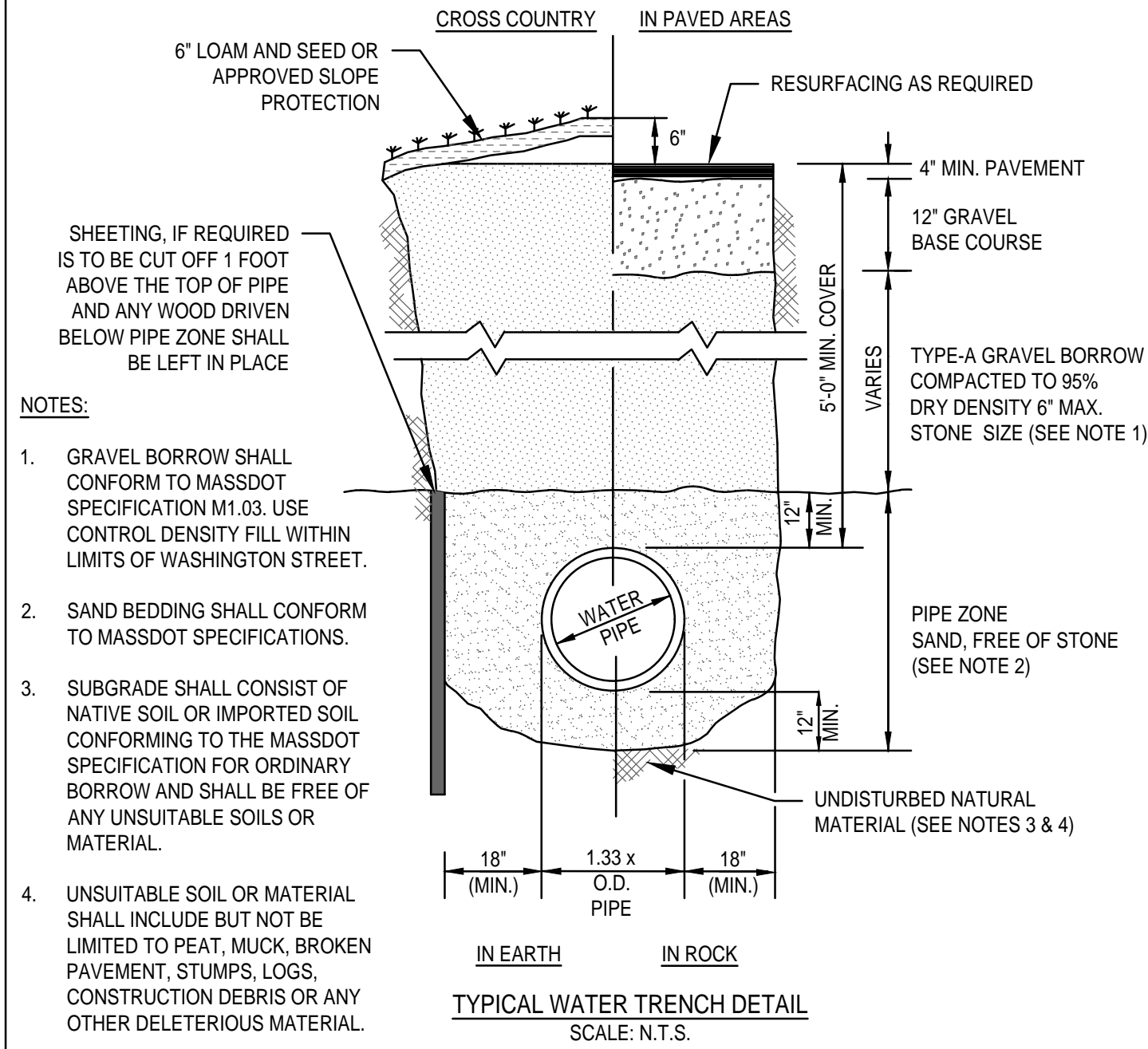
- IF SHEETING IS USED, IT SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
- ALL PIPES SHALL BE PRESSURE TESTED AT 200 PSI WORKING PRESSURE FOR A MINIMUM DURATION OF TWO HOUR.
- WATER SYSTEM IS TO BE DISINFECTED TO 50 P.P.M. AVAILABLE CHLORINE AND AFTER 24 HOURS TO 25 P.P.M. OR AS REQUIRED BY PEMBROKE WATER SUPERINTENDENT/ENGINEER.
- WATER PIPE IS TO BE CEMENT LINED DUCTILE IRON "TYTON" OR EQUAL TYPE JOINT, CONFORMING TO A.N.S.I./A.W.W.A. C150/A21.50, CLASS 52, AS APPROVED BY THE TOWN'S WATER SUPERINTENDENT/ENGINEER.
- ALL PIPING SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH A.W.W.A. STANDARDS PRIOR TO PAVING IF PAVING ABOVE TRENCH IS REQUIRED.
- BACKFILL IS TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY BY AASHTO T-180 D.
- ALL WATER PIPE SHALL BE LAID WITH A MINIMUM OF 5 FEET OF COVER OF APPROVED MATERIALS.
- RESULTS FROM PRESSURE TESTING AND DISINFECTION SHALL BE FURNISHED TO THE DIRECTOR OF PUBLIC WORKS FOR APPROVAL PRIOR TO WATER BEING TURNED ON.
- ALL WORK SHALL BE IN CONFORMANCE WITH PEMBROKE WATER DEPARTMENT STANDARDS.
- ALL PERMITS REQUIRED FOR STREET OPENINGS AND WATER MAIN TAPPING MUST BE OBTAINED.
- NO WATER WILL BE TURNED ON IN THE PROJECT WITHOUT WATER DEPARTMENT APPROVAL.



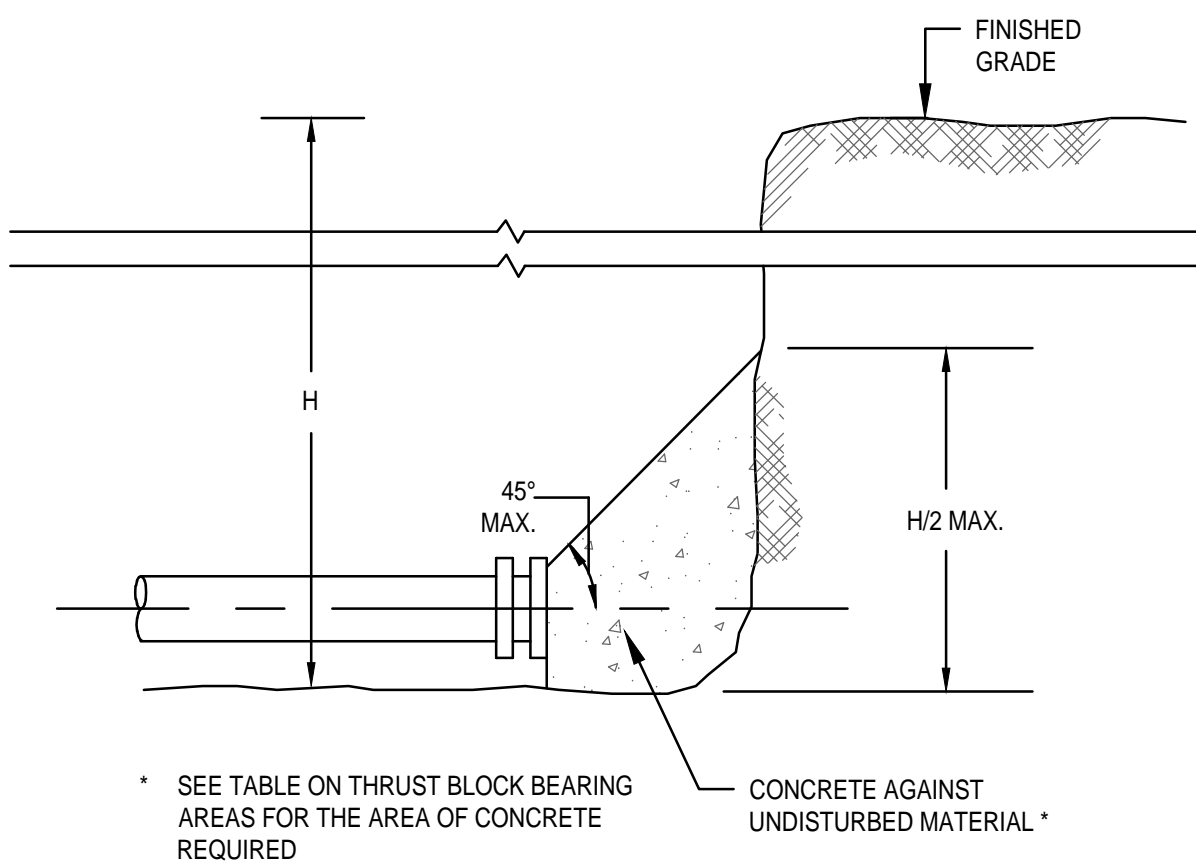
TYPICAL TAPPING SLEEVE AND VALVE DETAIL
SCALE: N.T.S.



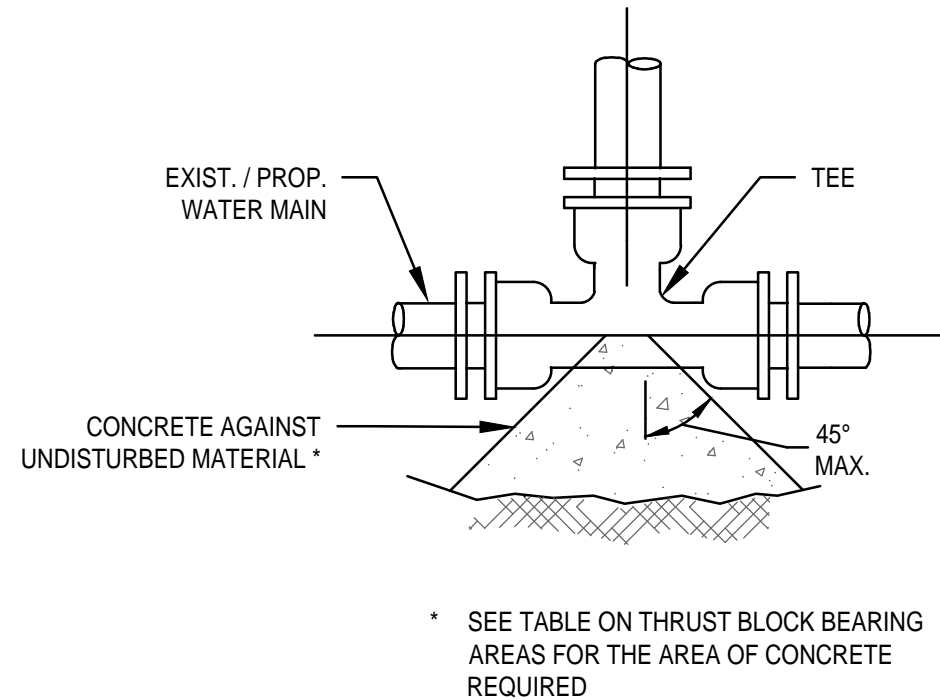
WATER GATE DETAIL
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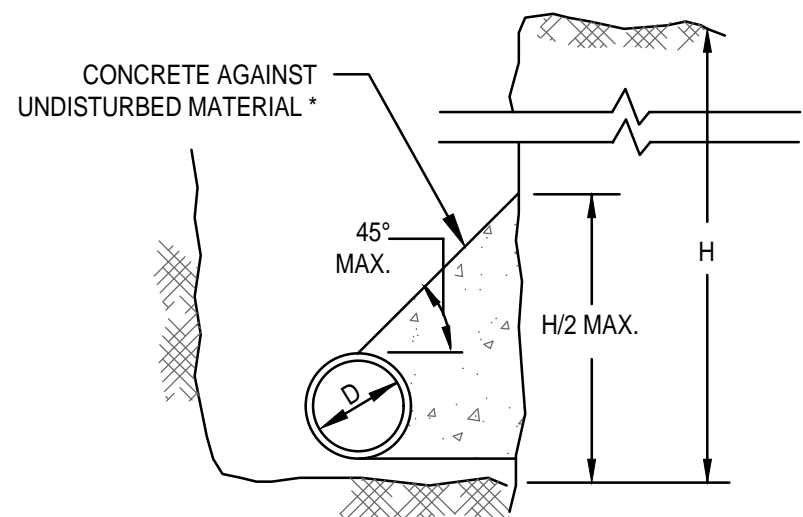
TYPICAL WATER TRENCH DETAIL
SCALE: N.T.S.



THRUST WATER MAIN PLUG
SCALE: N.T.S.



TYPICAL WATER MAIN TEE THRUST BLOCK DETAIL
SCALE: N.T.S.



THRUST WATER MAIN THRUST BLOCK SECTION DETAIL
SCALE: N.T.S.

THRUST BLOCK BEARING AREAS FOR WATER PIPE

TABLE OF BEARING AREAS IN SQ. FT. AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS*			
SIZE OF MAIN (IN.)	90 ° BEND	TEES AND PLUGS	45 ° BEND
6	4	2.5	2
8	6	4	3
12	12	9	7
16	21	16	12

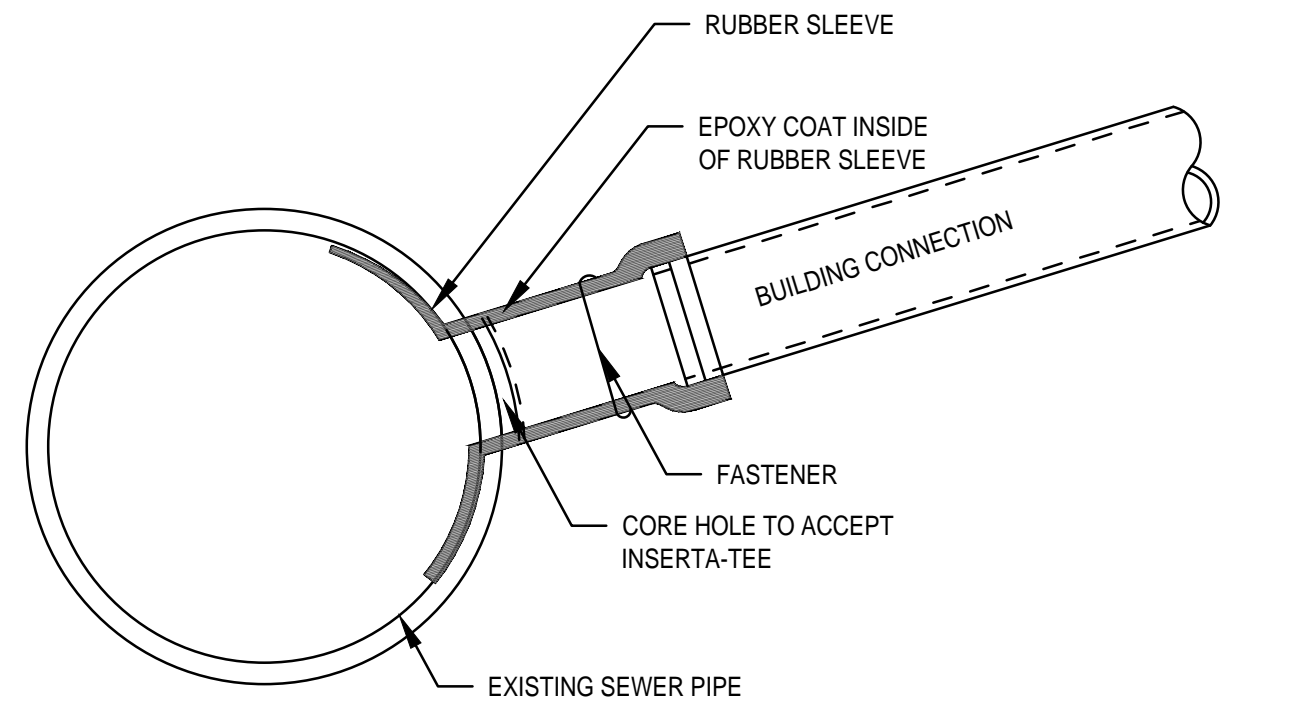
NOTES:

- FOR FITTINGS WITH LESS THAN 45° DEFLECTION, USE BEARING AREAS FOR 45° BEND.
- BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 P.S.F. AND INTERNAL WATER PRESSURE OF 150 P.S.I.G. JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DIERGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND THE ROCK FACE.
- THE CONTRACTOR SHALL SUBMIT 2 WEEKS IN ADVANCE OF PLACEMENT, WORKING DRAWINGS FOR EACH THRUST BLOCK TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- ALL VALVES AND FITTINGS SHALL BE RODDED TOGETHER.

ASSUMPTIONS:

* TYPE OF SOIL IS MEDIUM CLAYEY, 6 OR MORE BLOWS PER FOOT, OR LOOSE GRANULAR, 9 OR MORE BLOWS PER FOOT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.

THRUST BLOCK DETAILS
SCALE: N.T.S.



- A. BELL END ACCEPTS PIPE WITH SDR 26, SDR 35 AND ASTM D3034 OR EQUIVALENT O.D. SPECIFICATION IN 4" AND 6" SIZES.
- B. CURVATURE VARIES WITH MAINLINE DIAMETERS.
- C. SPIGOT END SDR 26, PVC SDR 35, ASTM D3034 DIAMETERS: 4" AND 6"

PART	PART NAME
1	HUB ADAPTOR
2	RUBBER GASKET
3	SECURING CLAMP*

4	RUBBER SLEEVE
4A	UPPER SEGMENT**
4B	LOWER SEGMENT***

* OPTIONAL: #316 STAINLESS STEEL BAND, SCREW AND HOUSING
** DISTANCE BETWEEN 4A AND 4B WILL VARY BY PRODUCT TYPE
*** WILL NOT APPEAR ON RUBBER SLEEVES FOR CONCRETE OR CLAY PIPE

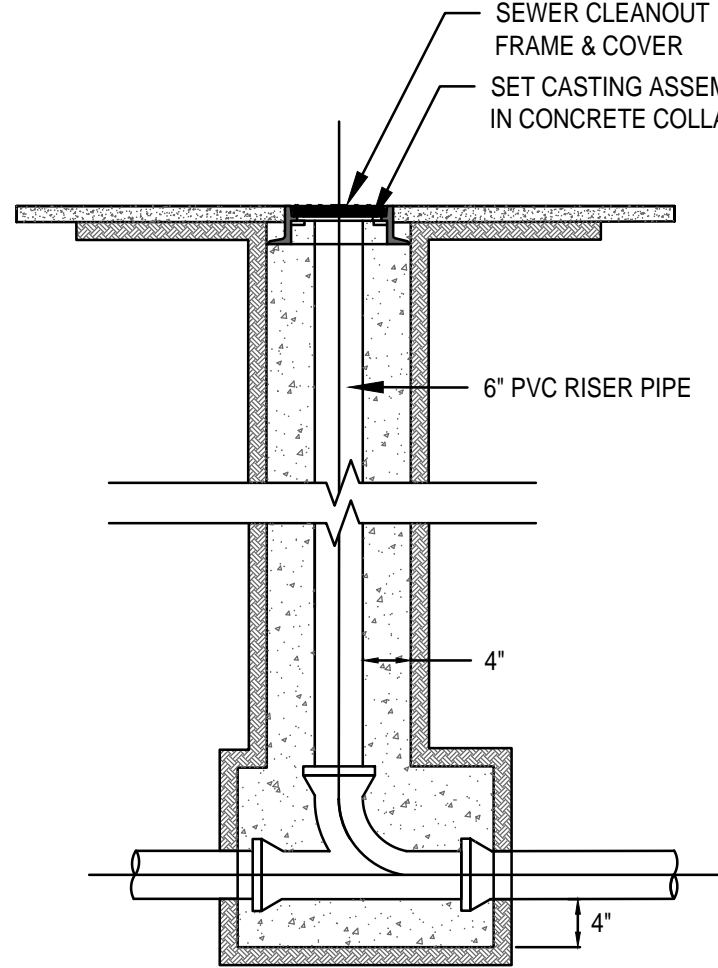
INSERTA TEE SIZE	HOLE DIAMETER
4" (100 mm)	4 1/2" (114 mm)
6" (150 mm)	6 1/2" (165 mm)

BUILT IN STOP FOLLOWS CONTOUR OF MAINLINE PIPE (PATENT PENDING)
CUSTOM MADE TO MATCH THE INTERIOR RADIUS OF THE MAINLINE PIPE OR STRUCTURE

NOTES:

- DETAILS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. PRODUCT SPECIFICATIONS AND INSTALLATION SHALL COME FROM MANUFACTURER.
- RECOMMENDED METHOD OF CUTTING HOLE IS WITH HOLE SAW FOR PVC AND OTHER PLASTICS, AND DIAMOND BIT FOR CONCRETES, CLAY, FRP, AND D.I. (SEE INSTALLATION INSTRUCTIONS.)

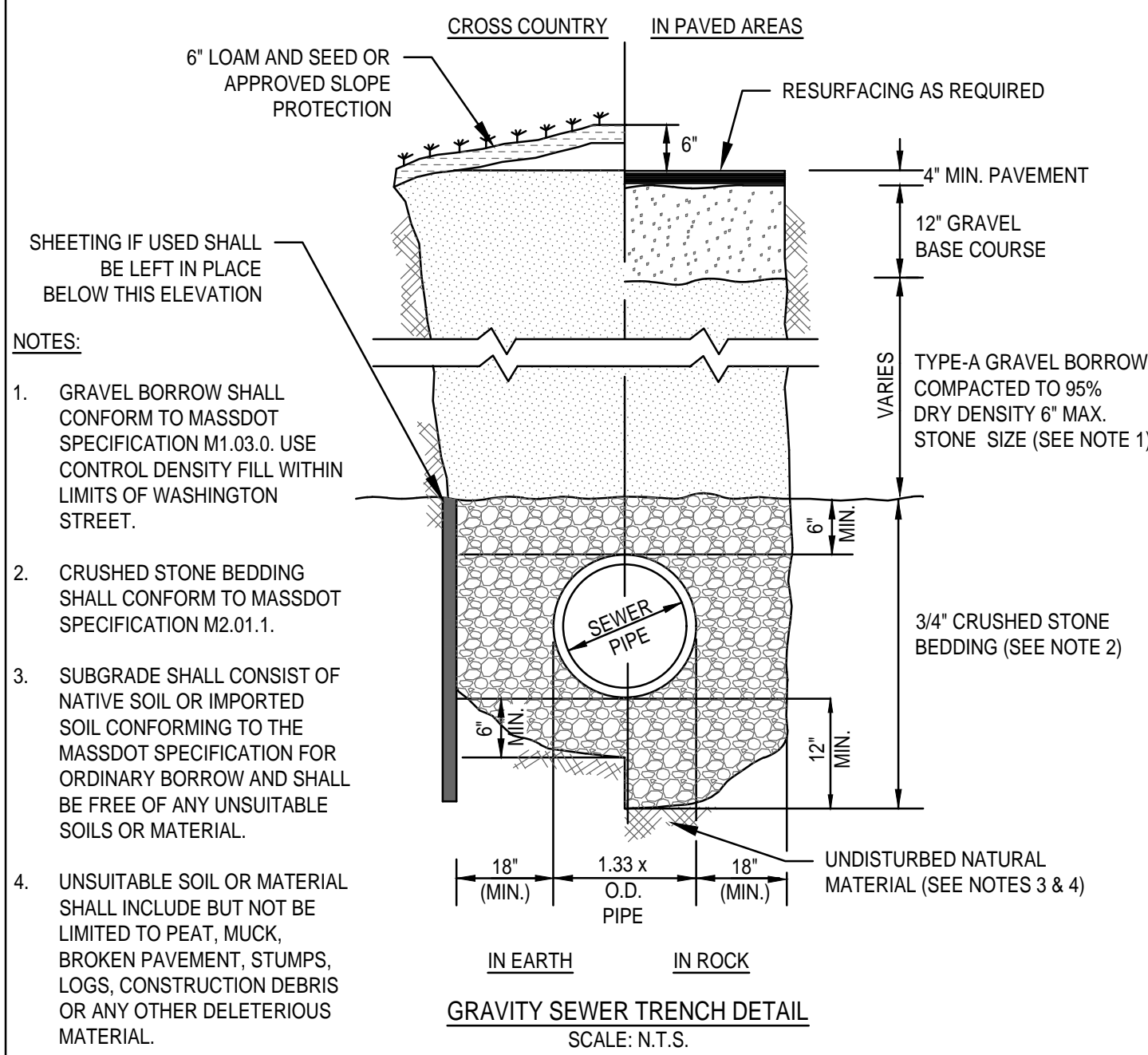
INSERTA-TEE SEWER CONNECTION TO EXISTING SEWER
SCALE: N.T.S.



NOTES:

- CLEANOUT TOP SHALL BE ENCLOSED IN CASTING AND/OR FABRICATED COVER ASSEMBLY.

IN LINE SEWER CLEANOUT DETAIL
SCALE: N.T.S.



GRAVITY SEWER TRENCH DETAIL
SCALE: N.T.S.

ARCHITECT

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REVISIONS

DATE	ISSUE	REVISION

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ISSUE: SITE PLAN REVIEW
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SCALE: NOT TO SCALE

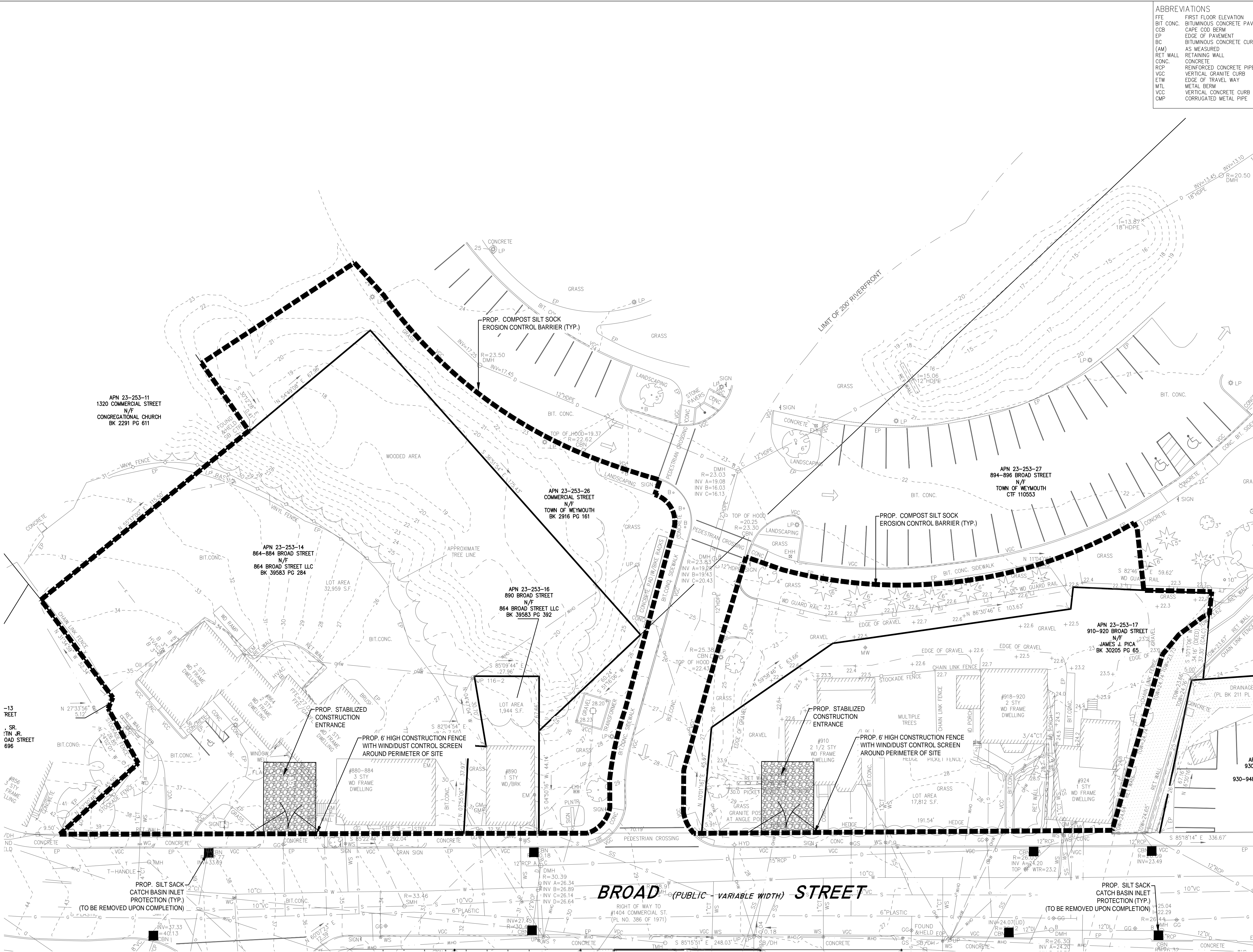
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CONSTRUCTION DETAILS

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ABBREVIATIONS

FTE FIRST FLOOR ELEVATION
BIT CONC. BITUMINOUS CONCRETE PAVEMENT
CCB CAPE COD BERM
EP EDGE OF PAVEMENT
BC BITUMINOUS CONCRETE CURB
(AM) AS MEASURED
RET WALL RETAINING WALL
CONC. CONCRETE
RCP REINFORCED CONCRETE PIPE
VGC VERTICAL GRANITE CURB
ETW EDGE OF TRAVEL WAY
MTL METAL BERM
VCC VERTICAL CONCRETE CURB
CMP CORRUGATED METAL PIPE

LEGEND

SURVEY SYMBOLS

• REBAR
✓ ANGLE IRON
CB/DH CONCRETE BOUND WITH DRILL HOLE
SB STONE BOUND
SB/DH STONE BOUND

UTILITY SYMBOLS

CHIMNEY
ELECTRIC HAND HOLE
GUY POLE
GUY WIRE
HVAC UNIT
BUILDING LIGHT W/MAST
BUILDING LIGHT TRANSFORMER
WATER GATE
EXHAUST VENT
AIR VENT
DRAINAGE SUMP
ELECTRIC MANHOLE
SEWER MANHOLE
DRAIN MANHOLE
TELEPHONE MANHOLE
DRAINAGE CATCH BASIN
DOOR WAY THRESHOLD
HYDRANT
POST INDICATOR VALVE
UTILITY POLE
YARD LIGHT
RIP RAP
BOLLARD
SIGN
FIRE ALARM
DECIDUOUS TREE
CONIFEROUS TREE

LINE DESIGNATORS

WATER MAIN
HANDRAIL
JERSEY BARRIER
GUARD RAIL
RAILROAD TRACKS
OVERHEAD WIRES
GAS LINE
WATER SERVICE
UNDERGROUND ELECTRIC
STORM DRAIN LINE
SANITARY SEWER LINE
DRAINAGE SWALE
CHAIN LINK FENCE

ARCHITECT

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ISSUE: SITE PLAN REVIEW

DATE: AUGUST 4, 2023

PROJECT #: 22034

SCALE: 1" = 20'

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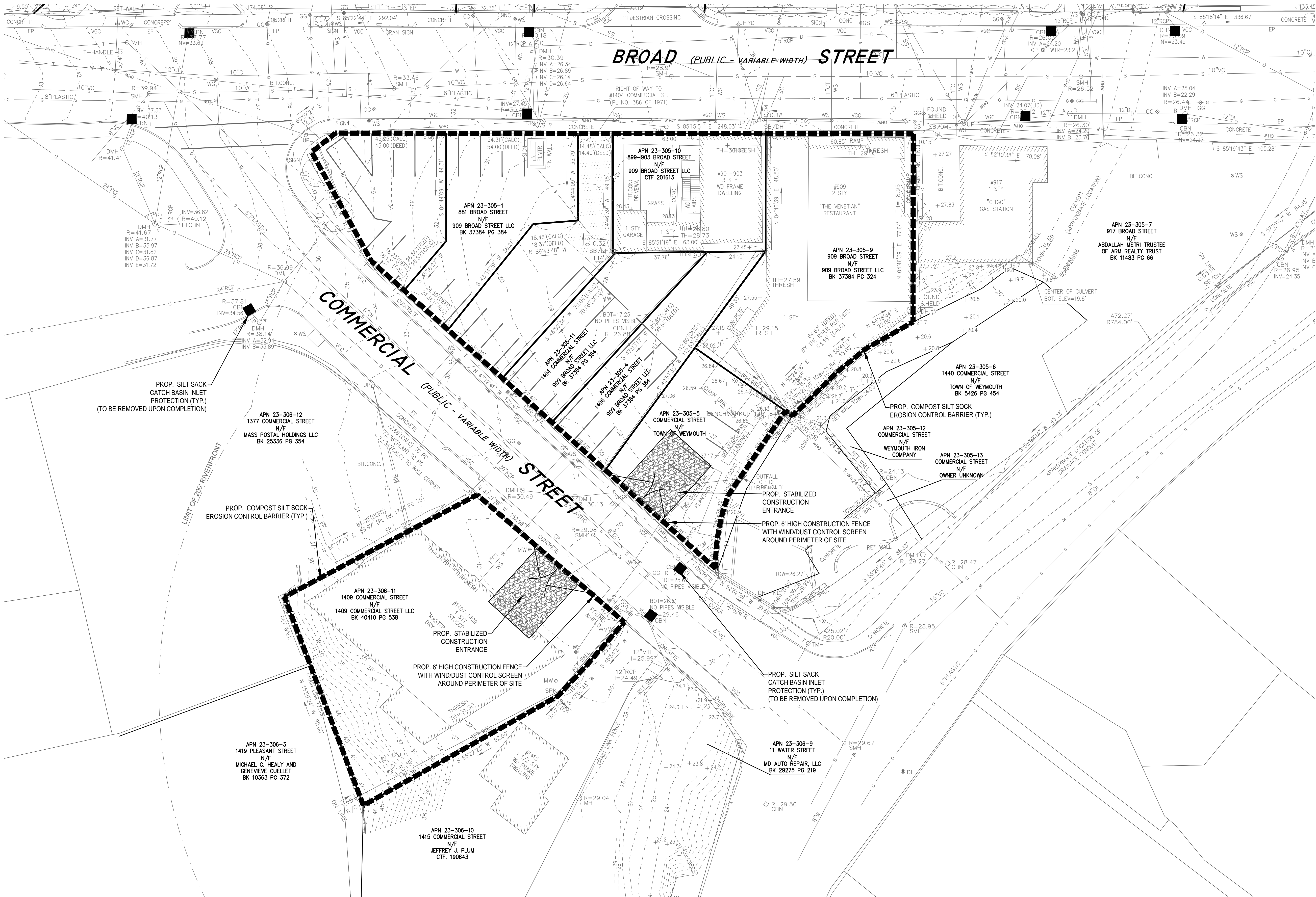
EROSION CONTROL PLAN

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LEGEND

SURVEY SYMBOLS

•

REBAR

∨

ANGLE IRON

CB/DH

□

CONCRETE BOUND WITH DRILL HOLE

SB

□

STONE BOUND

SB/DH

□

STONE BOUND

UTILITY SYMBOLS

CHIMNEY

ELECTRIC HAND HOLE

GUY POLE

GW

—

GUY WIRE

HVAC UNIT

BUILDING LIGHT W/MAST

BUILDING LIGHT TRANSFORMER

WATER GATE

EXH

●

EXHAUST VENT

●

AIR VENT

●

DRAINAGE SUMP

○

ELECTRIC MANHOLE

○

SEWER MANHOLE

○

DRAIN MANHOLE

○

TELEPHONE MANHOLE

CBN

□

DRAINAGE CATCH BASIN

—

DOOR WAY THRESHOLD

—

HYDRANT

—

POST INDICATOR VALVE

—

UTILITY POLE

—

YARD LIGHT

RIP RAP

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HANDRAIL

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JERSEY BARRIER

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GUARD RAIL

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RAILROAD TRACKS

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ABBREVIATIONS

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BITUMINOUS CONCRETE PAVEMENT

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CAPE COD BERM

EP

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EDGE OF PAVEMENT

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BITUMINOUS CONCRETE CURB

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AS MEASURED

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RETAINING WALL

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CONCRETE

RCP

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REINFORCED CONCRETE PIPE

VGC

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VERTICAL GRANITE CURB

ETW

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EDGE OF TRAVEL WAY

MTL

—

METAL BERM

VCC

—

VERTICAL CONCRETE CURB

CMP

—

CORRUGATED METAL PIPE

ARCHITECT

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LANDSCAPE

MDLA
640 SUMMER STREET
SUITE #201A
BOSTON, MA 02127

JACKSON SQUARE
WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

ISSUE

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DRAWING INFORMATION

ISSUE

SITE PLAN REVIEW

DATE

AUGUST 4, 2023

PROJECT #

22034

SCALE

1" = 20'

DRAWING TITLE

EROSION CONTROL PLAN

DRAWING NUMBER

C-13

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copyright: EMBARC INC.

CONSTRUCTION SEQUENCE

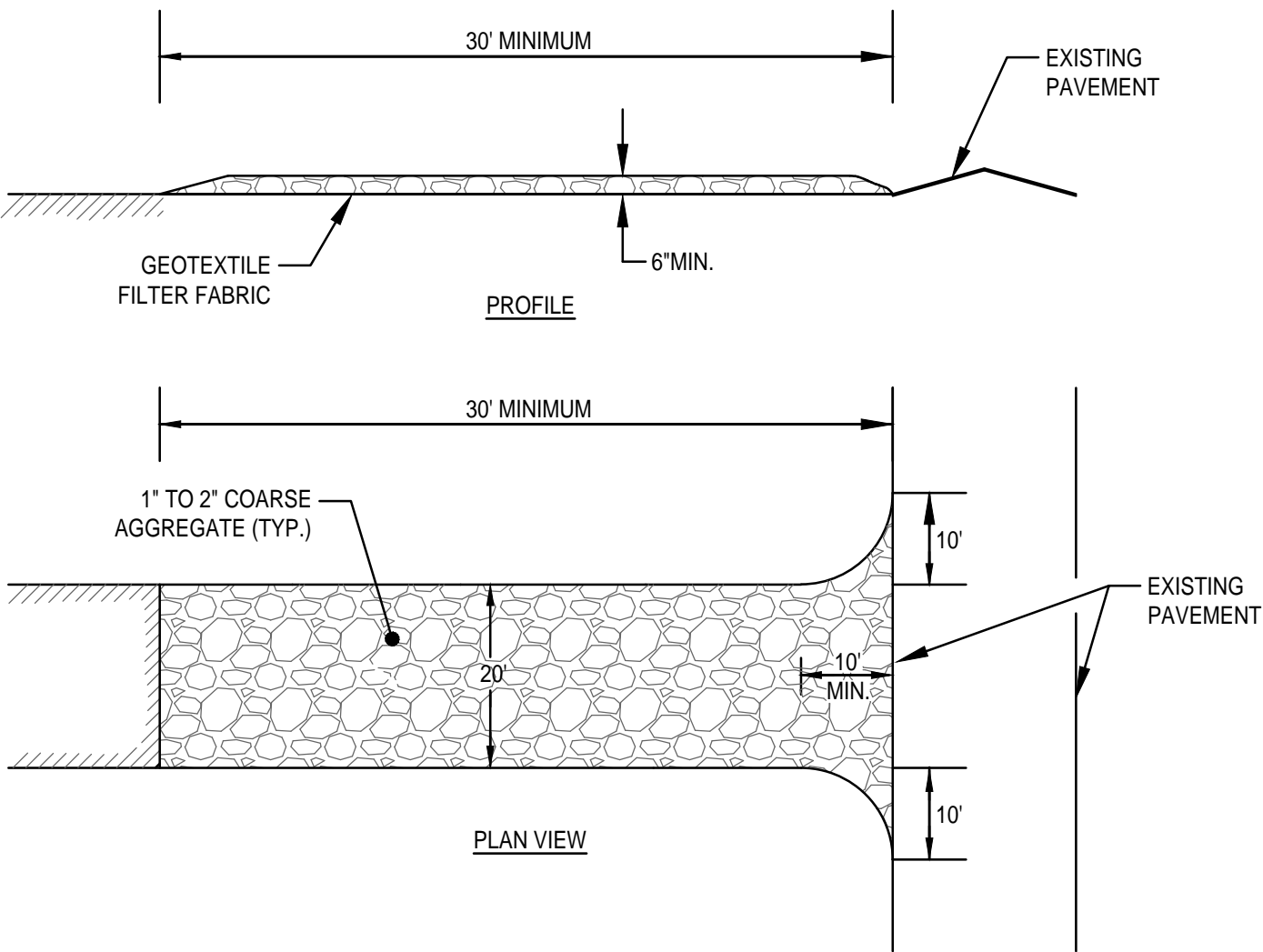
TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.

1. THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT BROAD STREET AND COMMERCIAL STREET.
3. CLEAR AND GRUB UP AS REQUIRED FOR THE CONSTRUCTION OF THE BUILDING AND RELATED INFRASTRUCTURE.
4. EXCAVATE TOPSOIL AND SUBSOIL FROM CUT AND FILL AREAS AND STOCKPILE OFF SITE.
5. CONSTRUCT CUT AND FILL AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS. PLACE ALL SLOPE PROTECTION WHERE INDICATED ON THE PLAN.
6. INSTALL CLOSED DRAINAGE SYSTEM AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE COVERED WITH SILT SACK OR EQUIVALENT INLET PROTECTION.
7. GRADE SITE TO SUBGRADE ELEVATIONS AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE WARRANTED. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN.
8. GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL INTO EXISTING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH.
9. COMPLETE FINE GRADING OF SITE AND SIDEWALK CONSTRUCTION.
10. REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.

EROSION AND SEDIMENTATION CONTROL

REFER TO MASS DEP STORMWATER MANAGEMENT HANDBOOK FOR SPECIFICATIONS AND STRUCTURAL AND DUST CONTROL EROSION BEST MANAGEMENT PRACTICES.

1. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOCK BARRIER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY DIVERSION SWALES WITH STONE CHECK DAMS, SEDIMENT BASINS, AND INLET PROTECTION SUBJECT TO CITY OF WEYMOUTH ENGINEERING APPROVAL.
2. STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
3. IN GENERAL, THE SMALLEST POSSIBLE AREA OF LAND SHOULD BE EXPOSED AT ONE TIME. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE CONFINED TO A MAXIMUM PERIOD OF 3 MONTHS. LAND SHALL NOT BE EXPOSED DURING THE WINTER MONTHS. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND THAT WILL BE REGRADED AT A LATER DATE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH WINTER RYE TO PREVENT EROSION.



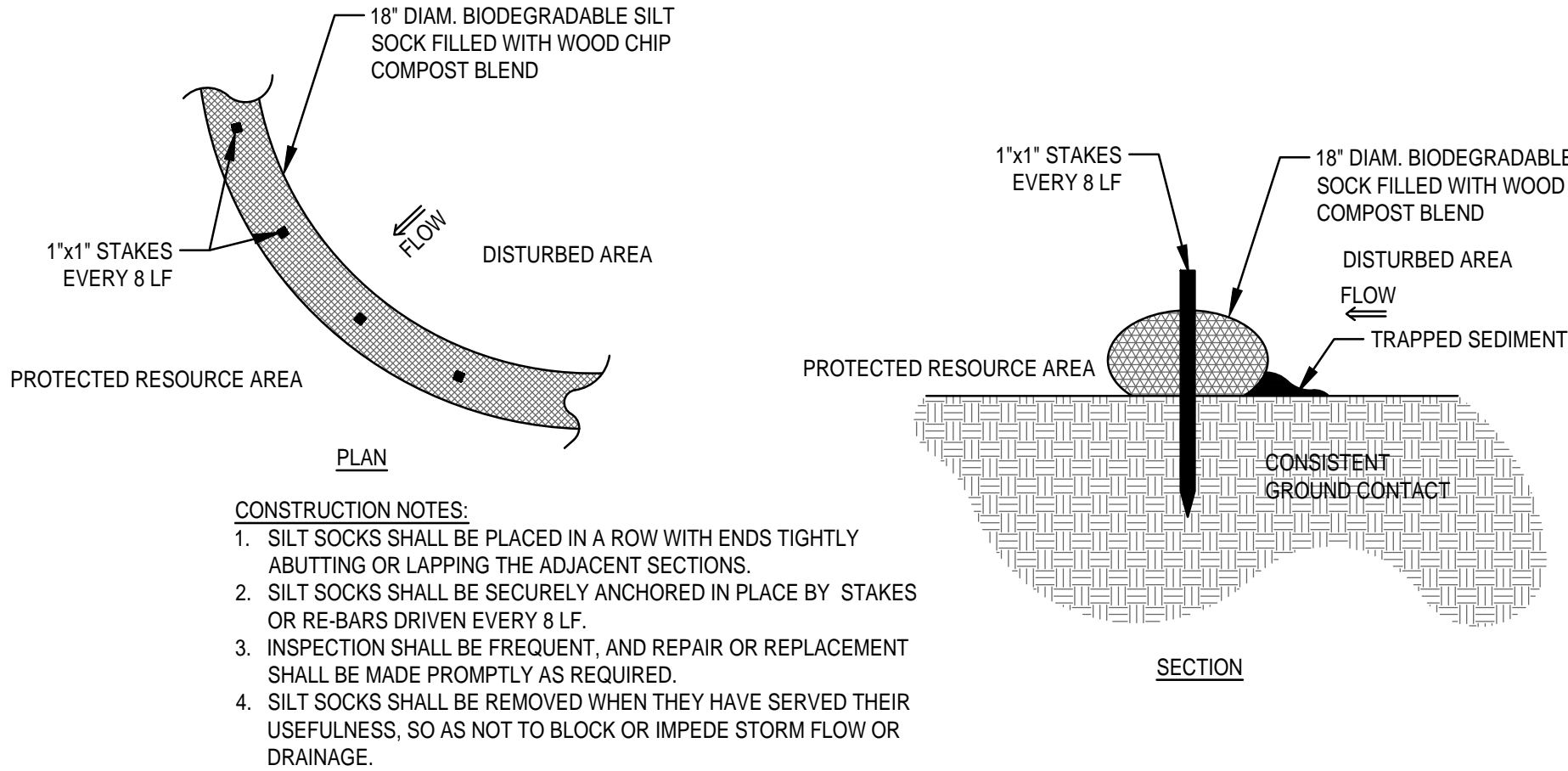
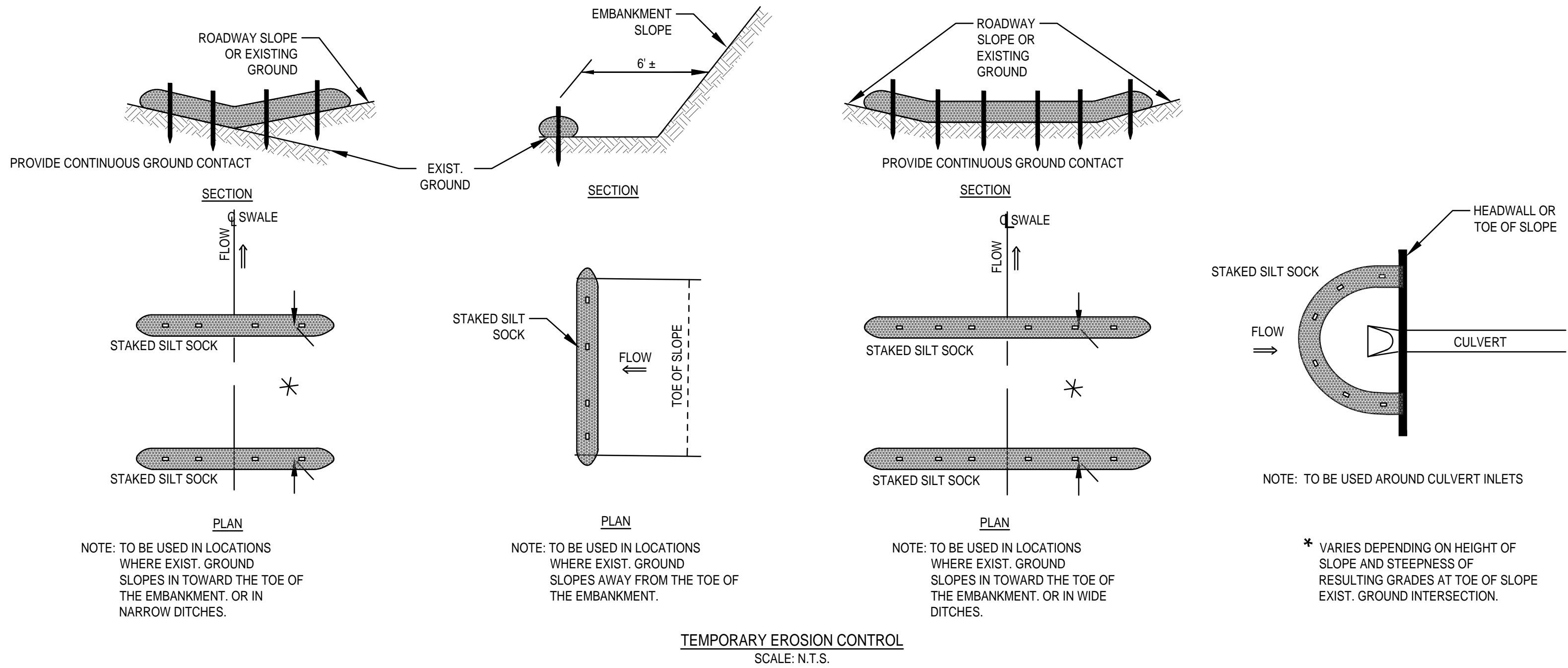
(SCE) CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DEVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.

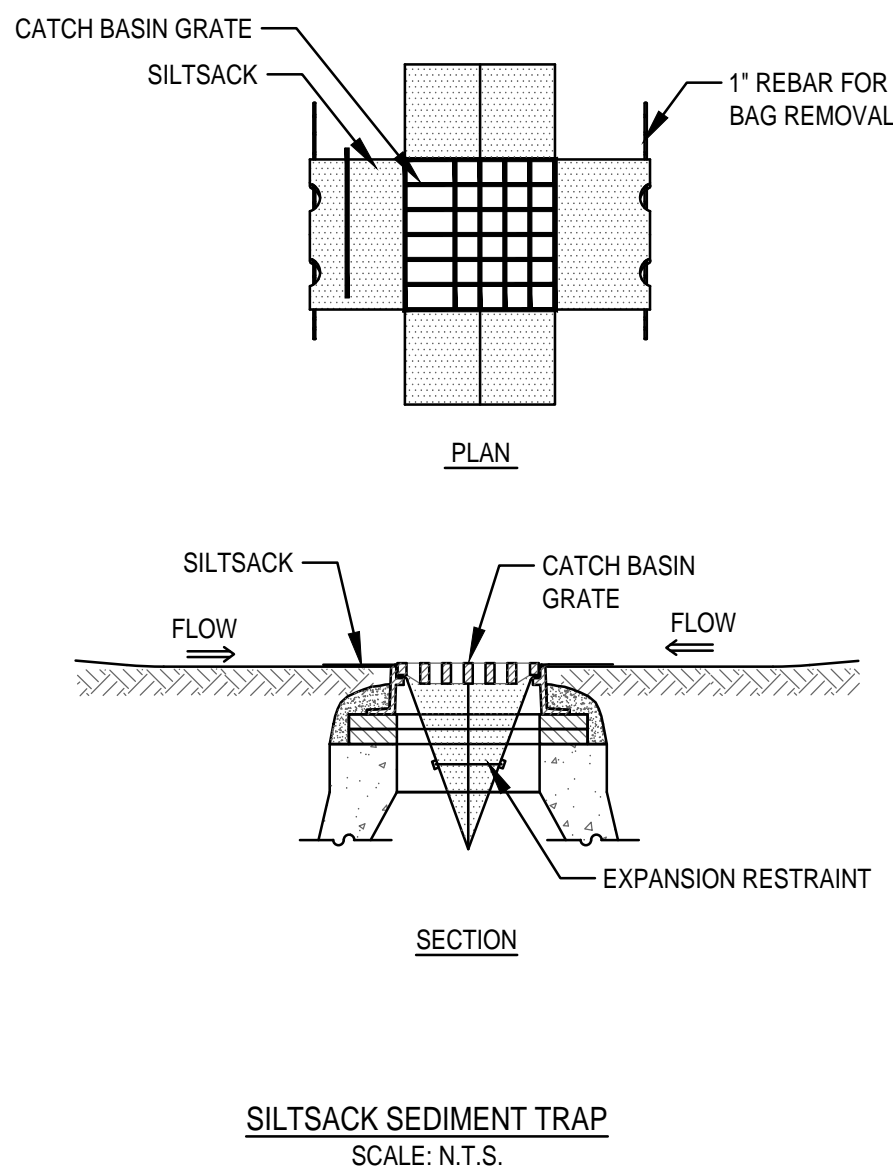
STABILIZED CONSTRUCTION ENTRANCE (SCE) DETAIL
SCALE: N.T.S.

CONSTRUCTION PHASE BMP OPERATION AND MAINTENANCE NOTES:

1. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED UNDER THE E.P.A. GENERAL CONSTRUCTION PERMIT PROVISIONS FOR FURTHER DETAIL OF STRUCTURAL, STABILIZATION, DUST CONTROL AND EROSION AND SEDIMENTATION CONTROL MEASURES.
2. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE EROSION CONTROL BARRIERS, STABILIZED CONSTRUCTION ENTRANCES, TEMPORARY DIVERSION SWALES WITH CHECK DAMS, SEDIMENT BASINS, AND INLET PROTECTION.
3. STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
4. OPERATOR PERSONNEL MUST INSPECT THE CONSTRUCTION SITE AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 1/2 INCH OR GREATER. THE INSPECTOR SHOULD REVIEW THE EROSION AND SEDIMENT CONTROLS WITH RESPECT TO THE FOLLOWING:
A. WHETHER OR NOT THE MEASURE WAS INSTALLED/PERFORMED CORRECTLY.
B. WHETHER OR NOT THERE HAS BEEN DAMAGE TO THE MEASURE SINCE IT INSTALLED OR PERFORMED.
C. WHAT SHOULD BE DONE TO CORRECT ANY PROBLEMS WITH THE MEASURE.
5. THE INSPECTOR SHALL COMPLETE THE INSPECTION SCHEDULE AND EVALUATION CHECKLIST FOR FINDINGS AND SHOULD REQUEST THE REQUIRED MAINTENANCE OR REPAIR. THE CHECKLIST IS PROVIDED WITHIN THE OPERATION AND MAINTENANCE PLAN.
6. THE TEMPORARY BASINS SHALL BE INSPECTED AND CLEANED IF REQUIRED PRIOR TO ANY PREDICTED LARGE STORM EVENT.



SILT SOCK EROSION CONTROL BARRIER DETAIL
SCALE: N.T.S.



SILT SOCK SEDIMENT TRAP
SCALE: N.T.S.

ARCHITECT

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LANDSCAPE
MDLA
840 SUMMER STREET
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JACKSON SQUARE
WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

DATE	ISSUE	DATE

DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW
DATE: AUGUST 4, 2023
PROJECT #: 22034
SCALE: AS NOTED

DRAWING TITLE

EROSION CONTROL PLAN

DRAWING NUMBER

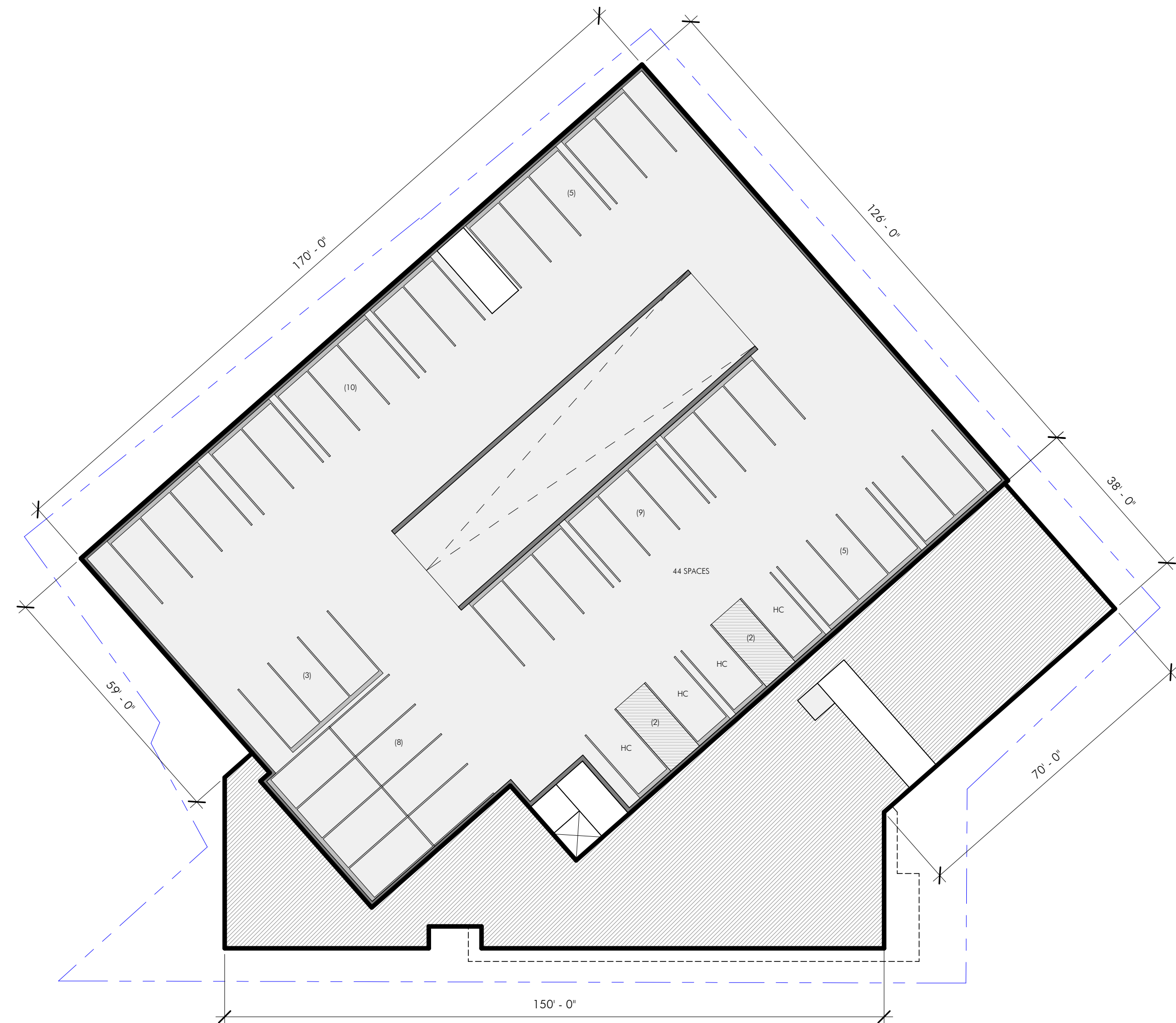
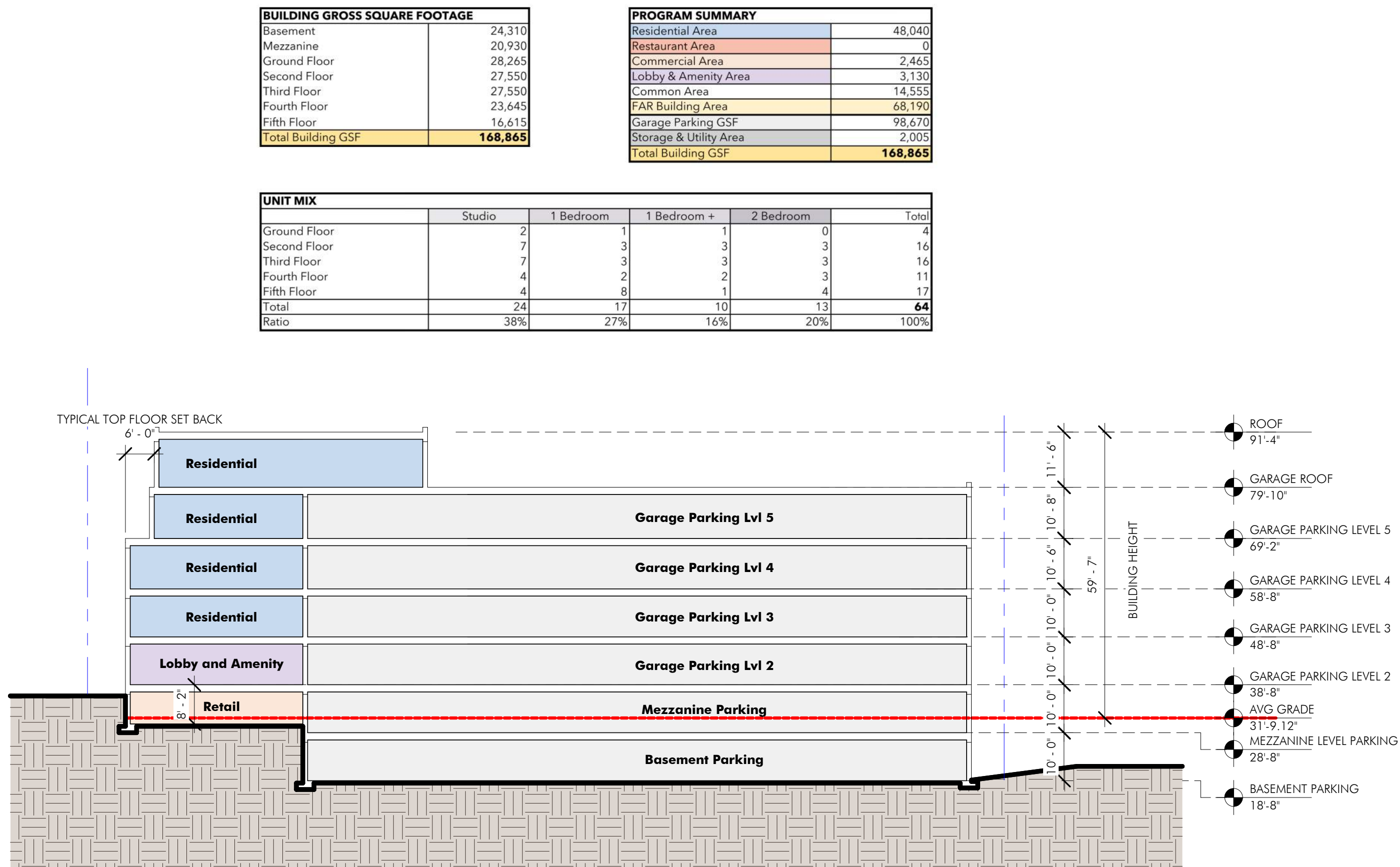
C-14

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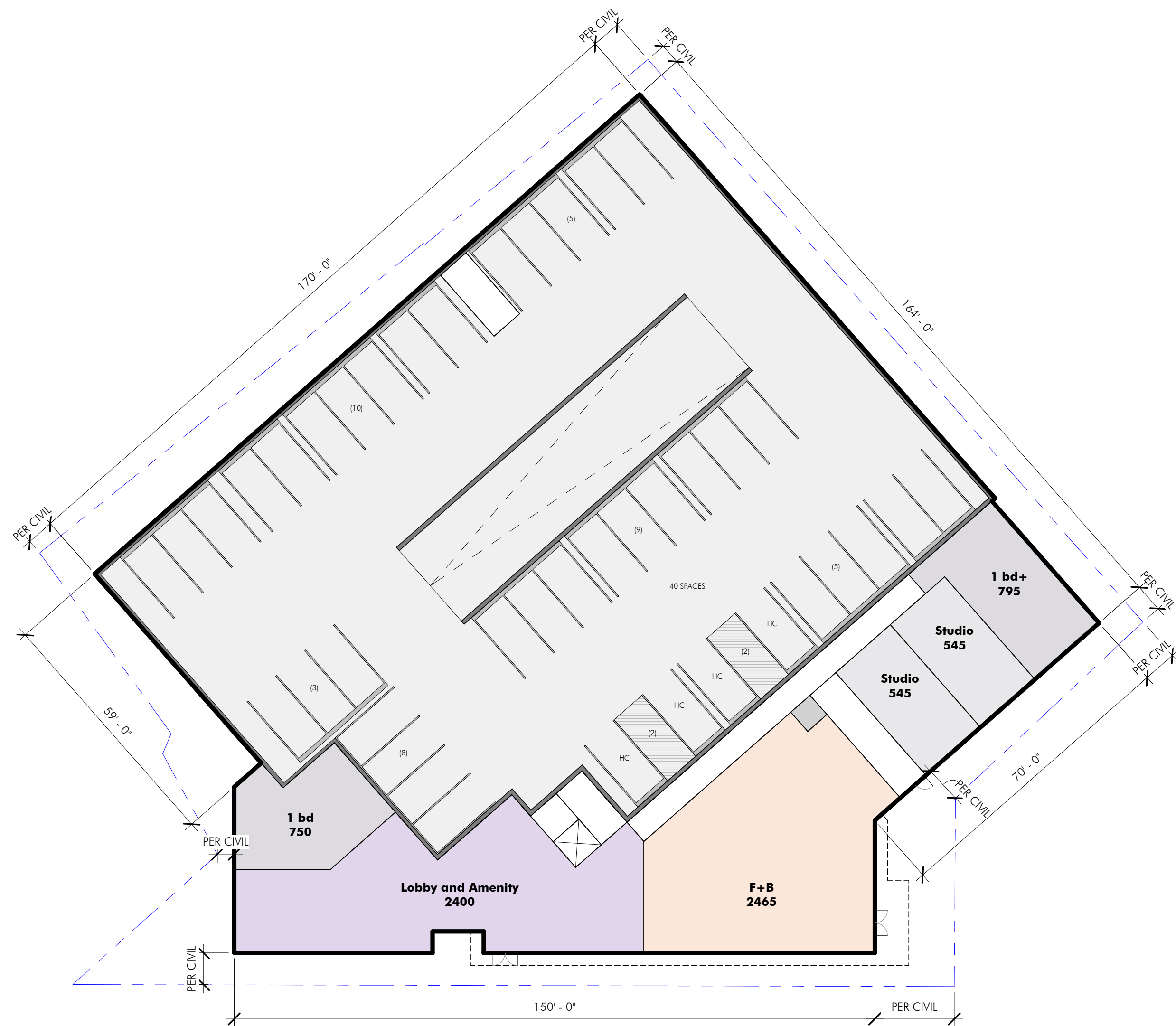
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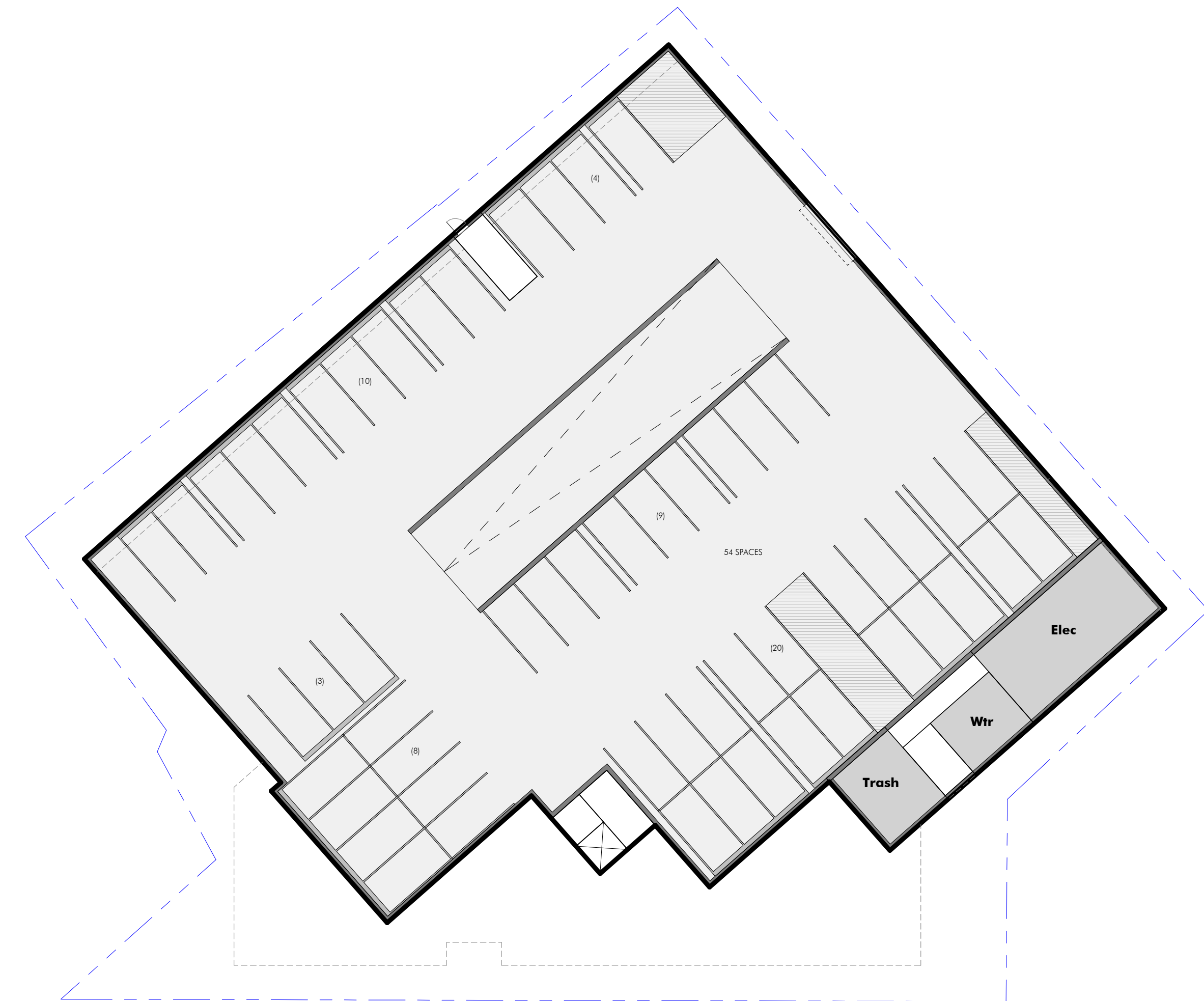
C:\Users\llorenza\Documents\22034 - Jackson Square Weymouth - floorplans\PR2.rvt
8/7/2023 2:52:40 PM



MEZZANINE LEVEL PLAN



GROUND FLOOR PLAN



BASEMENT LEVEL PLAN

ARCHITECT

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LANDSCAPE

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840 SUMMER STREET
SUITE #201A
BOSTON, MA 02127

JACKSON SQUARE
WEYMOUTH, MA

SITE PLAN REVIEW

REVISIONS

MARK	ISSUE	DATE
------	-------	------

REGISTERED ARCHITECT
EMBARC
NO. 20350
BOSTON
MASSACHUSETTS
COUNCIL OF ARCHITECTS

DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW
DATE: AUGUST 4, 2023
PROJECT #: 22034
SCALE: As indicated

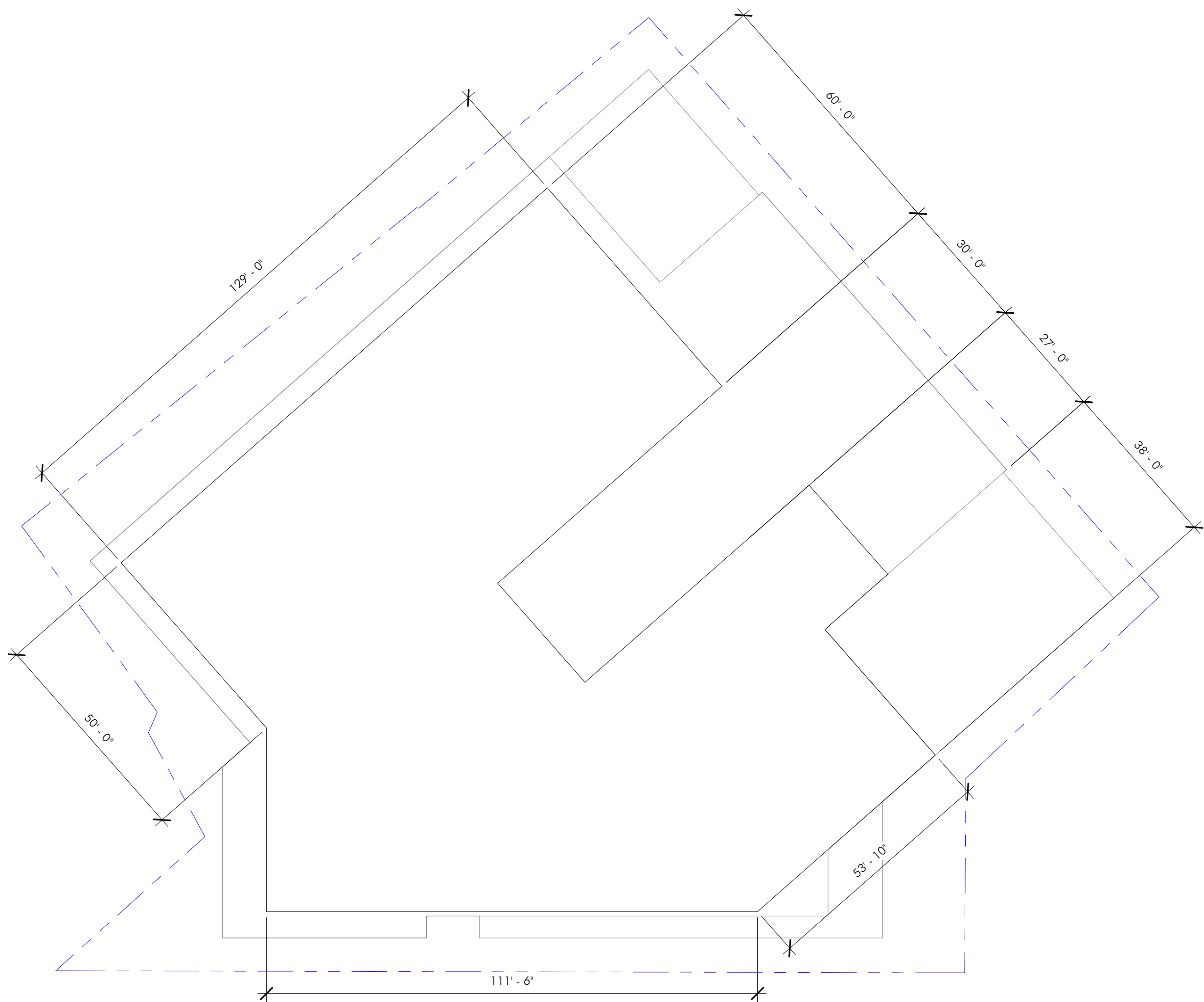
DRAWING TITLE

BUILDING A
FLOOR PLANS

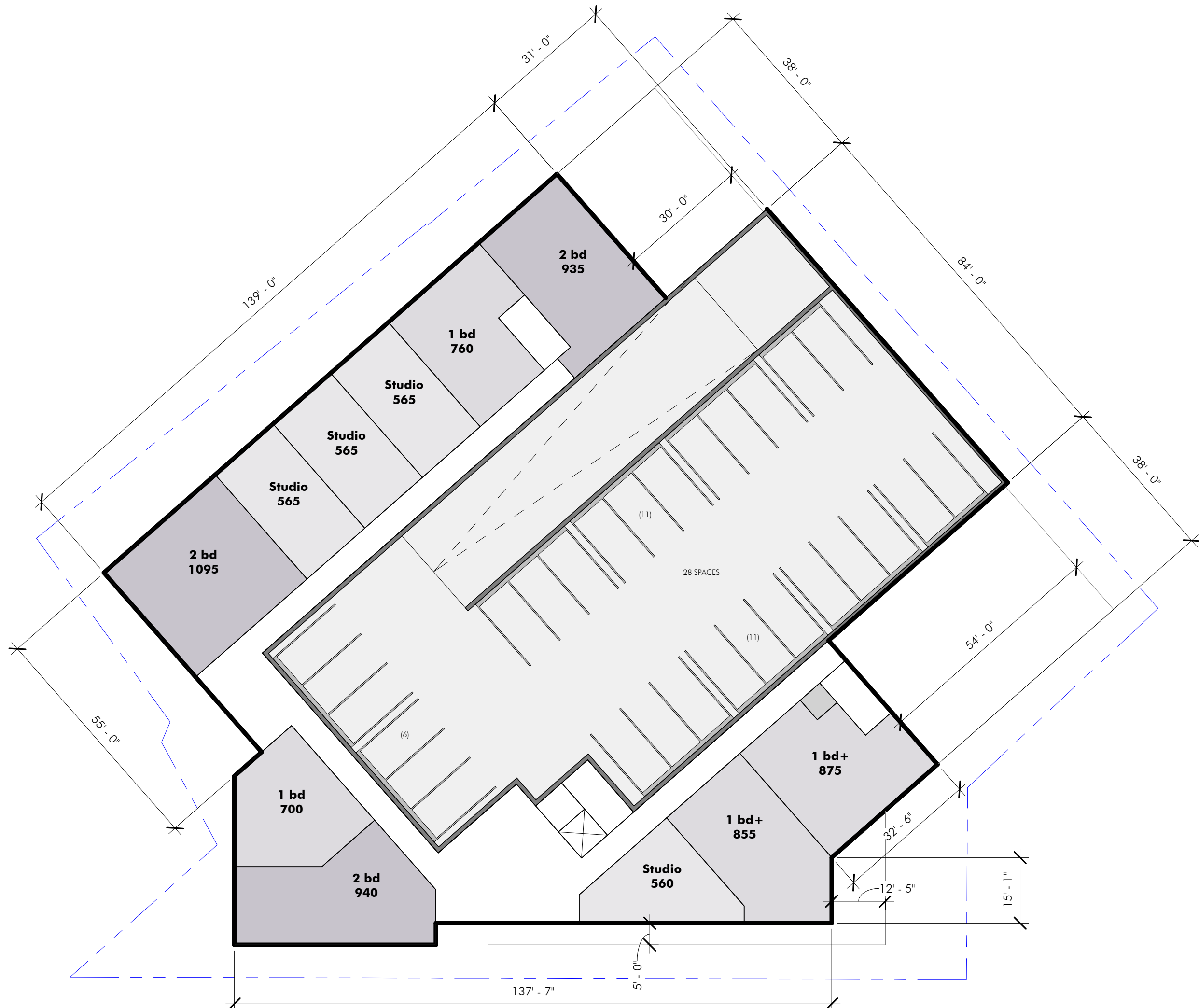
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A101A

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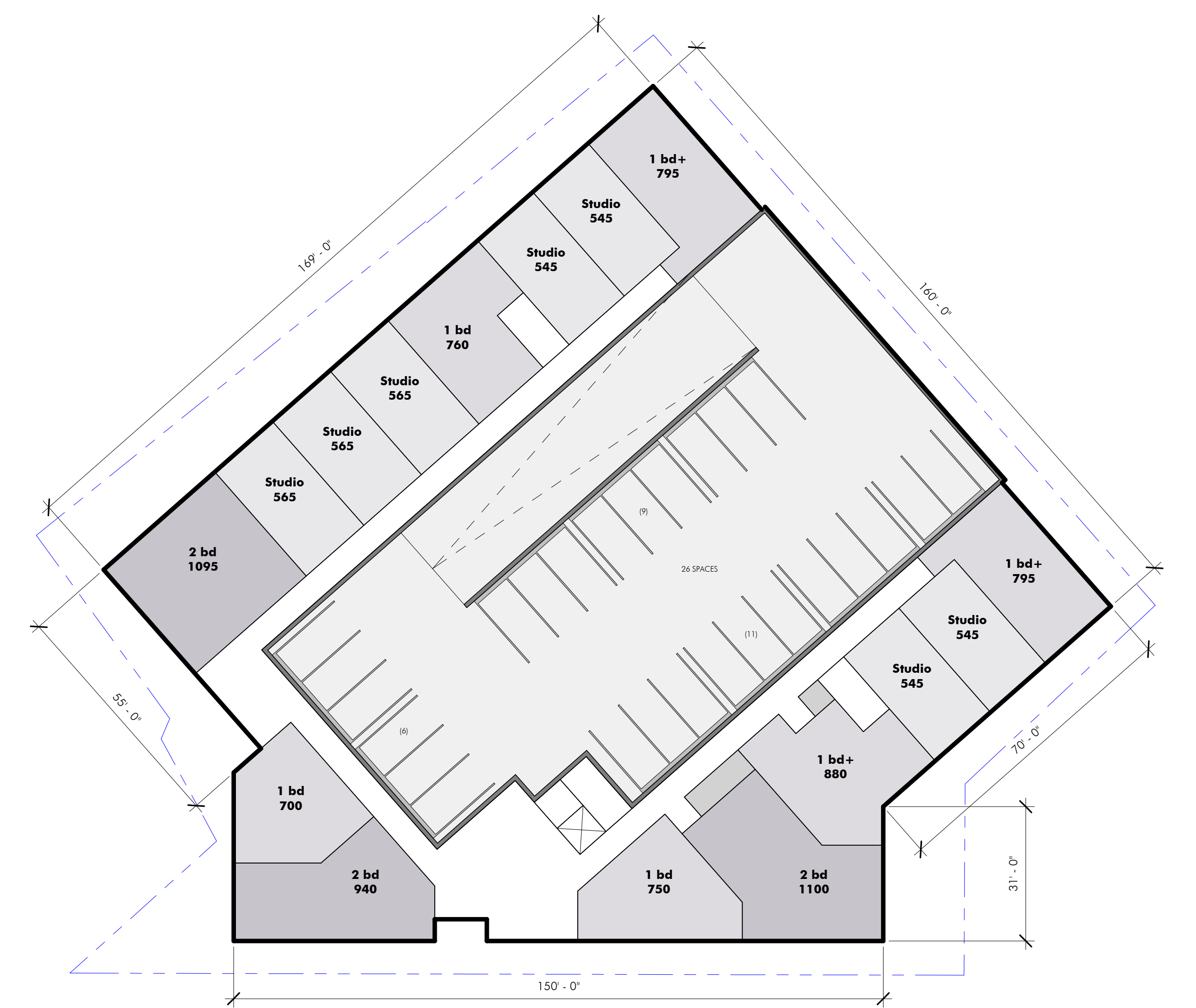
ROOF PLAN



FOURTH FLOOR PLAN



FIFTH FLOOR PLAN



SECOND AND THIRD FLOOR PLAN

ARCHITECT
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840 SUMMER STREET
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JACKSON SQUARE
WEYMOUTH, MA
SITE PLAN REVIEW

REVISIONS		
MARK	ISSUE	DATE



DRAWING INFORMATION
ISSUE: SITE PLAN REVIEW
DATE: AUGUST 4, 2023
PROJECT #: 22034
SCALE: 3/64" = 1'-0"

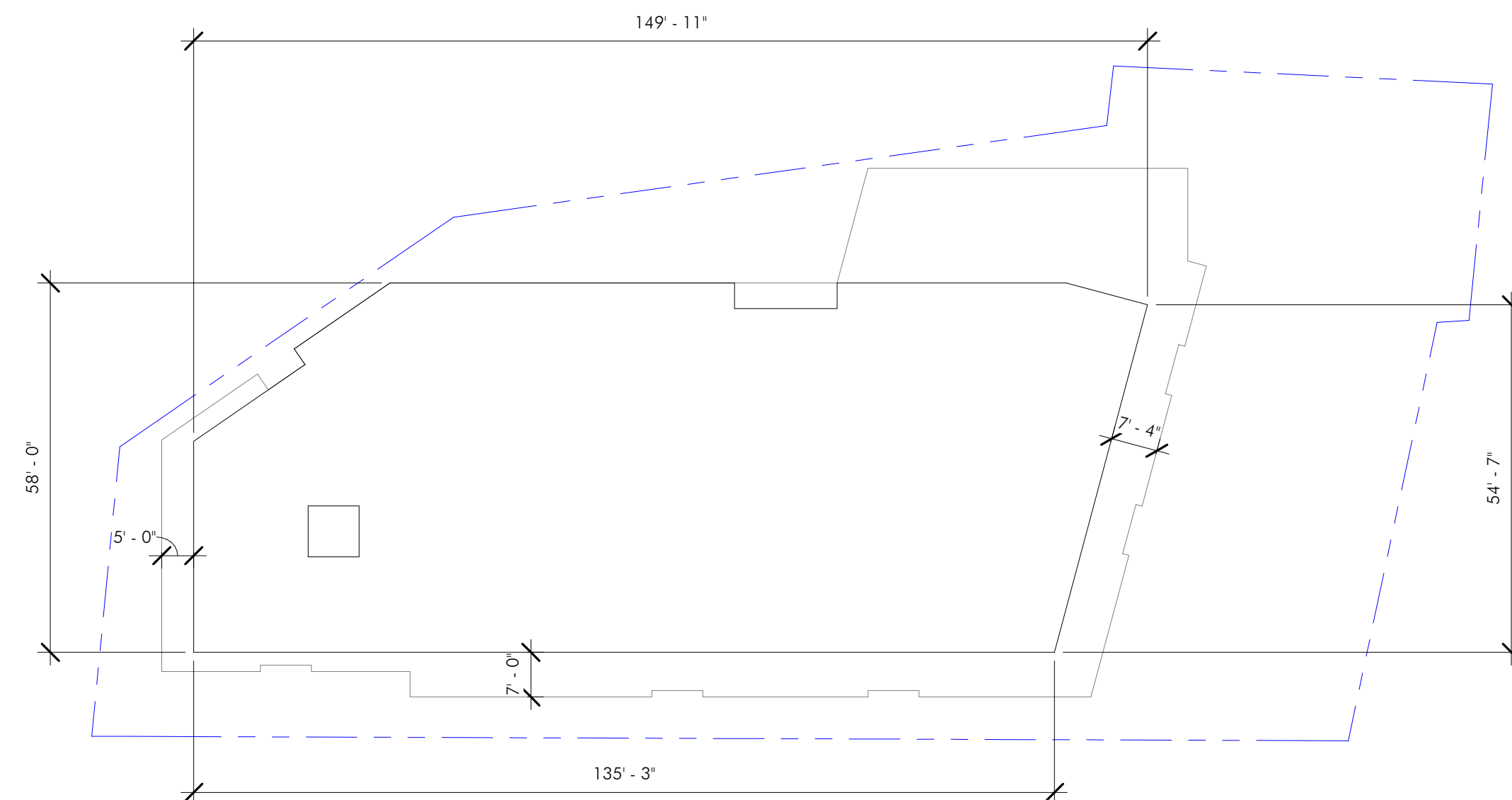
DRAWING TITLE
BUILDING A
FLOOR PLANS

DRAWING NUMBER
A101B
copyright: EMBARC INC.

PROGRAM SUMMARY	
Residential Area	25,430
Restaurant Area	4,285
Commercial Area	1,335
Lobby & Amenity Area	1,900
Common Area	5,845
FAR Building Area	36,230
Garage Parking GSF	0
Storage & Utility Area	2,565
Total Building GSF	38,795

Architectural section drawing of a building facade. The drawing shows a cross-section of the building with various floor levels and heights indicated. The building is set back from the ground line. The ground level is marked as 'AVERAGE GRADE 25.45'. The building has a 'ROOF' at 47'-0". The 'FOURTH FLOOR' is at 35'-6". The 'THIRD FLOOR' is at 24'-0". The 'SECOND FLOOR' is at 14'-0". The 'LOBBY LEVEL' is at 0'-0". The building is divided into three main sections: 'Residential' (top two floors), 'Lobby / Amenity area' (bottom left), and 'Retail' (bottom right). The building is set back from the ground line by 6'-0" on the left and 8'-0" on the right. The building height is 48'-7". The building is shown with a cross-hatched pattern for the ground and a solid pattern for the building structure.

Floor Level	Height (ft)
ROOF	47'-0"
FOURTH FLOOR	35'-6"
THIRD FLOOR	24'-0"
SECOND FLOOR	14'-0"
LOBBY LEVEL	0'-0"
AVERAGE GRADE	25.45



Floor plan of the second floor of the building. The plan shows a central corridor and several rooms. The overall dimensions of the building are 161'-3" by 83'-0". The rooms are labeled with their names and dimensions:

- Studio 550 (18'-0" by 18'-0")
- 1 bd+ 770
- Studio 500
- Studio 500
- 1 bd+ 810
- Studio 500
- Studio 510
- Studio 510
- Studio 510
- 1 bd 615
- 1 bd+ 800
- 1 bd+ 815
- 1 bd 690
- 1 bd 680
- Studio 510
- Studio 500
- 1 bd+ 810

The plan also shows a central corridor and a staircase.

Architectural floor plan of a building with the following rooms and dimensions:

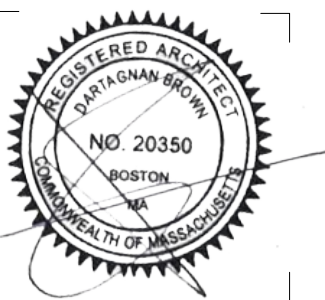
- Top Row (from left to right):**
 - 1 bd 630
 - Studio 510
 - Studio 510
 - Studio 510
 - Studio 525
 - Studio 510
 - 1 bd 625
- Bottom Row (from left to right):**
 - 1 bd 680
 - Studio 575
 - Studio 575
 - Studio 575
 - 1 bd 665
- Dimensions:**
 - Overall width: 149' - 5"
 - Overall height: 58' - 0"
 - Bottom width: 134' - 9"
 - Right side height: 54' - 6"
 - Top right corner offset: 18' - 0"
 - Right side angle: 7' - 10"
 - Left side offset: 5' - 0"
 - Bottom left offset: 5' - 0"
 - Bottom middle offset: 7' - 0"

[illegible]

GROUND FLOOR PLAN

JACKSON SQUARE
WEYMOUTH, MA
SITE PLAN REVIEW

MARK	ISSUE	DATE
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DRAWING INFORMATION

ISSUE:	SITE PLAN REVIEW
DATE:	AUGUST 4, 2023
PROJECT #:	22034
SCALE:	As indicated

DRAWING TITLE
BUILDING B
FLOOR PLANS

DRAWING NUMBER

A102

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CMK DEVELOPMENT PARTNERS

97 LIBBEY PARKWAY
SUITE 304
WEYMOUTH, MA 02189

CONSULTANTS

CIVIL

MCKENZIE ENGINEERING GROUP

150 LONGWATER DRIVE, SUITE 101
NORWELL, MA 02061
781.792.3900

LANDSCAPE
MDLA
840 SUMMER STREET
SUITE #201A
BOSTON, MA 02127



JACKSON SQUARE WEYMOUTH, MA SITE PLAN REVIEW

REVISIONS

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DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW

DATE: AUGUST 4, 2023

PROJECT #: 22034

SCALE: 1/16" = 1'-0"

DRAWING TITLE
BUILDING A
ELEVATIONS

DRAWING NUMBER

A201

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840 SUMMER STREET
SUITE #201A
BOSTON, MA 02127

JACKSON SQUARE
WEYMOUTH, MA
SITE PLAN REVIEW

REVISIONS		
MARK	ISSUE	DATE

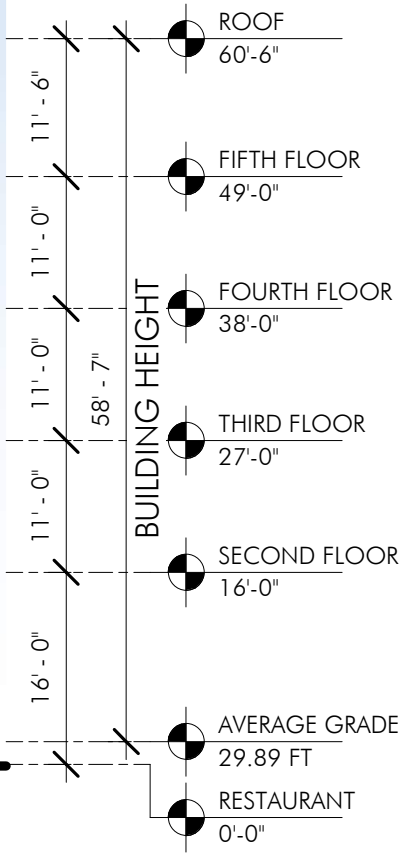
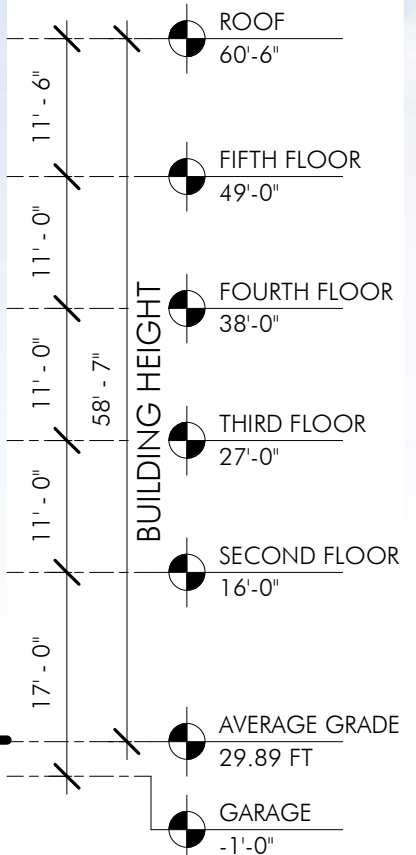
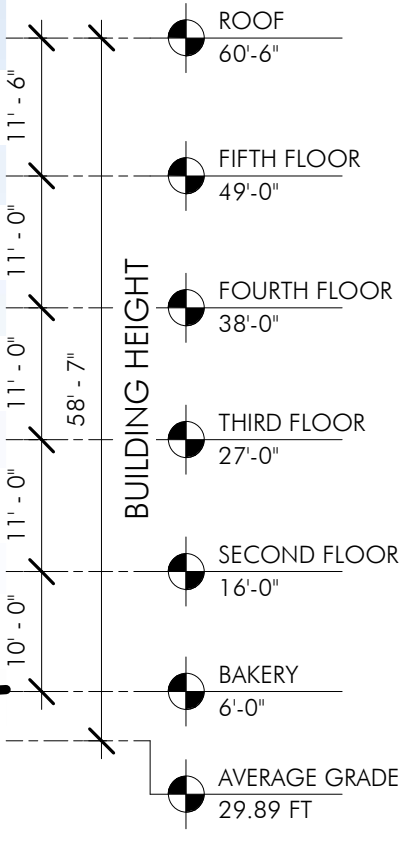
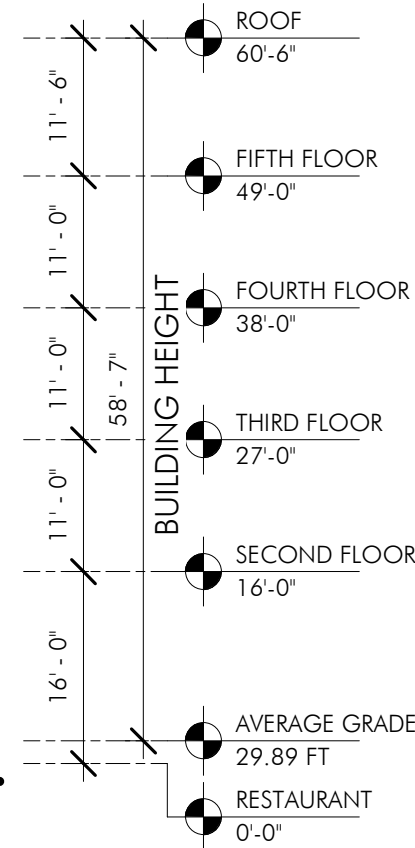


DRAWING INFORMATION
ISSUE: SITE PLAN REVIEW
DATE: AUGUST 4, 2023
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DRAWING TITLE
BUILDING B
ELEVATIONS

DRAWING NUMBER
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150 LONGWATER DRIVE, SUITE 101
NORWELL, MA 02061
781.792.3900

LANDSCAPE
MDLA
840 SUMMER STREET
SUITE #201A
BOSTON, MA 02127

JACKSON SQUARE
WEYMOUTH, MA
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DRAWING TITLE
BUILDING C
ELEVATIONS

DRAWING NUMBER
A203

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DRAWING INFORMATION
ISSUE: SITE PLAN REVIEW
DATE: AUGUST 4, 2023
PROJECT #: 22034
SCALE: 1/16" = 1'-0"

DRAWING TITLE
BUILDING D
ELEVATIONS

DRAWING NUMBER
A204
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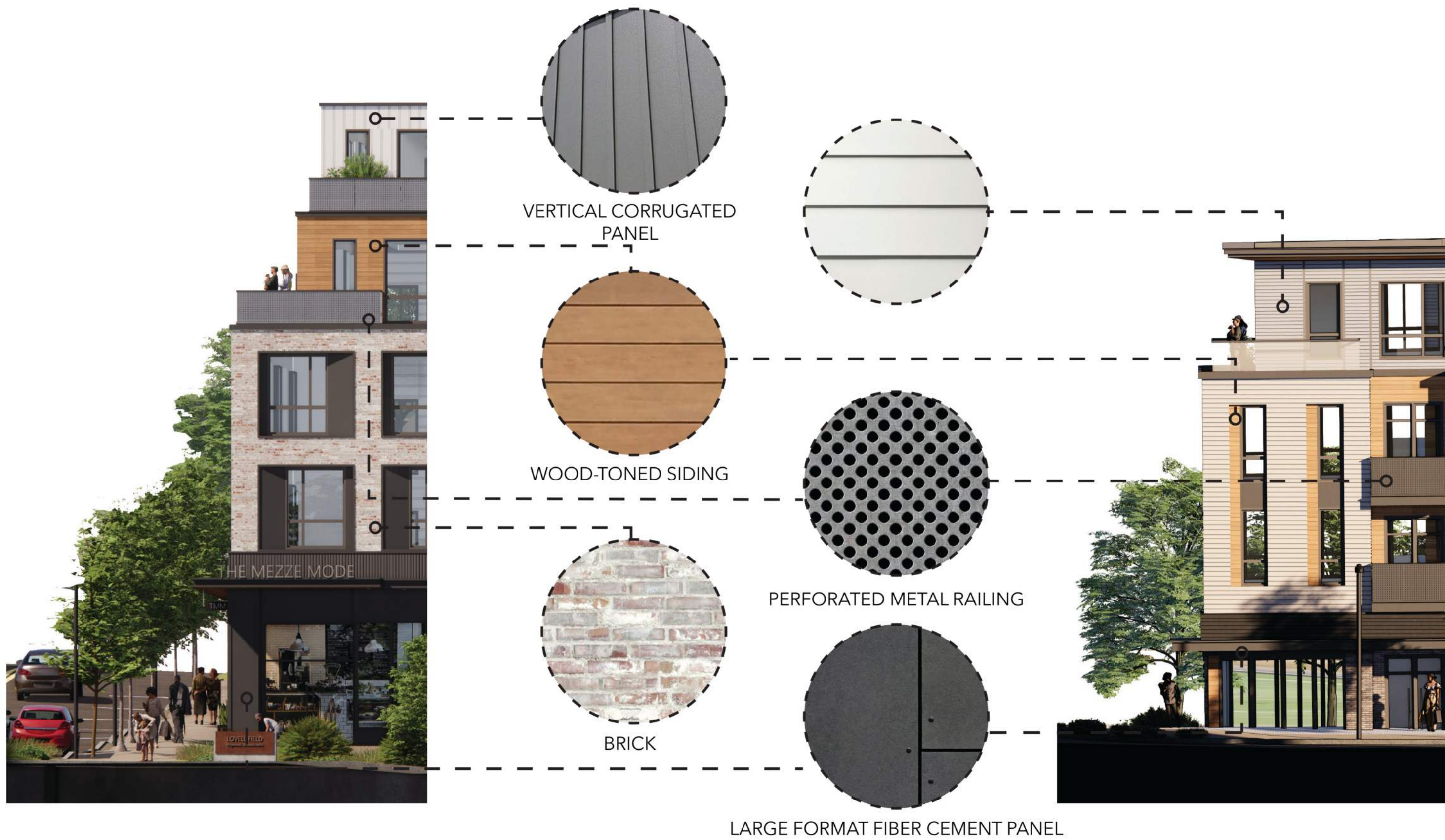
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MARK	ISSUE	DATE



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ISSUE:	SITE PLAN REVIEW
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PROJECT #:	22034
SCALE:	

DRAWING TITLE
BUILDING MATERIALS

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BUILDING A AND BUILDING B EXTERIOR MATERIALS



BUILDING C AND BUILDING D EXTERIOR MATERIALS

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NORWELL, MA 02061
781.792.3900

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MDLA
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BOSTON, MA 02127

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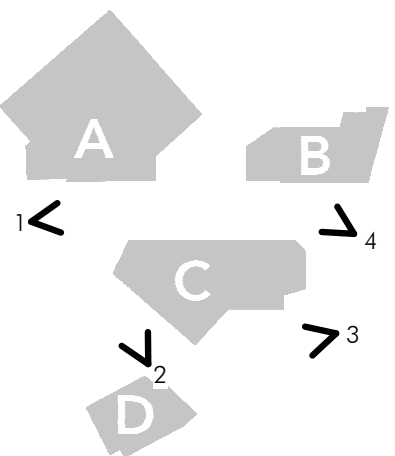


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ISSUE: SITE PLAN REVIEW
DATE: AUGUST 4, 2023
PROJECT #: 22034
SCALE: 1/8" = 1'-0"

DRAWING TITLE
BROAD STREET
SECTION

DRAWING NUMBER
A301
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MCKENZIE ENGINEERING GROUP
150 LONGWATER DRIVE, SUITE 101
NORWELL, MA 02061
781.792.3900

LANDSCAPE
MDLA
840 SUMMER STREET
SUITE #201A
BOSTON, MA 02127

JACKSON SQUARE
WEYMOUTH, MA
SITE PLAN REVIEW

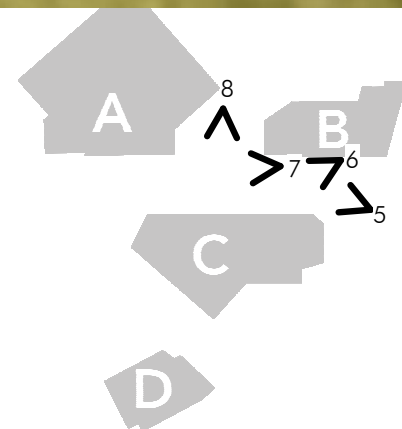
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MARK	ISSUE	DATE



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PROJECT #: 22034
SCALE:

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PERSPECTIVE
VIEWS

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LANDSCAPE

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ISSUE:

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22034

SCALE:

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PERSPECTIVE VIEWS

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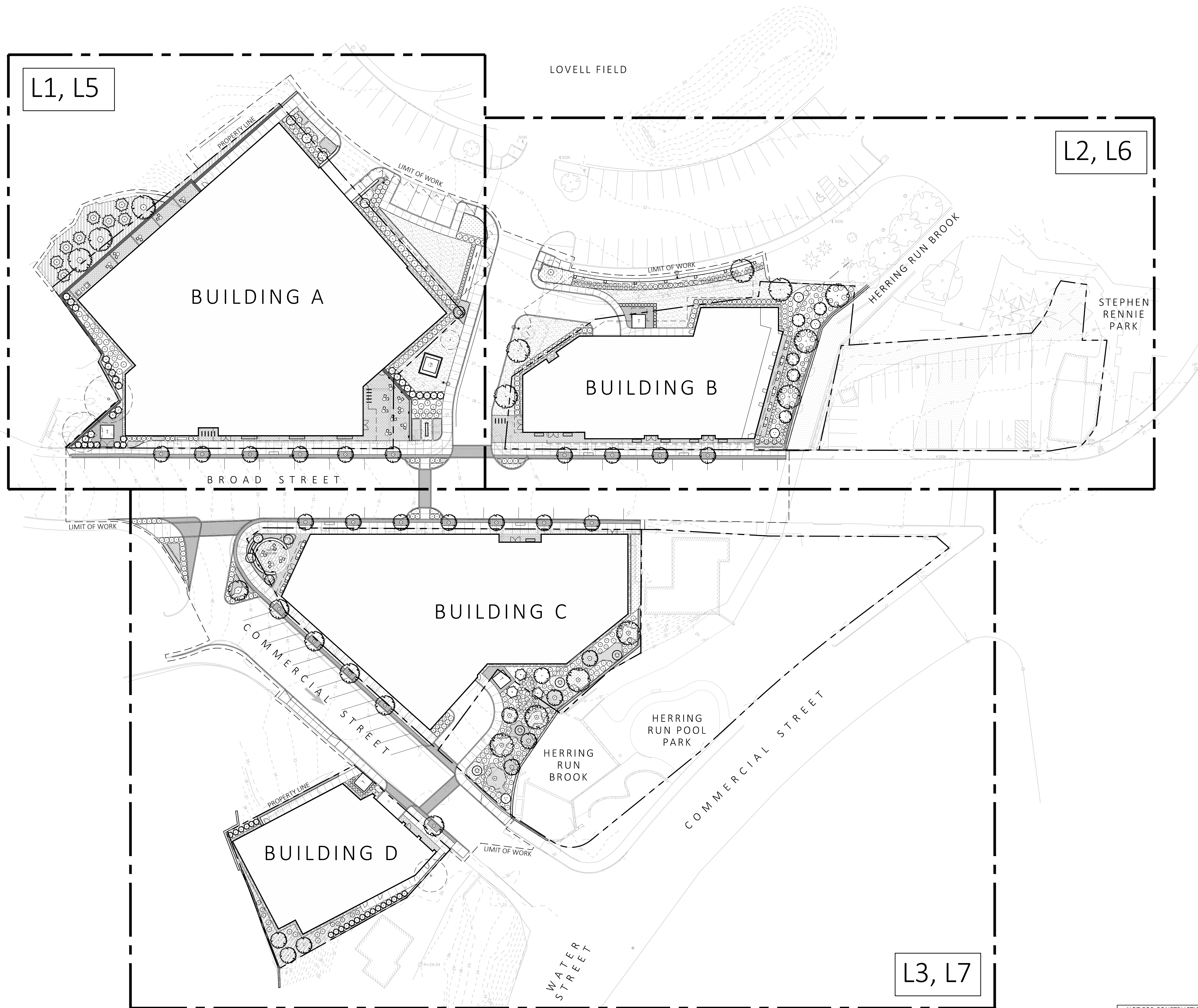


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ISSUE:	SITE PLAN REVIEW
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PROJECT #:	22034
SCALE:	

DRAWING TITLE
LANDSCAPE
KEY PLAN

DRAWING NUMBER
L0





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PLANT SCHEDULE						
SYM.	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES	
TREES						
AF	17	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5"-3" CAL.	B&B, 6' CLEAR BRANCHING	
AS	5	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2.5"-3" CAL.	B&B, 6' CLEAR BRANCHING	
AN	15	AMELANCHIER ALTIUM 'BRILLANCE'	SERVICEBERRY	6-7" TALL	B&B, MULTI-STEM	
BN	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	8-10" TALL	B&B, MULTI-STEM	
CB	7	CARPINUS BETULUS 'TRANS FONTAINE'	FRANS FONTAINE HORNBEAM	6-7" TALL	B&B, MATCHED	
CC	2	CERCIS CANADENSIS	EASTERN REDBUD	6-7" TALL	B&B, SINGLE AND MULTI-STEM	
GT	6	GLEDITSEA TRICANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5"-3" CAL.	B&B, 6' CLEAR BRANCHING	
JV	2	LIUDIPERUS VIRGINIANA	EASTERN RED CEDAR	8-10" TALL	B&B, MATCHED	
LT	2	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5"-3" CAL.	B&B, 6' CLEAR BRANCHING	
NS	2	NYSSA SYLVATICA	BLACK GUM	2.5"-3" CAL.	B&B, 6' CLEAR BRANCHING	
PS	7	PINUS STROBUS	EASTERN WHITE PINE	8-10" TALL	B&B, MATCHED	
QB	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5"-3" CAL.	B&B, 6' CLEAR BRANCHING	
QP	1	QUERCUS PALUSTRIS 'PRINGREEN'	GREEN PILLAR OAK	2.5"-3" CAL.	B&B, 6' CLEAR BRANCHING	
QR	3	QUERCUS RUBRA	RED OAK	2.5"-3" CAL.	B&B, MATCHED	
SA	4	SWIDA ALTERNIFOLIA	PAGODA DOGWOOD	8-10" TALL	B&B, MATCHED	
TO	42	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	8-10" TALL	B&B, MATCHED	
TP	3	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8-10" TALL	B&B, MATCHED	
SHRUBS PALETTE						
AM	11	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3 GALLON	36" O.C. B&B	
CA	32	CLETHERA ALNIFOLIA	SUMMERSWEET	3 GALLON	36" O.C. B&B	
CO	22	COMPTONIA PEREGRINA	SWEET FERN	3 GALLON	36" O.C. B&B	
CS	19	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	3 GALLON	36" O.C. B&B	
IG	100	ILEX GLABRA	INKBERRY	3 GALLON	36" O.C. B&B	
IV	56	ILEX VERTICILLATA	WINTERBERRY	3 GALLON	36" O.C. B&B	
MP	49	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	3 GALLON	36" O.C. B&B	
RA	61	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	3 GALLON	36" O.C. B&B	
TD	45	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	3 GALLON	36" O.C. B&B	
TM	33	TAXUS X MEDIA 'HICKSI'	HICKS YEW	3 GALLON	36" O.C. B&B	
VA	20	VIBURNUM ACERIFOLIUM	MAPLE LEAF VIBURNUM	3 GALLON	36" O.C. B&B	
VC	12	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	3 GALLON	36" O.C. B&B	
VD	6	VIBURNUM DENTATUM	NORTHERN ARROWWOOD	3 GALLON	36" O.C. B&B	
PERENNIALS AND GRASSES PALETTE						
AC	92	ASTILBE CHINESES 'VISION IN WHITE'	VISION IN WHITE ASTILBE	1 GAL.	18" O.C. CONTAINER	
CP	354	CAREX PENSYLVANICA	PENSYLVANIA SEDGE	1 GAL.	18" O.C. CONTAINER	
DP	178	DENNSTAEDTIA PUNCTIOBULA	HAYCENTED FERN	1 GAL.	18" O.C. CONTAINER	
EP	117	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.	18" O.C. CONTAINER	
NW	9	NEPETA X FASSENNII 'WALKERS LOW'	CATMINT	1 GAL.	18" O.C. CONTAINER	
PT	237	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	2 GAL.	24" O.C. CONTAINER	
PL	25	PEROVSKIA A. 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	1 GAL.	18" O.C. CONTAINER	
PV	146	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	2 GAL.	30" O.C. CONTAINER	
RF	138	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYE SUSAN	1 GAL.	18" O.C. CONTAINER	
SN	190	SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL.	18" O.C. CONTAINER	
SEED MIX						
ERNST SEEDS 800-873-3321			ERNST 'NATIVE WOODS MIX' (ERNMX-132-I)	30 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT	

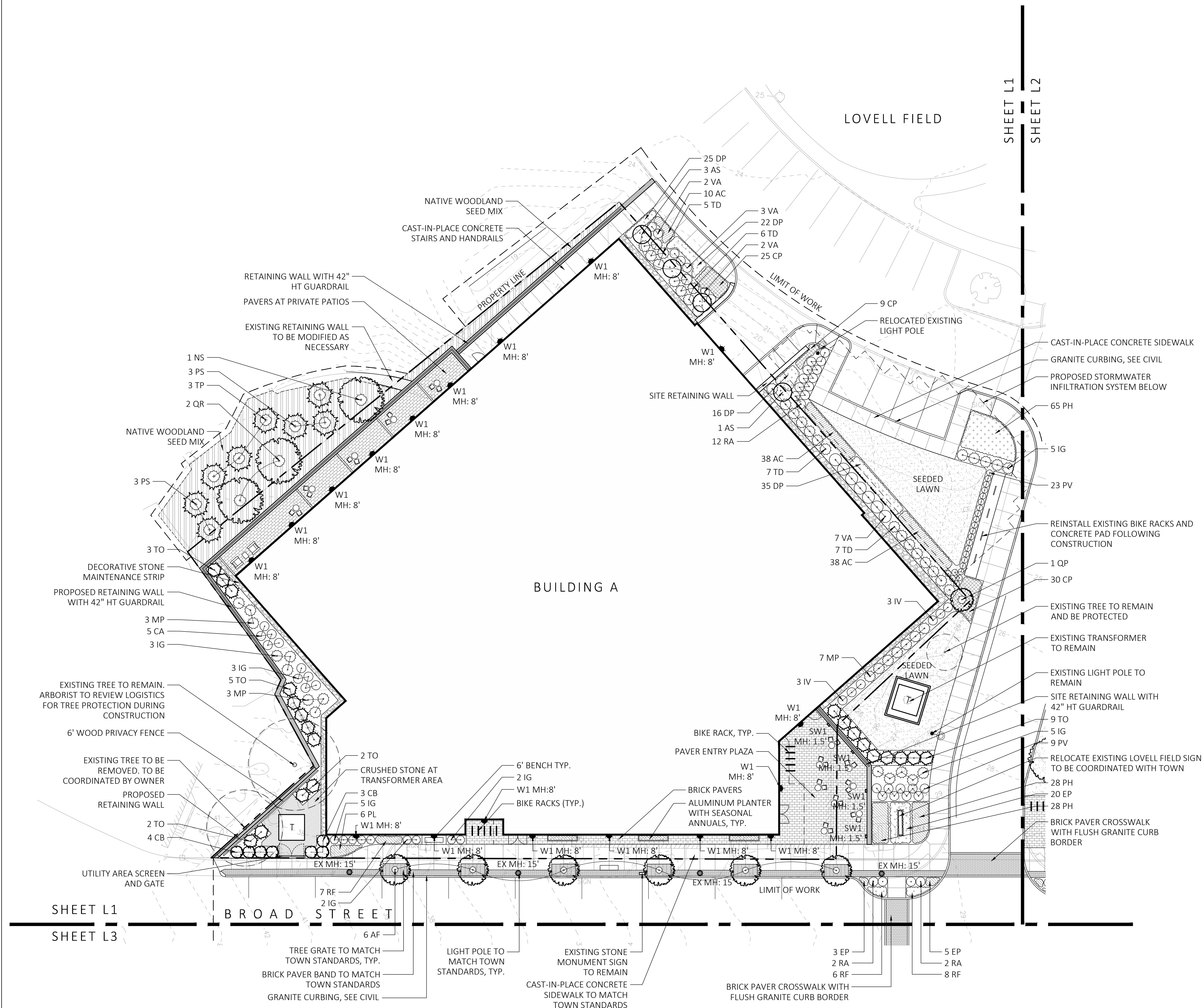
NOTE:

1. FINAL SELECTION OF PLANTINGS WILL BE MADE FROM THE SPECIES LISTED IN EACH CATEGORY OF PLANT TYPE ABOVE
2. PLANT TYPES NOTED WITH "***" ARE INCLUDED IN THE 20' WIDE LANDSCAPE BUFFER ALONG HERRING RUN BROOK, SEE PLANS FOR QUANTITIES.

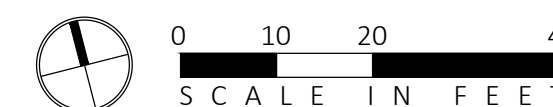
LIGHT SCHEDULE						REP
SYMBOL	LABEL	MODEL	MOUNT	DESCRIPTION	OPTIONS	
	EX	COOPER LIGHTING - FIXTURE: ANE-10S-X-4-33-2 POLE/BASE: DEA714PU	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
	SW1	MP LIGHTING - RECESSED WALL LIGHT L368-8W30HNC-S6	WALL LIGHT	SINGLE	COLOR: S.S.	
	W1	BEGA LED WALL LUMINAIRES 24219-K3-BLK	BUILDING MOUNT	SINGLE	COLOR: BLK	
	W2	BEGA LED WALL LUMINAIRES 24243-K3-BLK	BUILDING MOUNT	SINGLE	COLOR: BLK	

NOTES:

1. SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION
2. STREETSCAPE LIGHTING (FIXTURE "EX") TO BE COORDINATED WITH TOWN ENGINEER



NOT FOR CONSTRUCTION



1 LANDSCAPE PLANTING AND LIGHTING ENLARGEMENT
SCALE: 1" = 20'-0"

C:\Local\Rein\22034_Jackson Square Weymouth_010923_dfiggs@embarcstudio.com.vrt
7/25/2023 10:35:44 AM

1

LANDSCAPE PLANTING AND LIGHTING ENLARGEMENT

SCALE: 1" = 20'-0"

SHEET L1

SHEET L2

LOVELL FIELD

HERRING RUN BROOK

EXISTING BUILDING

BROAD STREET

SHEET L2

SHEET L3

PLANT SCHEDULE				
SYM.	QTY.	LATIN NAME	COMMON NAME	SIZE
TREES				
AF	17	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5"-3" CAL.
AR	5	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2.5"-3" CAL.
AS	16	AMELANCHIER 'AUTUMN BRILLIANCE'	SERVICEBERRY	6-7' TALL
BN	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	8-10' TALL
CB	7	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM	6-7' TALL
CC	7	CERCIS CANADENSIS	EASTERN REDBUD	6-7' TALL
GT	6	GLEDITSEA TRICANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5"-3" CAL.
JV	2	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8'-10' TALL
LT	2	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5"-3" CAL.
NS	2	NYSSA SYLVATICA	BLACK GUM	2.5"-3" CAL.
PS	7	PINUS STROBUS	EASTERN WHITE PINE	8'-10' TALL
QB	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5"-3" CAL.
QP	1	QUERCUS PALUSTRIS 'PRINGREEN'	GREEN PILLAR OAK	2.5"-3" CAL.
QR	3	QUERCUS RUBRA	RED OAK	2.5"-3" CAL.
SA	4	SWIDA ALTERNIFOLIA	PAGODA DOGWOOD	8'-10' TALL
TO	42	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	8'-10' TALL
TP	3	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8'-10' TALL
SHRUBS PALETTE				
AM	11	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3 GALLON
CA	32	CLETHERA ALNIFOLIA	SUMMERSWEET	3 GALLON
CO	22	COMPTONIA PEREGRINA	SWEET FERN	3 GALLON
CS	19	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	3 GALLON
IG	100	ILEX GLABRA	INKBERRY	3 GALLON
IV	56	ILEX VERTICILLATA	WINTERBERRY	3 GALLON
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RA	61	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	3 GALLON
TD	45	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	3 GALLON
TM	33	TAXUS X MEDIA 'HICKSII'	HICKS YEW	3 GALLON
VA	20	VIBURNUM ACERIFOLIUM	MAPLE LEAF VIBURNUM	3 GALLON
VC	12	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	3 GALLON
VD	6	VIBURNUM DENTATUM	NORTHERN ARROWWOOD	3 GALLON
PERENNIALS AND GRASSES PALETTE				
AC	92	ASTILBE CHINESES 'VISION IN WHITE'	VISION IN WHITE ASTILBE	1 GAL
CP	354	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL
DP	178	DENNSTAEDTIA PUNCTIOBULIA	HAYCENTED FERN	1 GAL
EP	117	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL
NW	9	NEPETA X FAASSENII 'WALKERS LOW'	CATMINT	1 GAL
PH	237	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	2 GAL
PL	25	PEROVSKIA A. 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	1 GAL
PV	146	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	2 GAL
RF	138	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYE SUSAN	1 GAL
SN	190	SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL
SEED MIX				
ERNST SEEDS 800-873-3321	ERNST "NATIVE WOODS MIX" (ERNMX-132-1)	30 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT	

NOTE:

- FINAL SELECTION OF PLANTINGS WILL BE MADE FROM THE SPECIES LISTED IN EACH CATEGORY OF PLANT TYPE ABOVE.
- PLANT TYPES NOTED WITH "*" ARE INCLUDED IN THE 20' WIDE LANDSCAPE BUFFER ALONG HERRING RUN BROOK, SEE PLANS FOR QUANTITIES.

LIGHT SCHEDULE					
SYMBOL	LABEL	MODEL	MOUNT	DESCRIPTION	OPTIONS
☼	EX	COOPER LIGHTING - FIXTURE: ANE-105-X-4-33-2 POLE/BASE: DEA714PU	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	SINGLE	COLOR: BLK
■	SW1	MP LIGHTING - RECESSED WALL LIGHT L368-8W30HNC-S6	WALL LIGHT	SINGLE	COLOR: S.S.
💡	W1	BEGA LED WALL LUMINAIRES 24219-K3-BLK	BUILDING MOUNT	SINGLE	COLOR: BLK
💡	W2	BEGA LED WALL LUMINAIRES 24243-K3-BLK	BUILDING MOUNT	SINGLE	COLOR: BLK

NOTES:

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- STREETSCAPE LIGHTING (FIXTURE "EX") TO BE COORDINATED WITH TOWN ENGINEER

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SITE PLAN REVIEW

REVISIONS

MARK	ISSUE	DATE
1	BZA SUBMISSION	8/4/23



DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW
DATE: JULY 18, 2023
PROJECT #: 22034
SCALE:

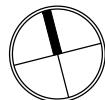
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LANDSCAPE
PLANTING AND
LIGHTING PLAN

DRAWING NUMBER

L2

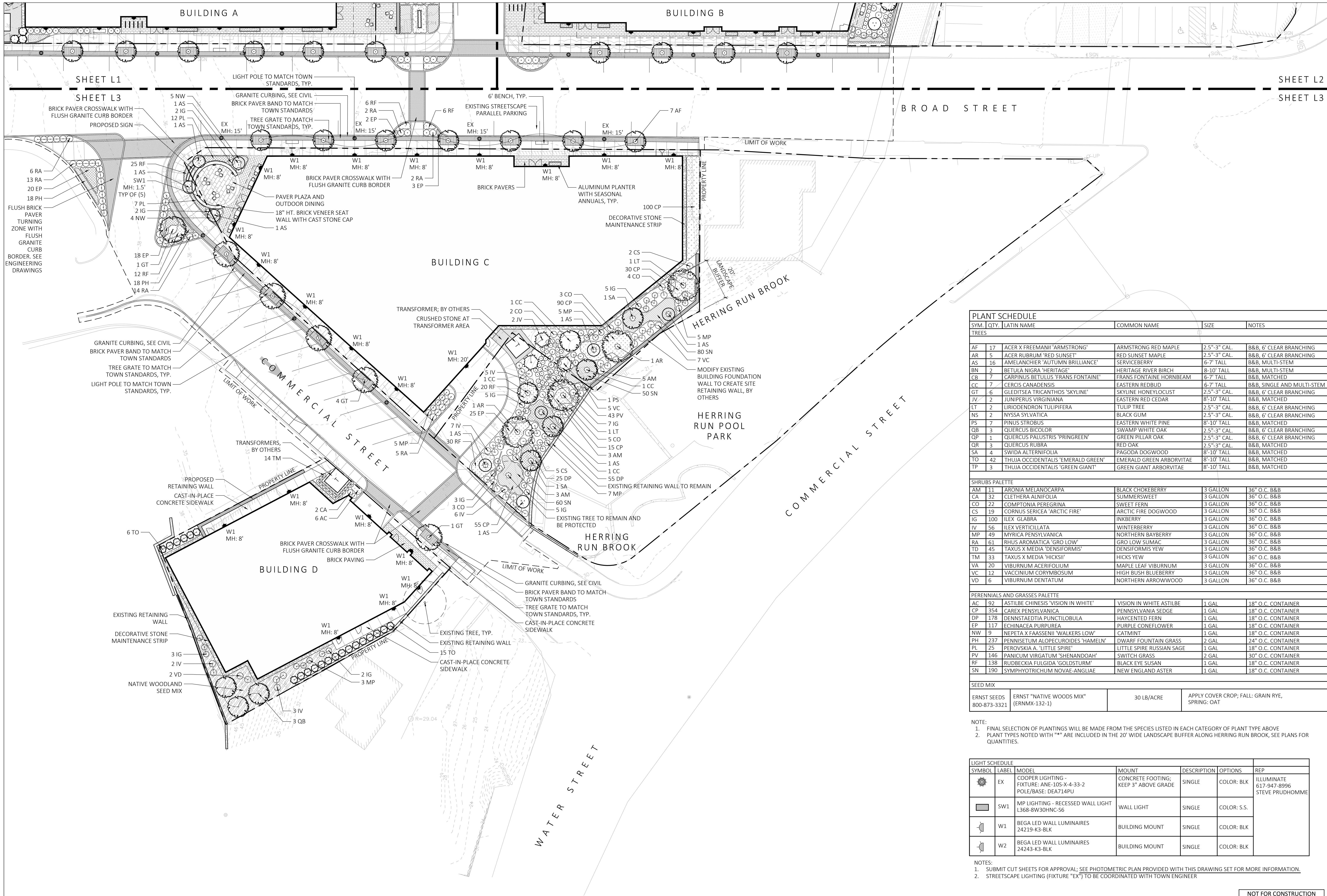
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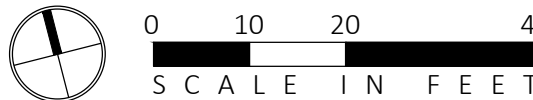
PLANT SCHEDULE				
SYM.	QTY.	LATIN NAME	COMMON NAME	NOTES
TREES				
AF	17	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5"-3" CAL. B&B, 6' CLEAR BRANCHING
AR	5	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2.5"-3" CAL. B&B, 6' CLEAR BRANCHING
AS	16	AMELANCHIER 'AUTUMN BRILLIANCE'	SERVICEBERRY	6-7' TALL B&B, MULTI-STEM
BN	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	8-10' TALL B&B, MULTI-STEM
CB	7	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM	6-7' TALL B&B, MATCHED
CC	7	CERCIS CANADENSIS	EASTERN REDBUD	6-7' TALL B&B, SINGLE AND MULTI-STEM
GT	6	GLEDITSIA TRICANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5"-3" CAL. B&B, 6' CLEAR BRANCHING
JV	2	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8'-10' TALL B&B, MATCHED
LT	2	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5"-3" CAL. B&B, 6' CLEAR BRANCHING
NS	2	NYSSA SYLVATICA	BLACK GUM	2.5"-3" CAL. B&B, 6' CLEAR BRANCHING
PS	7	PINUS STROBUS	EASTERN WHITE PINE	8'-10' TALL B&B, MATCHED
QB	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5"-3" CAL. B&B, 6' CLEAR BRANCHING
QP	1	QUERCUS PALustris 'PRINGREEN'	GREEN PILLAR OAK	2.5"-3" CAL. B&B, 6' CLEAR BRANCHING
QR	3	QUERCUS RUBRA	RED OAK	2.5"-3" CAL. B&B, MATCHED
SA	4	SWIDA ALTERNIFOLIA	PAGODA DOGWOOD	8'-10' TALL B&B, MATCHED
TO	42	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	8'-10' TALL B&B, MATCHED
TP	3	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8'-10' TALL B&B, MATCHED
SHRUBS PALETTE				
AM	11	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3 GALLON 36" O.C. B&B
CA	32	CLETHRA ALNIFOLIA	SUMMERSWEET	3 GALLON 36" O.C. B&B
CO	22	COMPTONIA PEREGRINA	SWEET FERN	3 GALLON 36" O.C. B&B
CS	19	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	3 GALLON 36" O.C. B&B
IG	100	ILEX GLABRA	INKBERRY	3 GALLON 36" O.C. B&B
IV	56	ILEX VERTICILLATA	WINTERBERRY	3 GALLON 36" O.C. B&B
MP	49	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	3 GALLON 36" O.C. B&B
RA	61	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	3 GALLON 36" O.C. B&B
TD	45	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	3 GALLON 36" O.C. B&B
TM	33	TAXUS X MEDIA 'HICKSI'	HICKS YEW	3 GALLON 36" O.C. B&B
VA	20	VIBURNUM ACERIFOLIUM	MAPLE LEAF VIBURNUM	3 GALLON 36" O.C. B&B
VC	12	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	3 GALLON 36" O.C. B&B
VD	6	VIBURNUM DENTATUM	NORTHERN ARROWWOOD	3 GALLON 36" O.C. B&B
PERENNIALS AND GRASSES PALETTE				
AC	92	ASTILBE CHINESIS 'VISION IN WHITE'	VISION IN WHITE ASTILBE	1 GAL 18" O.C. CONTAINER
CP	354	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	1 GAL 18" O.C. CONTAINER
DP	178	DENNSTAEIDIA PUNCTIOBULA	HAYCENTED FERN	1 GAL 18" O.C. CONTAINER
EP	117	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL 18" O.C. CONTAINER
NW	9	NEPETA X FAASSENII 'WALKERS LOW'	CATMINT	1 GAL 18" O.C. CONTAINER
PH	237	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	2 GAL 24" O.C. CONTAINER
PL	25	PEROVSKIA A. 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	1 GAL 18" O.C. CONTAINER
PV	146	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	2 GAL 30" O.C. CONTAINER
RF	138	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYE SUSAN	1 GAL 18" O.C. CONTAINER
SN	190	SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL 18" O.C. CONTAINER
SEED MIX				
ERNST SEEDS 800-873-3321	ERNST "NATIVE WOODS MIX" (ERNMX-132-1)	30 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT	

- NOTE:
- FINAL SELECTION OF PLANTINGS WILL BE MADE FROM THE SPECIES LISTED IN EACH CATEGORY OF PLANT TYPE ABOVE
 - PLANT TYPES NOTED WITH "*" ARE INCLUDED IN THE 20' WIDE LANDSCAPE BUFFER ALONG HERRING RUN BROOK, SEE PLANS FOR QUANTITIES.

LIGHT SCHEDULE					
SYMBOL	LABEL	MODEL	MOUNT	DESCRIPTION	OPTIONS
☼	EX	COOPER LIGHTING - FIXTURE: ANE-10S-X-4-33-2 POLE/BASE: DEA714PU	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	SINGLE	COLOR: BLK
■	SW1	MP LIGHTING - RECESSED WALL LIGHT L368-8W30HNC-S6	WALL LIGHT	SINGLE	COLOR: S.S.
💡	W1	BEGA LED WALL LUMINAIRES 24219-K3-BLK	BUILDING MOUNT	SINGLE	COLOR: BLK
💡	W2	BEGA LED WALL LUMINAIRES 24243-K3-BLK	BUILDING MOUNT	SINGLE	COLOR: BLK

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 - STREETSCAPE LIGHTING (FIXTURE "EX") TO BE COORDINATED WITH TOWN ENGINEER

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PLANTING AND
LIGHTING PLAN

DRAWING NUMBER

L3

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1 LANDSCAPE PLANTING AND LIGHTING ENLARGEMENT

SCALE: 1" = 20'-0"

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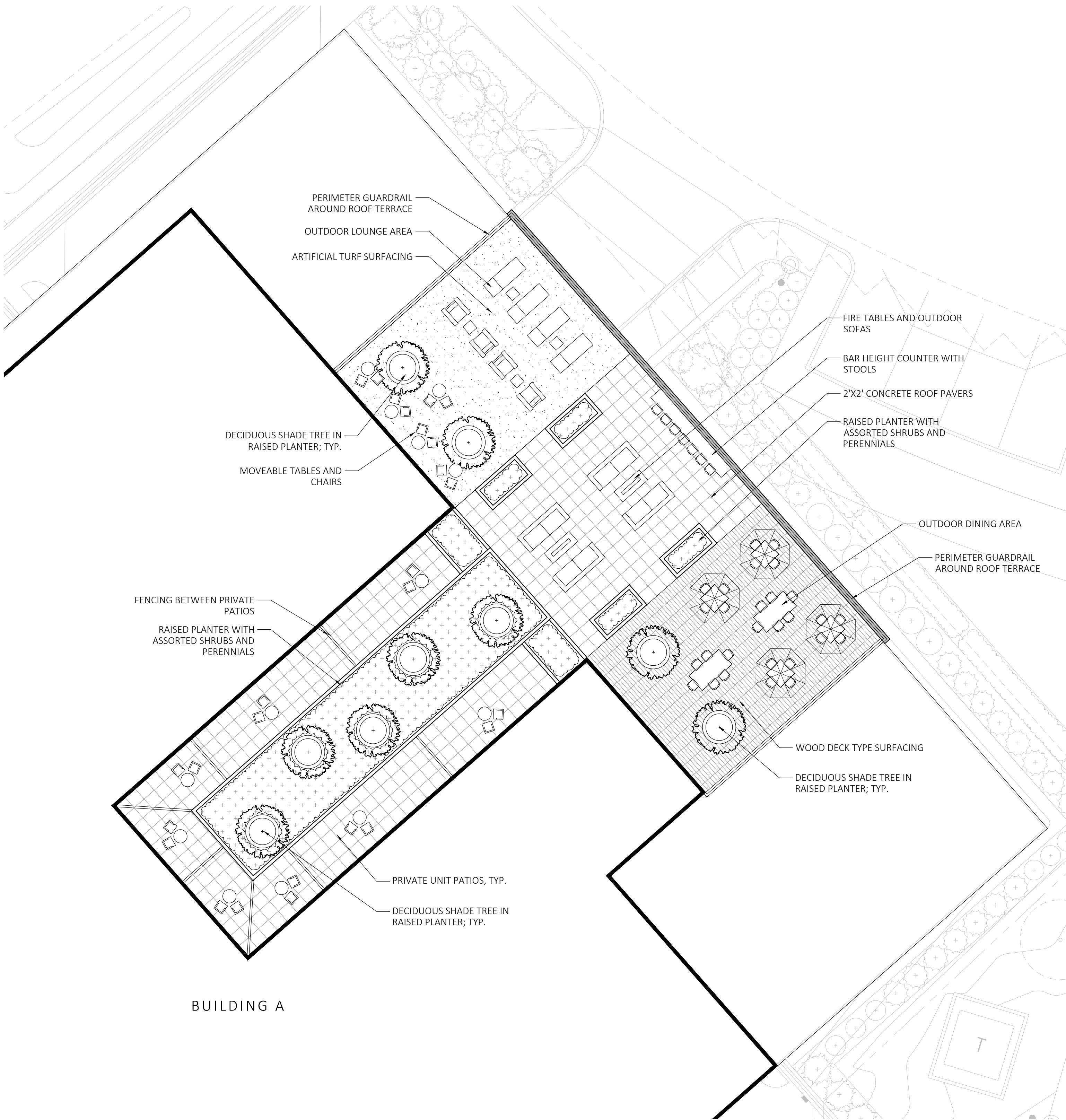
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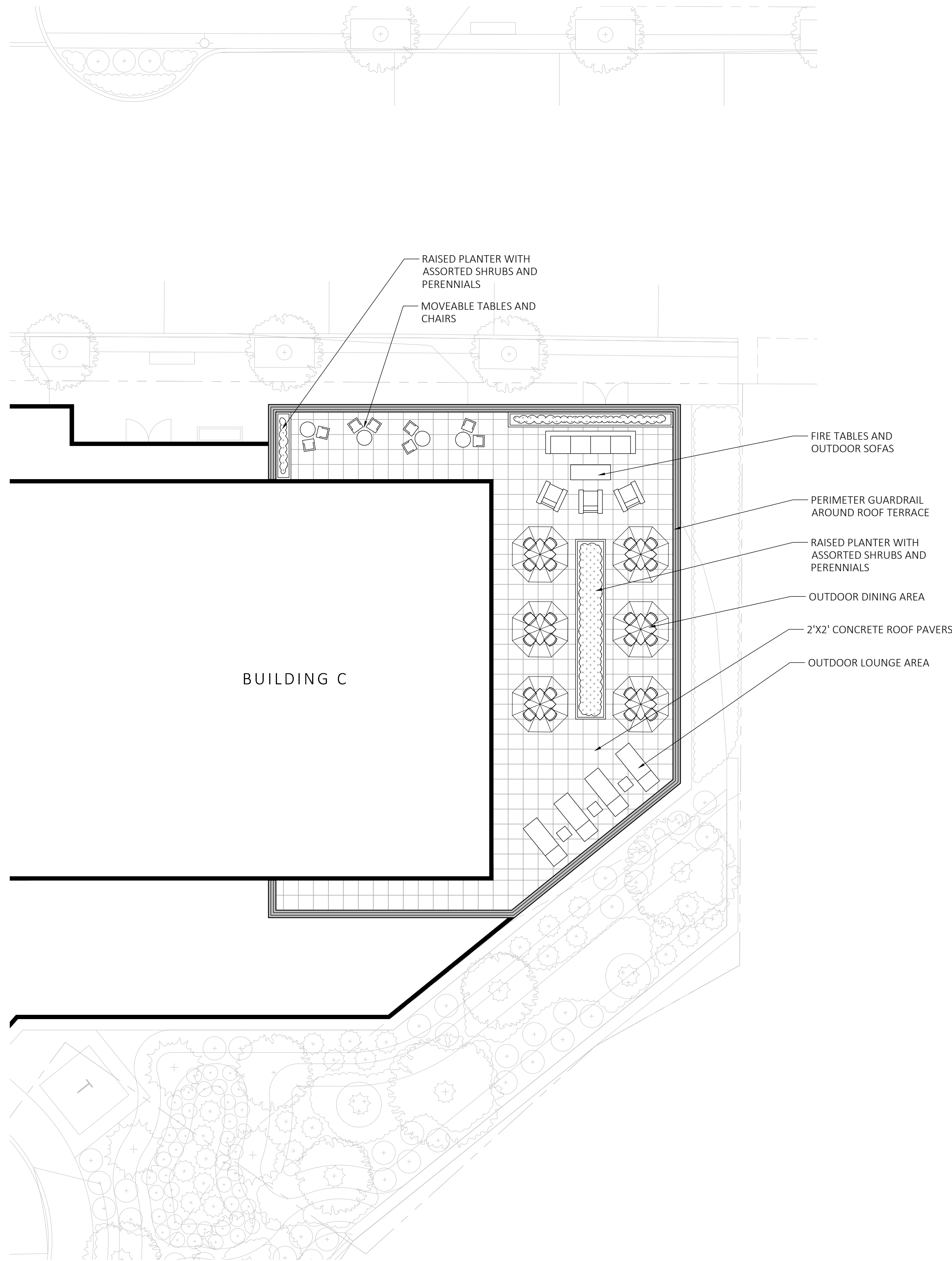
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ROOF DECK
AMENITY
ENLARGEMENTS

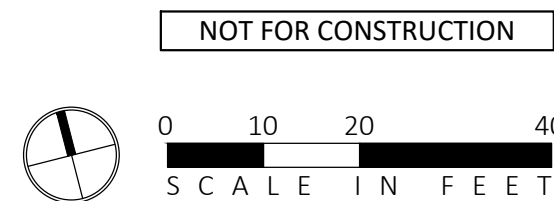
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1 ROOF DECK AMENITY SPACE ENLARGEMENT - BUILDING A
SCALE: 1" = 20'-0"



2 ROOF DECK AMENITY SPACE ENLARGEMENT - BUILDING C
SCALE: 1" = 20'-0"



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LANDSCAPE
PHOTOMETRICS PLAN

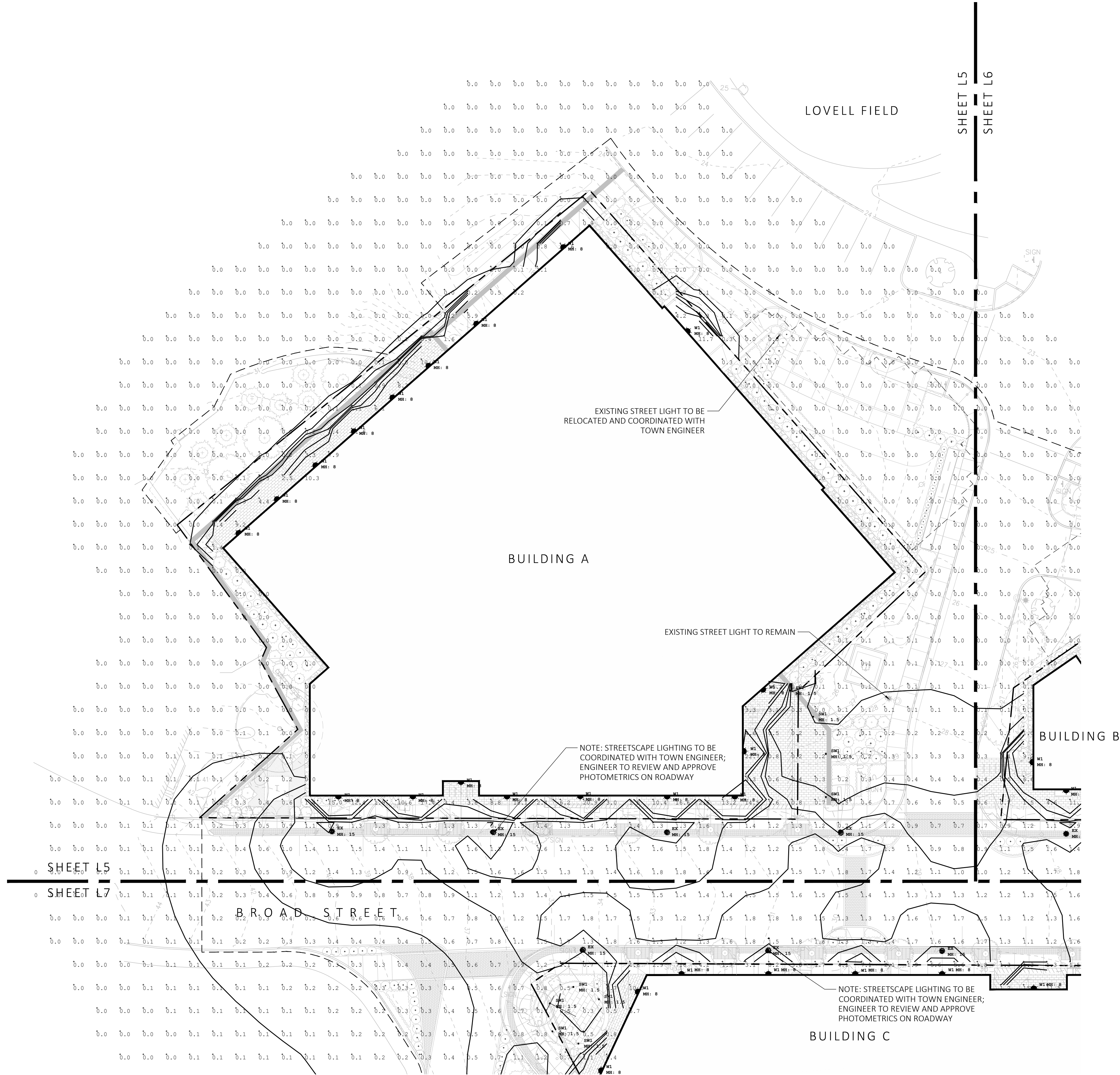
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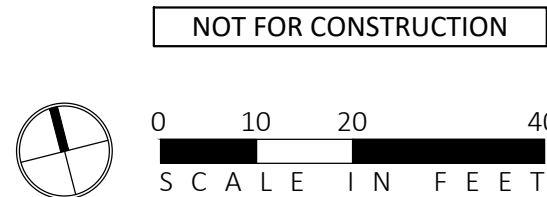
Luminaire Schedule					
Qty	Label	Arr. Watts	Arrangement	LLF	MOUNTING HEIGHT (MH)
14	EX	71.9	SINGLE	0.900	15' HT.
9	SW1	8	SINGLE	0.900	1.5' HT.
49	W1	18	SINGLE	0.900	8' HT.
1	W2	34	SINGLE	0.900	20' HT.
Description					
ANE-10S-X-4-33-2					
L368-SW30HNC-S6					
24219_BEGA_IES					
33243_BEGA_IES					

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Fc	0.58	22.7	0.0	N.A.	N.A.

- NOTES:
1. SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.
2. STREETSCAPE LIGHTING TO BE COORDINATED WITH TOWN ENGINEER



1 LANDSCAPE PHOTOMETRICS ENLARGEMENT
SCALE: 1" = 20'-0"



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LANDSCAPE
PHOTOMETRICS PLAN

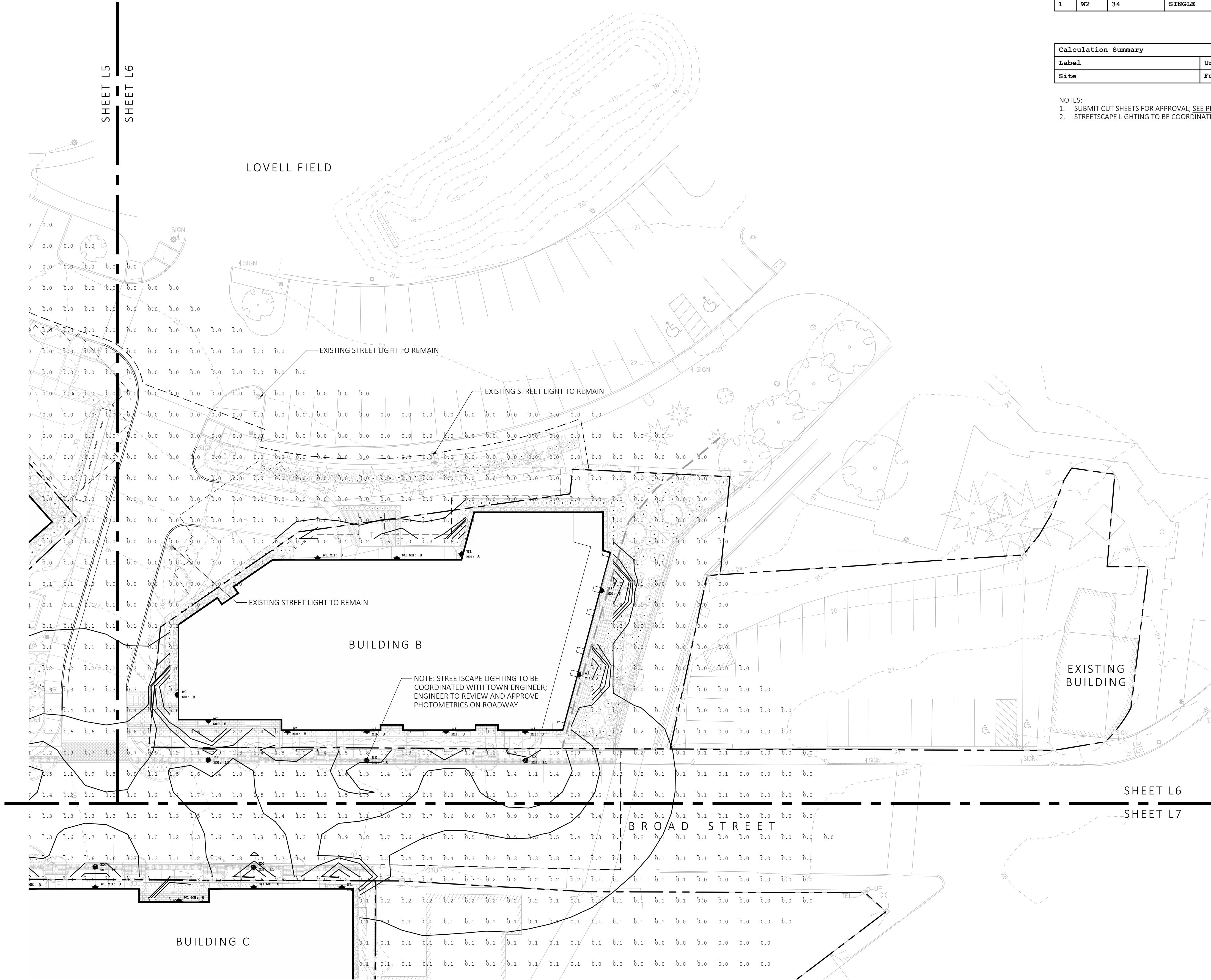
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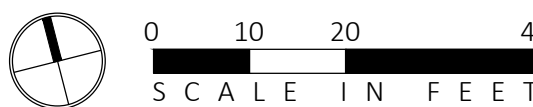
Luminaire Schedule						
Qty	Label	Arr. Watts	Arrangement	LLF	MOUNTING HEIGHT (MH)	Description
14	EX	71.9	SINGLE	0.900	15' HT.	ANE-10S-X-4-33-2
9	SW1	8	SINGLE	0.900	1.5' HT.	L368-SW30HNC-S6
49	W1	18	SINGLE	0.900	8' HT.	24219_BEGA_IES
1	W2	34	SINGLE	0.900	20' HT.	33243_BEGA_IES

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Fc	0.58	22.7	0.0	N.A.	N.A.

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SCALE: 1" = 20'-0"

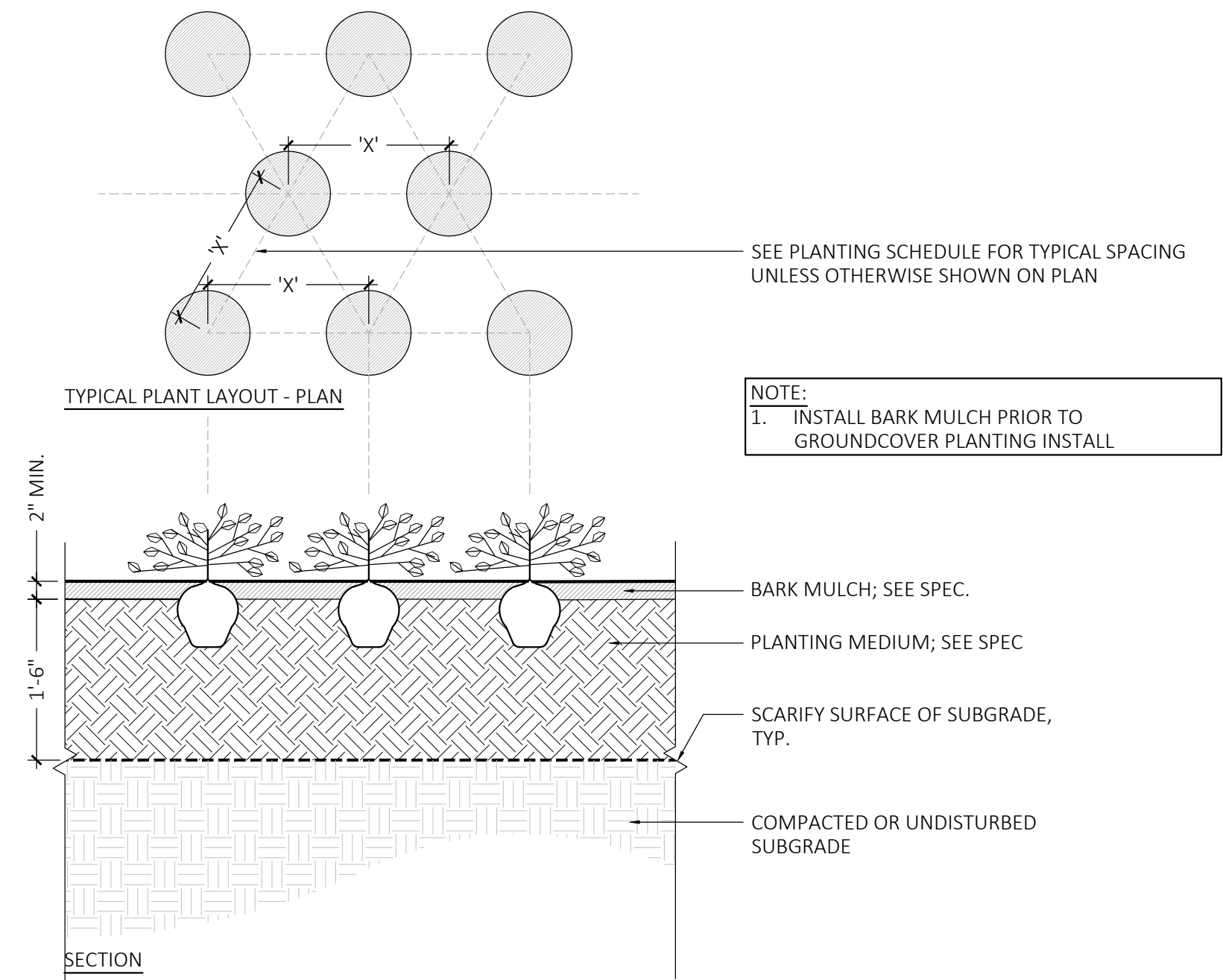


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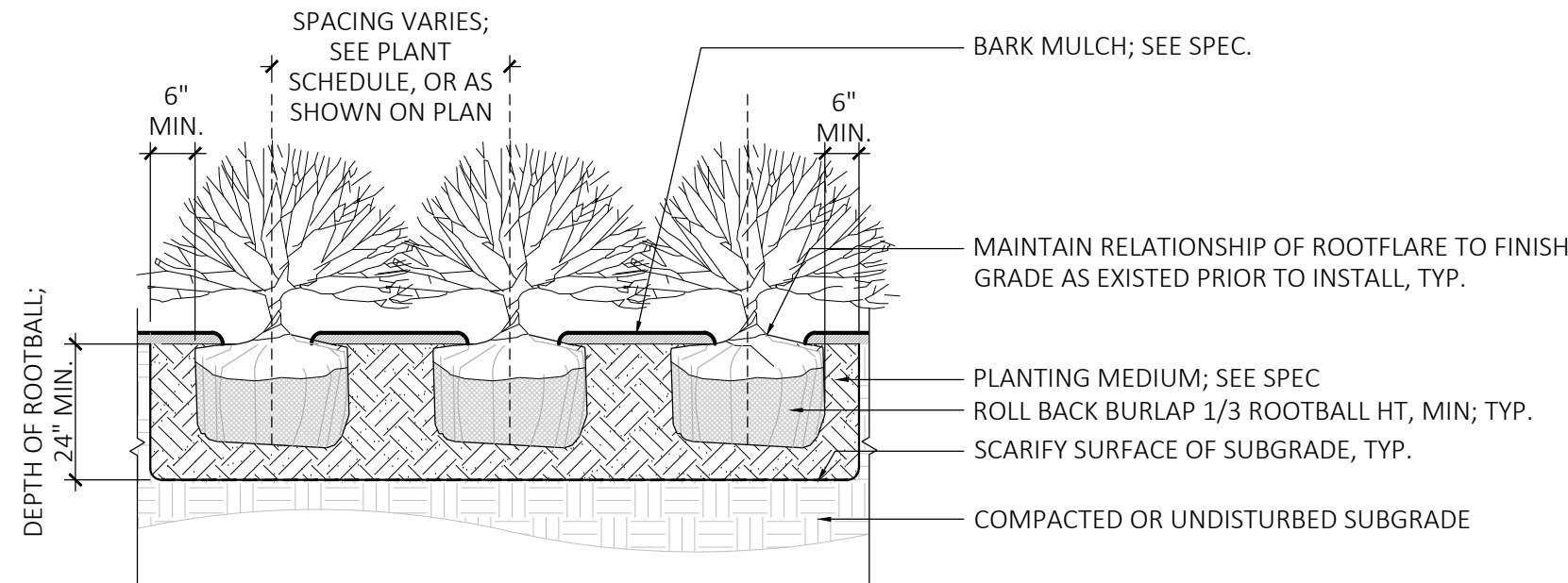
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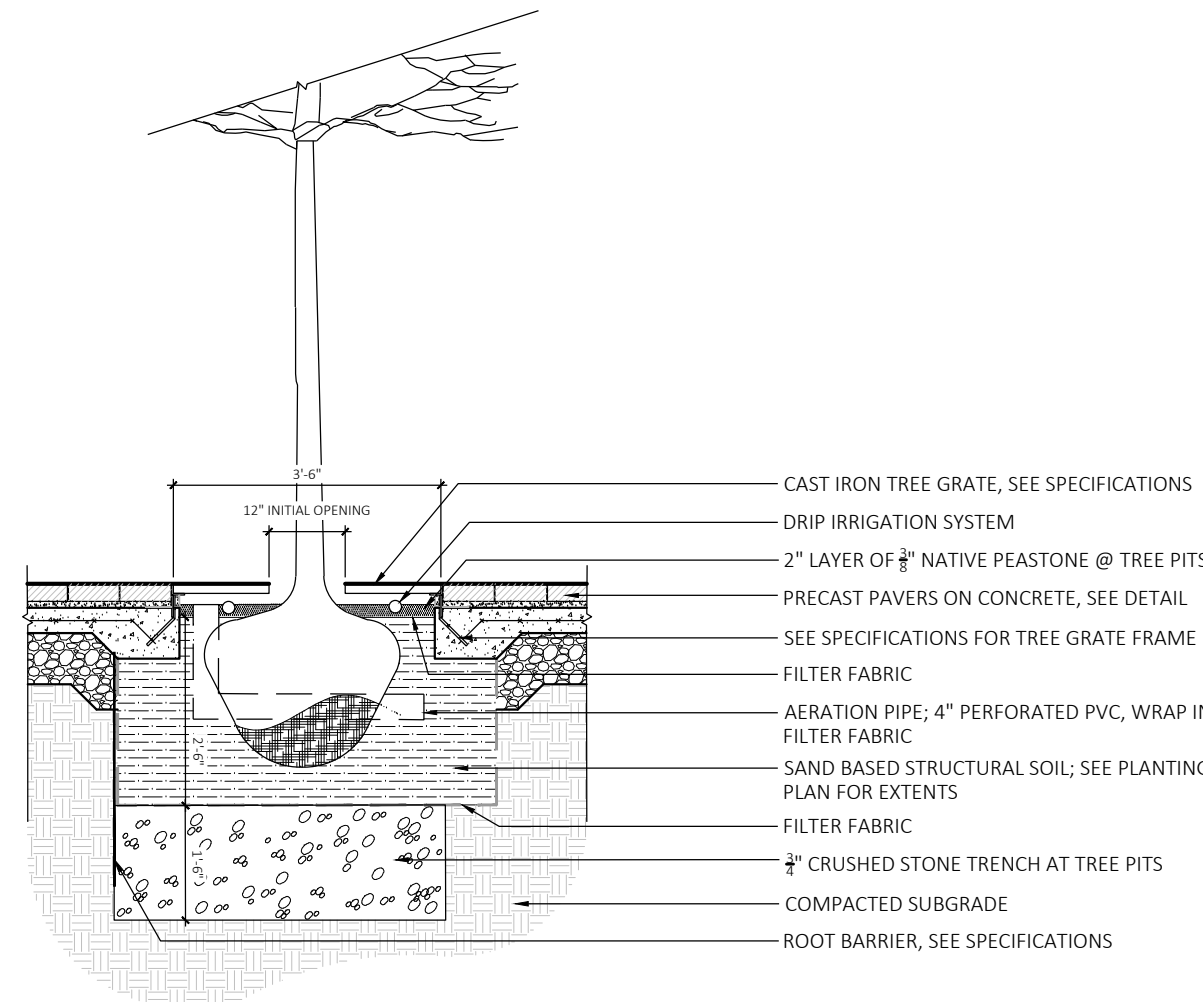
1 GROUNDCOVER PLANTING



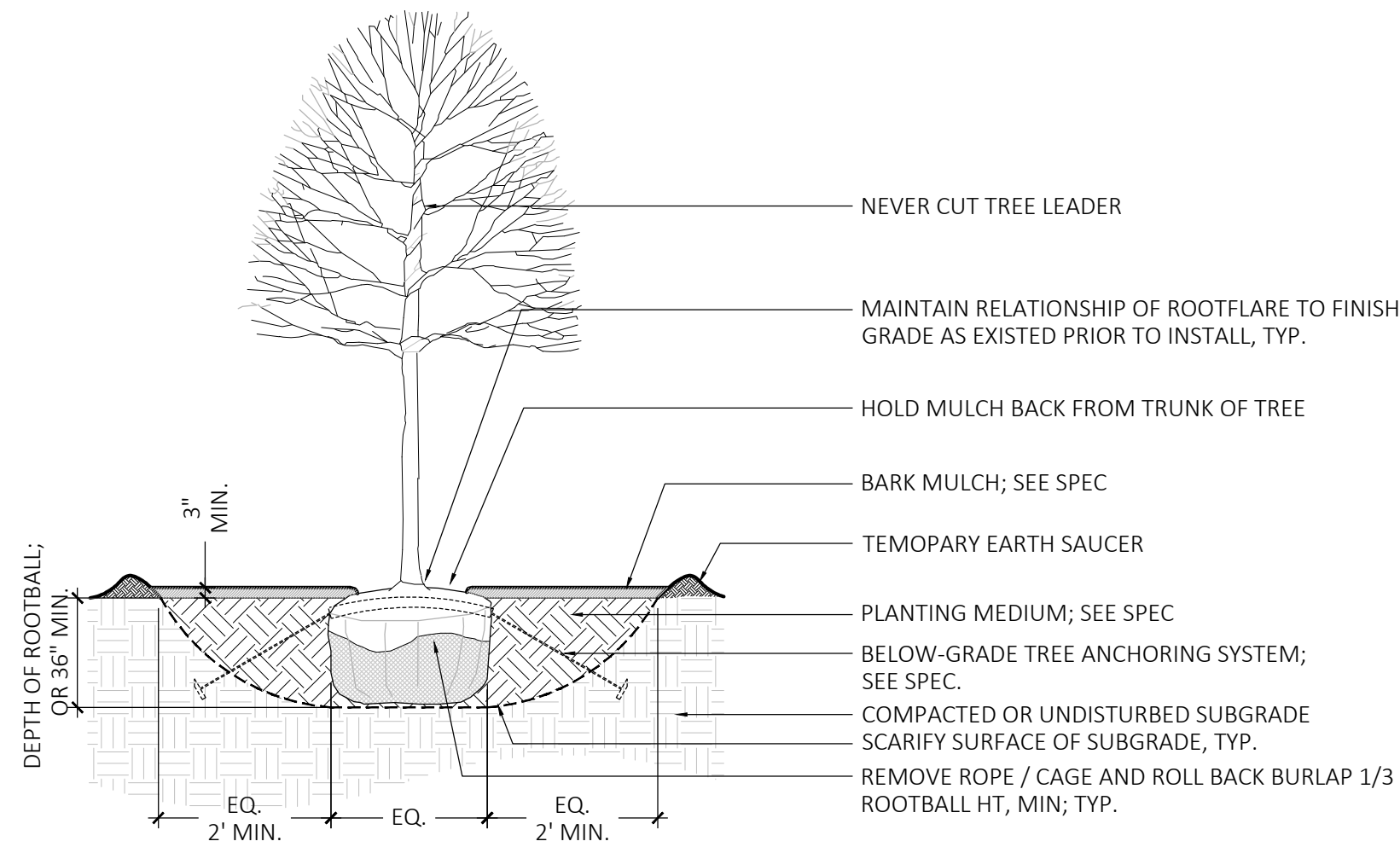
4 SHRUB PLANTING



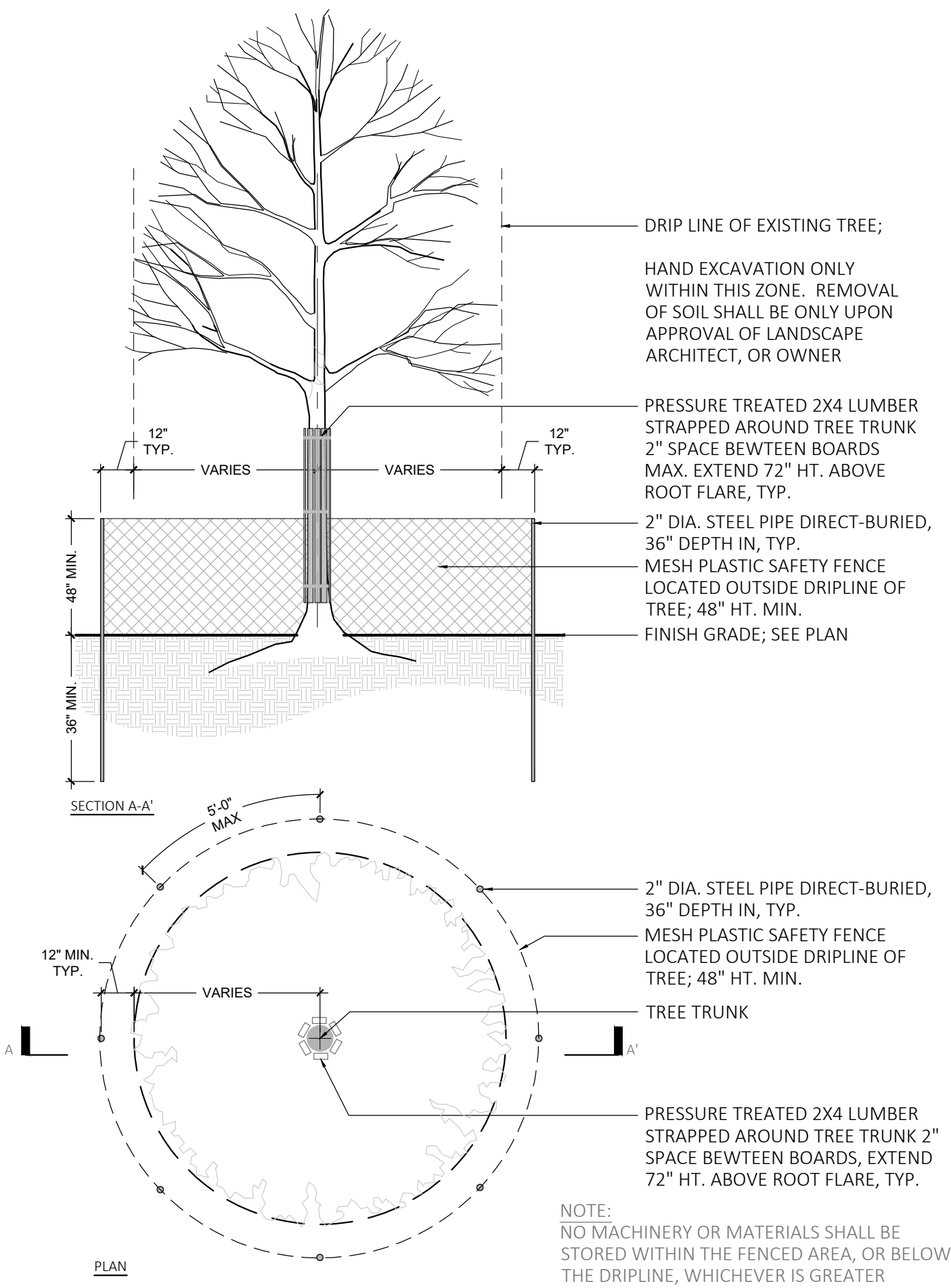
6 TREE GRATE - SECTION



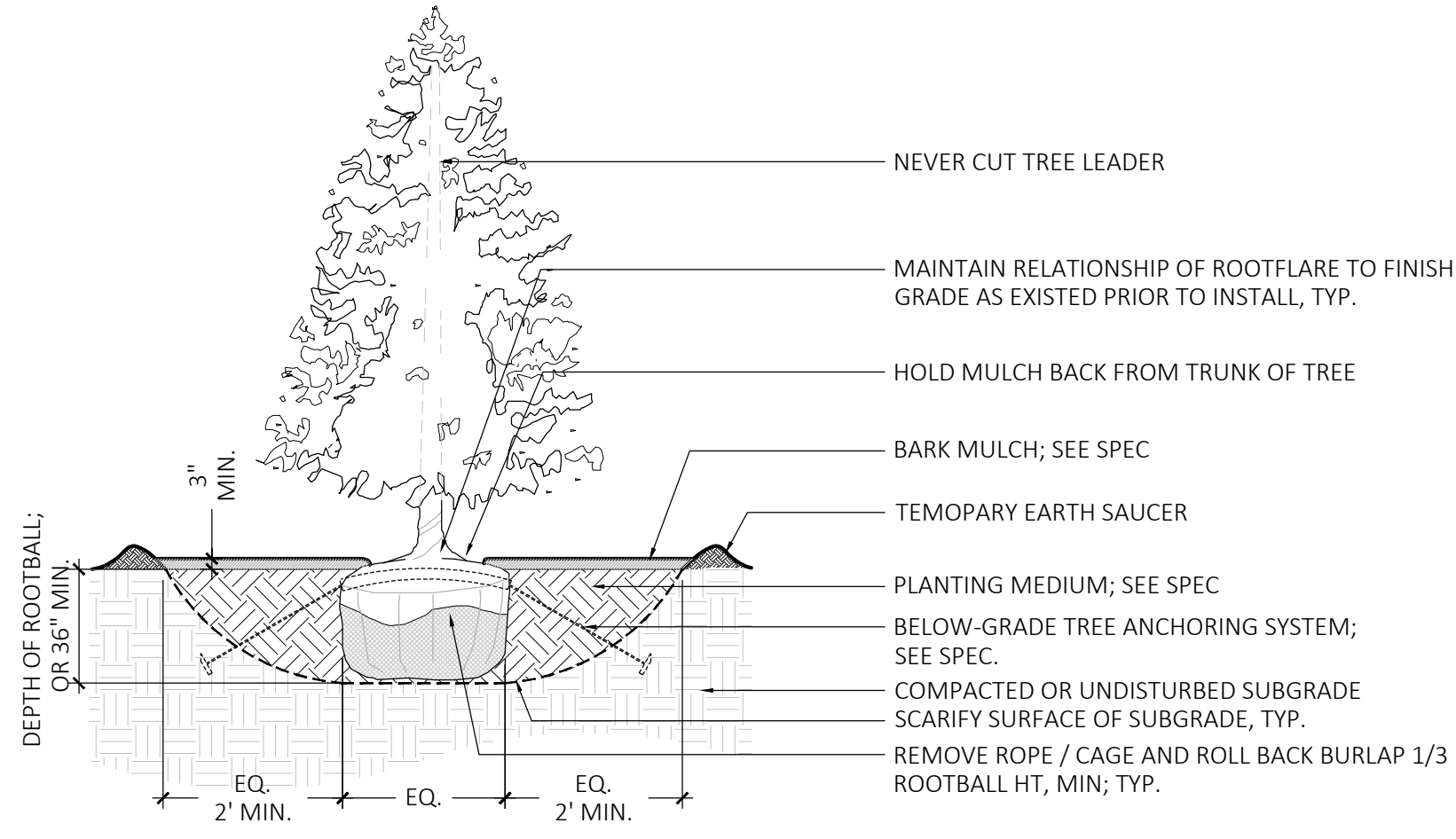
2 DECIDUOUS TREE PLANTING



5 EXISTING TREE PROTECTION



3 EVERGREEN TREE PLANTING



PLANTING NOTES:

1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
10. LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUNDCOVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
12. PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

IRRIGATION NOTES:

1. IRRIGATION SHALL BE A DESIGN-BUILD INSTALLATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING.
2. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
3. TREES SHALL BE ON A SEPARATE ZONE.
4. PROVIDE A REMOTE RAIN SENSOR ON A ROOF AREA THAT IS NOT OBSTRUCTED FROM THE OPEN SKY.
5. COORDINATE WITH OWNER FOR POINT OF CONNECTION LOCATION.
6. COORDINATE WITH OWNER FOR IRRIGATION CONTROLLER LOCATION.
7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
8. COORDINATE WITH OWNER FOR BACKFLOW PREVENTION LOCATION.
9. INSTALLER SHALL INSTALL LIGHTNING AND SURGE PROTECTION DEVICES THROUGHOUT SYSTEM AS PER MANUFACTURER'S HIGHEST SPECIFICATION LEVELS.
10. INSTALLER SHALL ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS RELATED TO CONTROL SYSTEM INSTALLATION.
11. INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.
12. PRIOR TO BID, CONTRACTOR TO VERIFY THAT ALL MATERIALS, INSTALLATION PARAMETERS, AND OPERATIONS CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS CONTRACTOR SHALL NOTIFY DESIGNER AND OWNER OF ANY CHANGES REQUIRED DUE TO CURRENT CODE OR ORDINANCE DISCREPANCIES.

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LANDSCAPE
DETAILS

DRAWING NUMBER

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