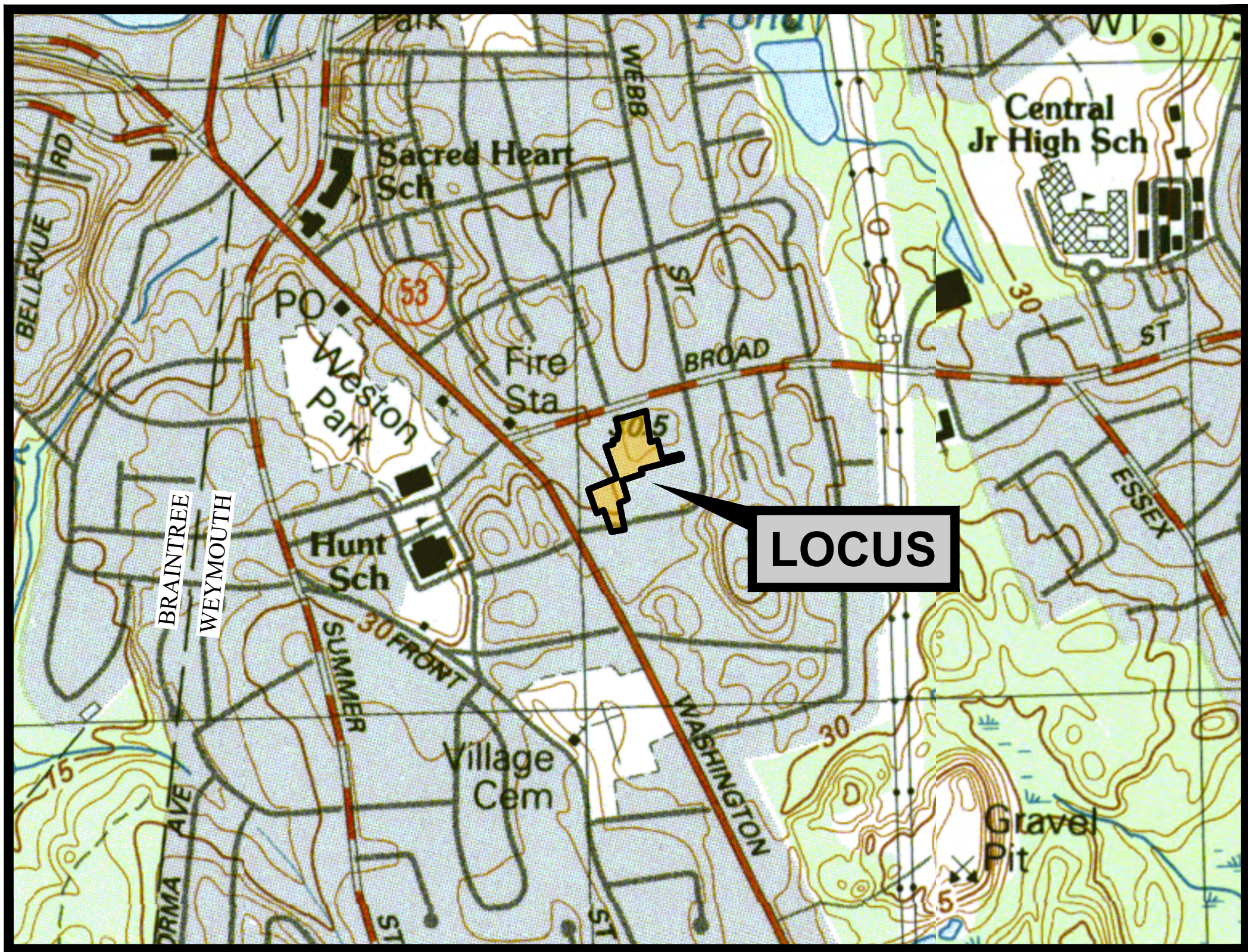


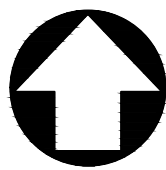
SITE PLAN APPLICATION

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR SAWYER REALTY HOLDINGS, LLC

125 BROAD STREET
WEYMOUTH, MA 02188
MAP 274 LOT 16

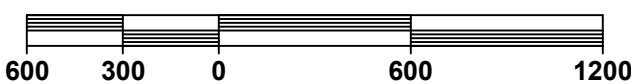


NORTH

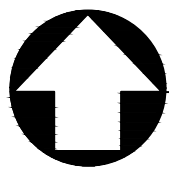


USGS MAP

SCALE: 1" = 600'

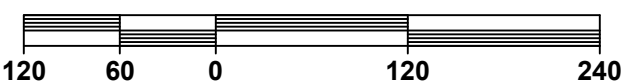


NORTH



AERIAL MAP

SCALE: 1" = 120'



OWNER / APPLICANT:



SAWYER REALTY HOLDINGS, LLC
1215 CHESTNUT STREET
NEWTON, MA 02464
PHONE: (781) 449-6650

SURVEYOR / ENGINEER / PERMITTING:



CROCKER DESIGN GROUP, LLC
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
PHONE: (781) 919-0808

STRUCTURAL ENGINEER



VITAL STRUCTURES, LLC
4 FIRST STREET
BRIDGEWATER, MA 02324
PHONE: (508) 279-0655

DRAWING INDEX:

C-0 COVER SHEET
C-1 DEMOLITION - EROSION CONTROL PLAN
C-2 SITE PLAN
C-3 GRADING PLAN
C-4 DETAIL SHEET

SUPPLEMENTAL PLANS:

CROCKER DESIGN GROUP
EXISTING CONDITIONS PLAN (SHEET 1 OF 1)
VITAL STRUCTURES, LLC
SK-01 CONCEPTUAL RETAINING WALL DESIGN

ARCHITECT / PLANNER:



DISA ARCHITECTURE PC
175 PARAMOUNT DRIVE, SUITE 202
RAYNHAM, MA 02767
PHONE: (508) 697-8200

TRANSPORTATION ENGINEER / PLANNER:

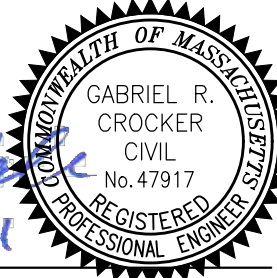
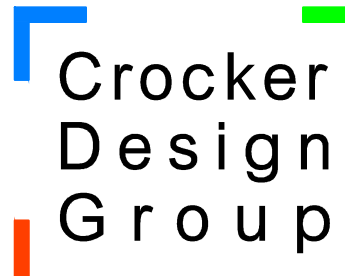


VANASSE & ASSOCIATES, INC
35 NEW ENGLAND BUSINESS DRIVE CENTER, SUITE 140
ANDOVER, MA 01810
PHONE: (978) 474-8800

PERMITTING ATTORNEY:

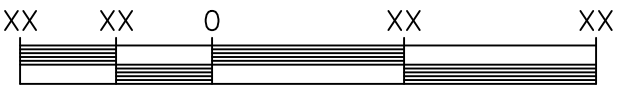
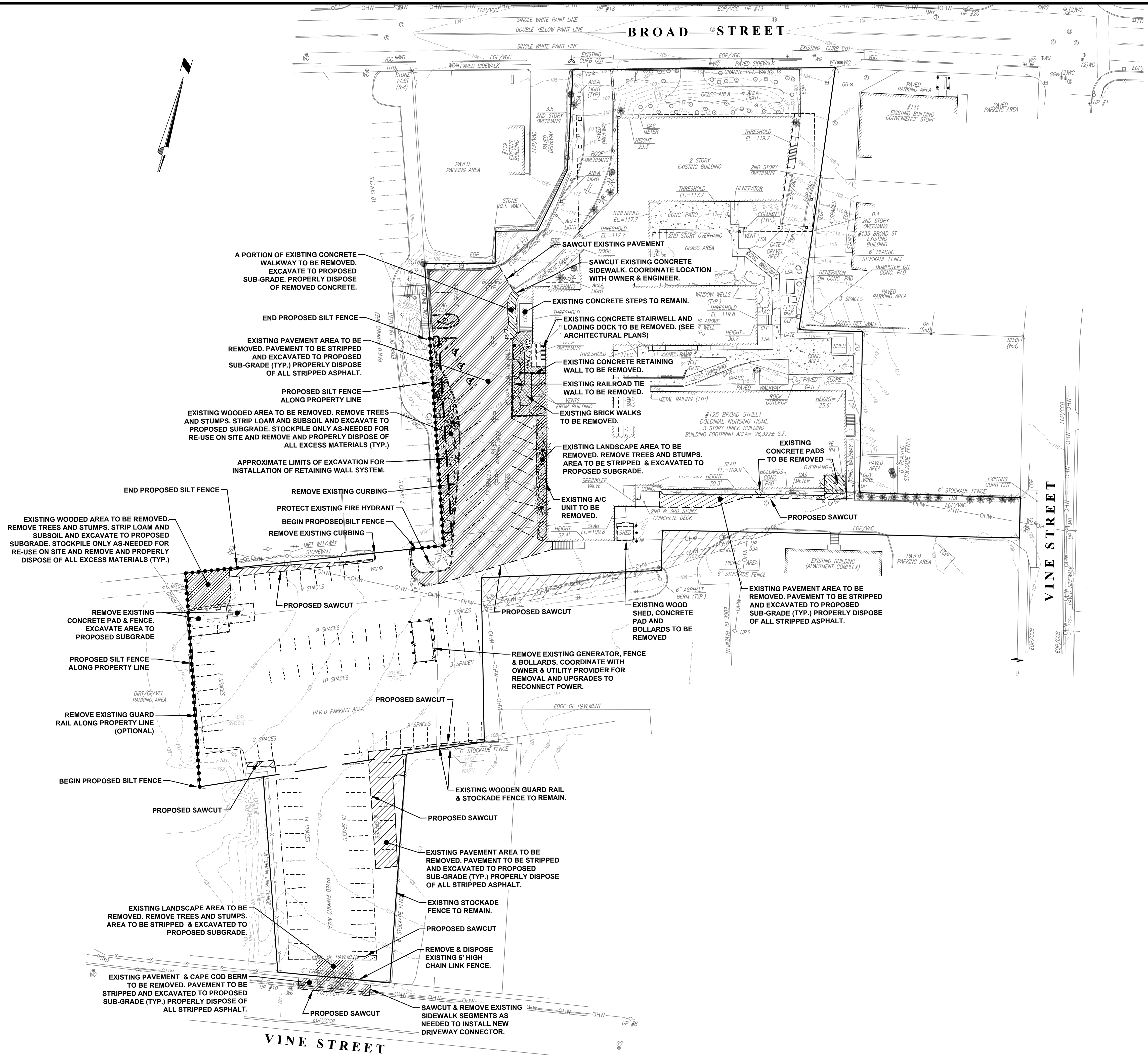


DROHAN TOCCHIO & MORGAN PC
175 DERBY ST., SUITE 30
HINGHAM, MA 02043
781-749-7200

Date	Description	No.
Revisions		
		
GABRIEL R. CROCKER PROFESSIONAL ENGINEER, MA REGISTRATION #47917		
		
2 SHARP STREET, UNIT B HINGHAM, MA 02043 P: 781-919-0808		
Project MULTIFAMILY RESIDENTIAL DEVELOPMENT 126 BROAD STREET WEYMOUTH, MASSACHUSETTS		
Prepared for SAWYER REALTY HOLDINGS, LLC 1215 CHESTNUT STREET NEWTON, MA 02464		
Drawing Title COVER SHEET		
Project No.	100-126	Drawing No.
Date	06/08/2021	C-0
Scale	AS NOTED	
Drawn By	JPM	
Approved By	GRC	

GENERAL NOTES:

- PROTECTIONS:
 - PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, TREES OR VEGETATION.
 - PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON OWNER'S PROPERTY.
 - RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
 - CONDUCT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH OPERATIONS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY.
- UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- ALL SLOPES, UNLESS OTHERWISE SPECIFIED, SHALL BE LOANED AND SEEDED FOR STABILIZATION AS SOON AS POSSIBLE TO PREVENT EROSION INTO WETLAND RESOURCE AREAS, ADJUTING PROPERTIES OR PUBLIC WAYS. EROSION CONTROL BLANKETS ARE REQUIRED FOR ALL 2H:1V SLOPES. SLOPES MAY NOT EXCEED 2H:1V. SEE "SEEDINGS" NOTE 3.
- ANY DEVIATIONS, I.E. "FIELD CHANGES" FROM THE DESIGN PLANS MUST BE APPROVED BY THE DESIGN ENGINEER IN WRITING. CONTRACTOR SHOULD BE AWARE THAT LOCAL AND STATE AUTHORITIES HAVE JURISDICTION AND APPROVALS MUST BE OBTAINED FROM THE APPROPRIATE AUTHORITY PRIOR TO THE IMPLEMENTATION OF THE "FIELD CHANGE." CROCKER DESIGN GROUP LLC ASSUMES NO LIABILITY OR RESPONSIBILITY FOR WORK ASSOCIATED WITH FIELD CHANGES COMPLETED WITHOUT REGARD TO THE "FIELD CHANGE" PROCEDURE.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
- *** DIS SAFE NOTE *** IN ACCORDANCE WITH M&L CH. 82, SEC. 40 INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE, BLAST, DEMOLISH, BORE, OR PERFORM OTHER EARTH MOVING OPERATIONS NO LESS THAN 72 HOURS AND NO MORE THAN 30 DAYS PRIOR TO THE COMMENCEMENT OF SUCH WORK (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS) OR CALL "DIS SAFE" AT 1-888-DIS-SAFE.
- LOCATION OF UNDERGROUND UTILITIES ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPILATIONS. EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. TEST PITS SHALL BE PERFORMED BY CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.
- USE OF EXPLOSIVES:
 - COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF FEDERAL, STATE, AND LOCAL AUTHORITIES AND INSURERS WHICH GOVERN STORAGE, USE, MANUFACTURE, SALE, HANDLING, TRANSPORTATION, LICENSING, OR OTHER DISPOSITION OF EXPLOSIVES. UTILIZE SPECIAL PRECAUTIONS FOR PROPER USE OF EXPLOSIVES TO PREVENT HARM TO HUMAN LIFE AND DAMAGE TO SURFACE STRUCTURES. ALL UTILITY LINES OR OTHER SUBSURFACE STRUCTURES. DO NOT CONDUCT BLASTING OPERATIONS UNTIL PERSONS IN VICINITY HAVE HAD AMPLE NOTICE AND HAVE REACHED POSITIONS OF SAFETY.
 - BLASTING OF ANY ROCK SHALL REQUIRE APPROPRIATE APPROVALS FROM THE LOCAL FIRE DEPARTMENT, PLANNING BOARD, BUILDING INSPECTOR AND OTHER PERTINENT AGENCIES, PRIOR TO COMMENCEMENT OF WORK. ALL BLASTED ROCK OR OTHER EXCESS MATERIALS MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT THE EXPENSE OF THE CONTRACTOR.
- ADDITIONAL BENCHMARKS TO BE SET BY CONTRACTOR PRIOR TO CONSTRUCTION TO ENSURE QUALITY WORKMANSHIP.



Date	Description	No.

Revisions

John A. Crocker
6-8-2021

GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

Crocker Design Group

2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

Project

MULTIFAMILY RESIDENTIAL DEVELOPMENT

126 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for

SAWYER REALTY HOLDINGS, LLC

1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title

DEMOLITION - SEDIMENT CONTROL PLAN

Project No.	100-126	Drawing No.	C-1
Date	06/08/2021		
Scale	1" = 30'		
Drawn By	JPM		
Approved By	GRC		

LEGEND:		
EXISTING	PROPOSED	DESCRIPTION
124	124	MINOR CONTOUR
130	130	MAJOR CONTOUR
x125.4	*130.50	SPOT ELEVATION
	TC131.50 BC131.00	TOP/BOTTOM OF CURB ELEVATION
	---	PROPERTY LINE (ROW)
	---	POST AND RAIL FENCE
	---	CHAIN LINK FENCE
	---	GUARDRAIL/GUIDERAIL
	---	TREE LINE
	---	RIPRAP
	---	SEWER LINE/MANHOLE
	---	DRAIN LINE/MANHOLE
	---	CATCH BASIN
	---	DOUBLE CATCH BASIN
	---	GAS LINE/GATE
	---	WATER LINE/GATE
	---	HYDRANT
	---	UNDERGROUND ELECTRIC
	---	AREA LIGHT
	---	ELECTRICAL TRANSFORMER

SEE DETAIL "A"

PROPOSED PLUNGE POOL LEVELING CURB TO BE INSTALLED ON NORTH AND WEST SIDE OF PLUNGE POOL.

PROPOSED PLUNGE POOL BOTTOM ELEVATION =101.1

EXISTING FLOW ARROW (TYP)

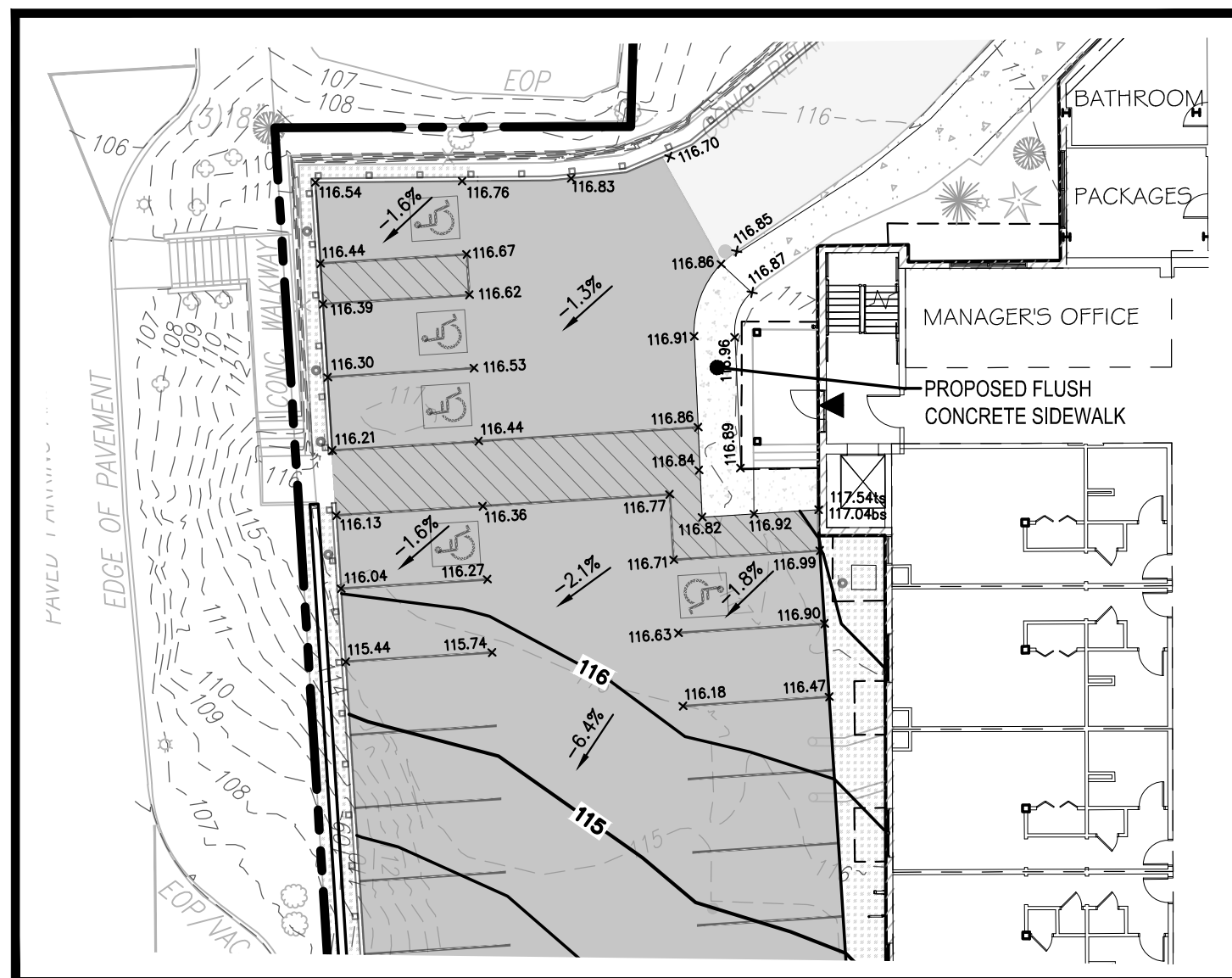
PROPOSED PAVED DRAINAGE APRON INTO PROPOSED PLUNGE POOL

DIRT/GRAVEL PARKING AREA

VINE STREET

BROAD STREET

VINE STREET



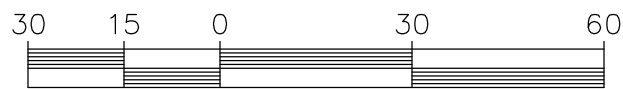
DETAIL "A"
SCALE: 1" = 20'

GRADING NOTES:

- THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR HIS REPRESENTATIVE.
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST FIT TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.
- ALL SITEWORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT.
- DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK. THIS WORK IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. TEST PITS SHALL BE BACKFILLED, AS SOON AS THE DESIRED INFORMATION HAS BEEN OBTAINED.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.
- UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.
- FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.
- THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREAS OR SOFTENING OR LOOSENING OF THE SOIL AT EXCAVATION OR EARTHWORK SUB-GRADES.
- THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED. THE CONTRACTOR SHALL BEAR THE FULL COST OF PROVIDING ALL NECESSARY DEWATERING.
- THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND UTILITIES.
- ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BASINS.
- PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.
- PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.
- ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TOLERANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.
- PAVEMENT EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.
- STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR BOULDERS ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESS SHOWN ON THE DRAWINGS.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ADJUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE, BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

DRAINAGE NOTES:

- MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.
- THE CONTRACTOR SHALL FILL ALL PRE-CAST TANKS WITH WATER FOR LEAKAGE OBSERVATIONS BY THE ENGINEER OVER A PERIOD OF 24-HOURS. ANY LEAKS SHALL BE REPAIRED BY THE CONTRACTOR.
- FOR SPECIFIC INFORMATION OF FRAMES AND COVER FOR DRAINAGE STRUCTURES SEE DETAIL SHEET.
- DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.
- FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.
- ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INT. WALLED CPE PIPE UNLESS OTHERWISE NOTED.
- FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.
- INSTALL PIPE AND FLARED ENDS IN STRICT ACCORDANCE WITH PIPE MANUFACTURER INSTRUCTIONS.
- PROTECT PROPOSED INFILTRATION BASINS FROM SEDIMENTATION THROUGHOUT CONSTRUCTION OPERATIONS. INFILTRATION BASINS ARE NOT TO BE USED UNTIL DRAINAGE SYSTEM IS INSTALLED AND FUNCTIONAL.



Date	Description	No.
	Revisions	

Sub. A
6-8-2021

GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

Crocker Design Group

2 SHARP STREET,
UNIT B
HINGHAM,
MA 02043
P: 781-919-0808

Project

MULTIFAMILY RESIDENTIAL DEVELOPMENT

126 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for

SAWYER REALTY HOLDINGS, LLC

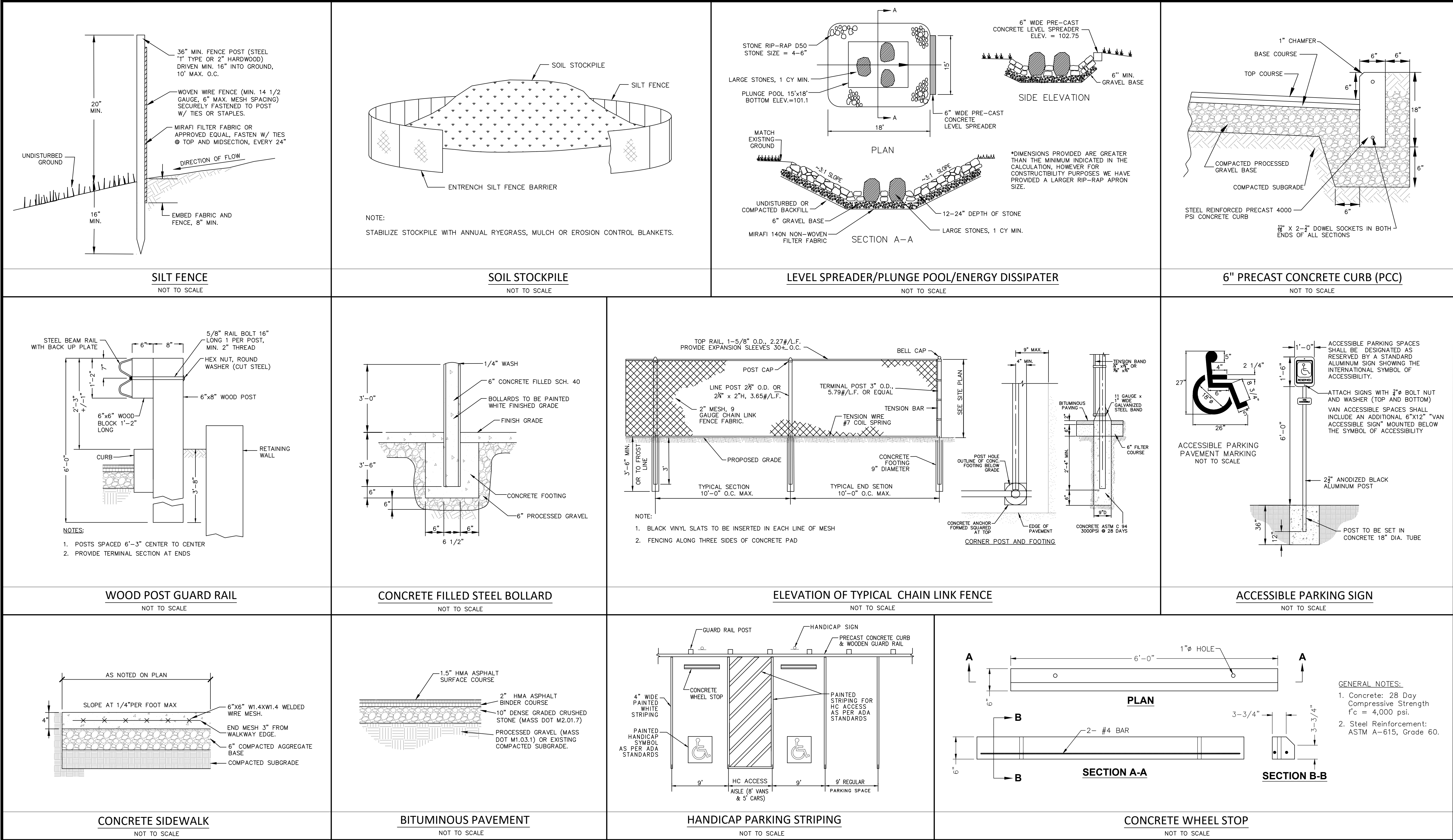
1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title

GRADING PLAN

Project No.	100-126	Drawing No.	
Date	06/08/2021		
Scale	1" = 30'		
Drawn By	JPM		
Approved By	GRC		

C-3



Date	Description	No.

Revisions

GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

Crocker Design Group

2 SHARP STREET,
UNIT B
HINGHAM,
MA 02043
P: 781-919-0808

Project

MULTIFAMILY RESIDENTIAL DEVELOPMENT

126 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for

SAWYER REALTY HOLDINGS, LLC

1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title

DETAIL SHEET

Project No. 100-126

Date 06/08/2021

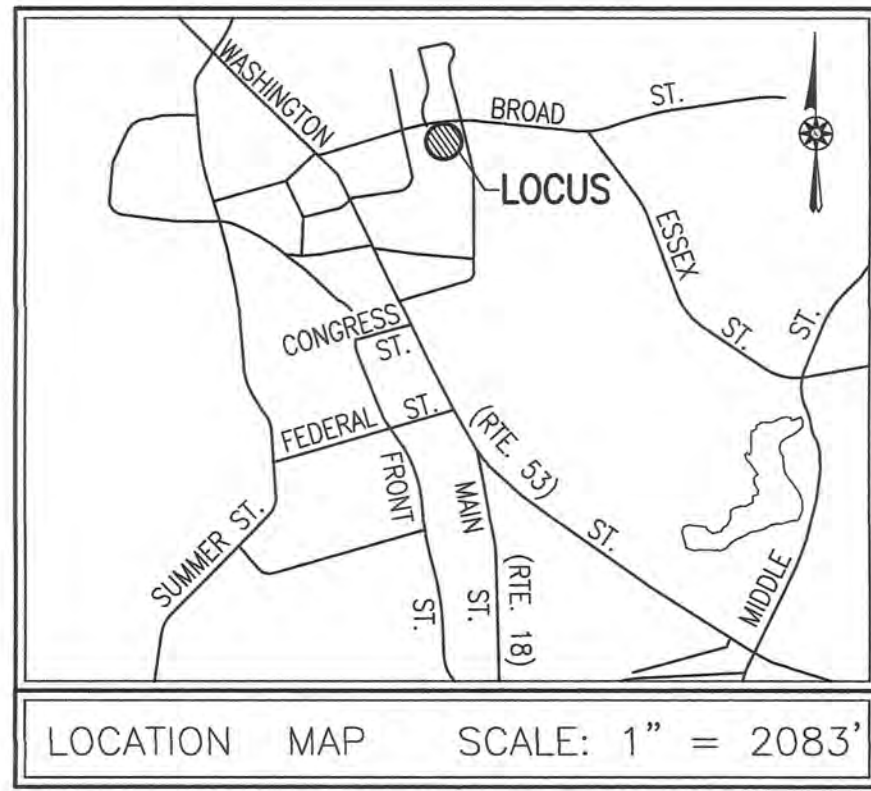
Scale NONE

Drawn By JPM

Approved By GRC

Drawing No.

C-4



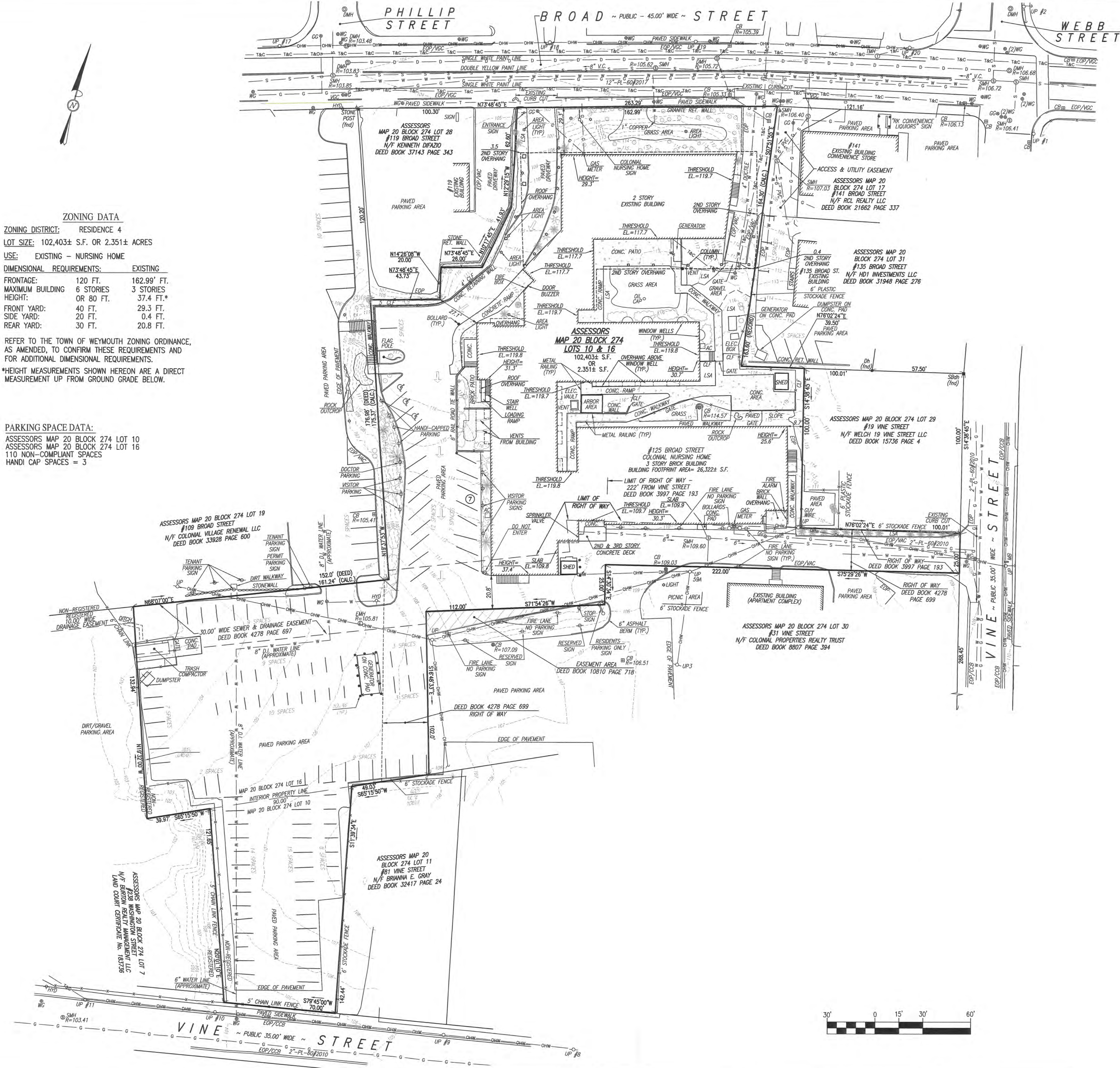
RECORD OWNER:
125 BROAD STREET
ASSESSORS MAP 20 BLOCK 274 LOT 16
87 VINE STREET
ASSESSORS MAP 20 BLOCK 274 LOT 10
SRH BROAD LLC
1215 CHESTNUT STREET
NEWTON, MA 02464
DEED BOOK 38956 PAGE 299

- PLAN REFERENCES:
1. PLAN No. 307 OF 1955 BOOK 3351 PAGE 537
 2. PLAN No. 1528 OF 1955 BOOK 3425 PAGE 600
 3. PLAN No. 718 OF 1962 BOOK 3997 PAGE 193
 4. PLAN No. 101 OF 1975 BOOK 5110 PAGE 744
 5. PLAN No. 001 OF 2011 BOOK 608
 6. LAND COURT PLAN 7107B BOOK 39 PAGE 43
 7. LAND COURT PLAN 8461A

- NOTES:
1. PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE NORFOLK COUNTY REGISTRY OF DEEDS AND WEYMOUTH TOWN HALL.
 2. TOPOGRAPHIC AND DETAIL INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ACTUAL ON THE GROUND SURVEY PERFORMED BY CROCKER DESIGN GROUP LLC DURING FEBRUARY OF 2021.
 3. THE SUBJECT SITE IS LOCATED WITHIN THE "RESIDENCE 4" ZONING DISTRICT AS DEPICTED ON THE TOWN OF WEYMOUTH ZONING MAP.
 4. ELEVATIONS SHOWN HEREON REFERENCED TO THE TOWN OF WEYMOUTH VERTICAL DATUM.
 5. UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.

- ENVIRONMENTAL NOTES:
1. SITE IS NOT WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
 2. SITE IS NOT WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE PER NHESP MAP AUGUST 1, 2017 "ESTIMATED HABITATS OF RARE WILDLIFE" FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10)."
 3. SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP AUGUST 1, 2017 "CERTIFIED VERNAL POOLS."
 4. SITE IS NOT WITHIN A PRIORITY HABITAT PER NHESP MAP AUGUST 1, 2017 "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR10).
 5. SITE IS NOT LOCATED WITHIN A STATE APPROVED ZONE II GROUND WATER RECHARGE PROTECTION AREA.
 6. NO WETLAND RESOURCE AREAS WERE OBSERVED DURING THE SURVEY.

FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON FEMA FIRM MAP No. 25021C0229E, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



LEGEND

EXISTING	DESCRIPTION
1' CONTOUR	SPOT ELEVATION
PROPERTY LINE	EDGE OF PAVEMENT
EDGE OF PAVEMENT	EDGE OF GRAVEL
EDGE OF GRAVEL	VERTICAL GRANITE CURB
VGC	SLOPE GRANITE CURB
SGC	CAPE COD BERM
CCB	VERTICAL ASPHALT CURB
VAC	VERTICAL CONCRETE CURB
VCC	FENCE
EXIST. FENCE	GUARDRAIL
EXIST. GUARD RAIL	GAS LINE
GAS LINE	DRAIN LINE
DRAIN LINE	TELECOM
TELECOM	SEWER LINE
SEWER LINE	WATER LINE
WATER LINE	OVERHEAD WIRE
OVERHEAD WIRE	TELEPHONE & COMMUNICATION
TELEPHONE & COMMUNICATION	HYDRANT
HYDRANT	WATER GATE
WATER GATE	ELECTRICAL METER
ELECTRICAL METER	GAS METER
GAS METER	LIGHT
LIGHT	UTILITY POLE
UTILITY POLE	SEWER MANHOLE
SEWER MANHOLE	UNDERTIED MANHOLE
UNDERTIED MANHOLE	TELEPHONE MANHOLE
TELEPHONE MANHOLE	ELECTRICAL MANHOLE
ELECTRICAL MANHOLE	DRAIN MANHOLE
DRAIN MANHOLE	CATCH BASIN
CATCH BASIN	LANDSCAPING

Date	Description	No.
Revisions		

SHANE M. BRENNER
PROFESSIONAL LAND SURVEYOR, MA REGISTRATION #45917

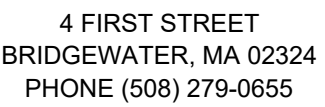
Crocker Design Group
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

Project
125 BROAD STREET
MAP 20 BLOCK 274 LOT 16
87 VINE STREET
MAP 20 BLOCK 274 LOT 10

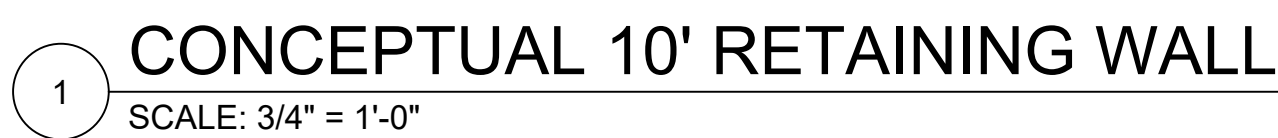
Prepared for
SRH BROAD LLC
1215 CHESTNUT STREET
NEWTON, MA 02464

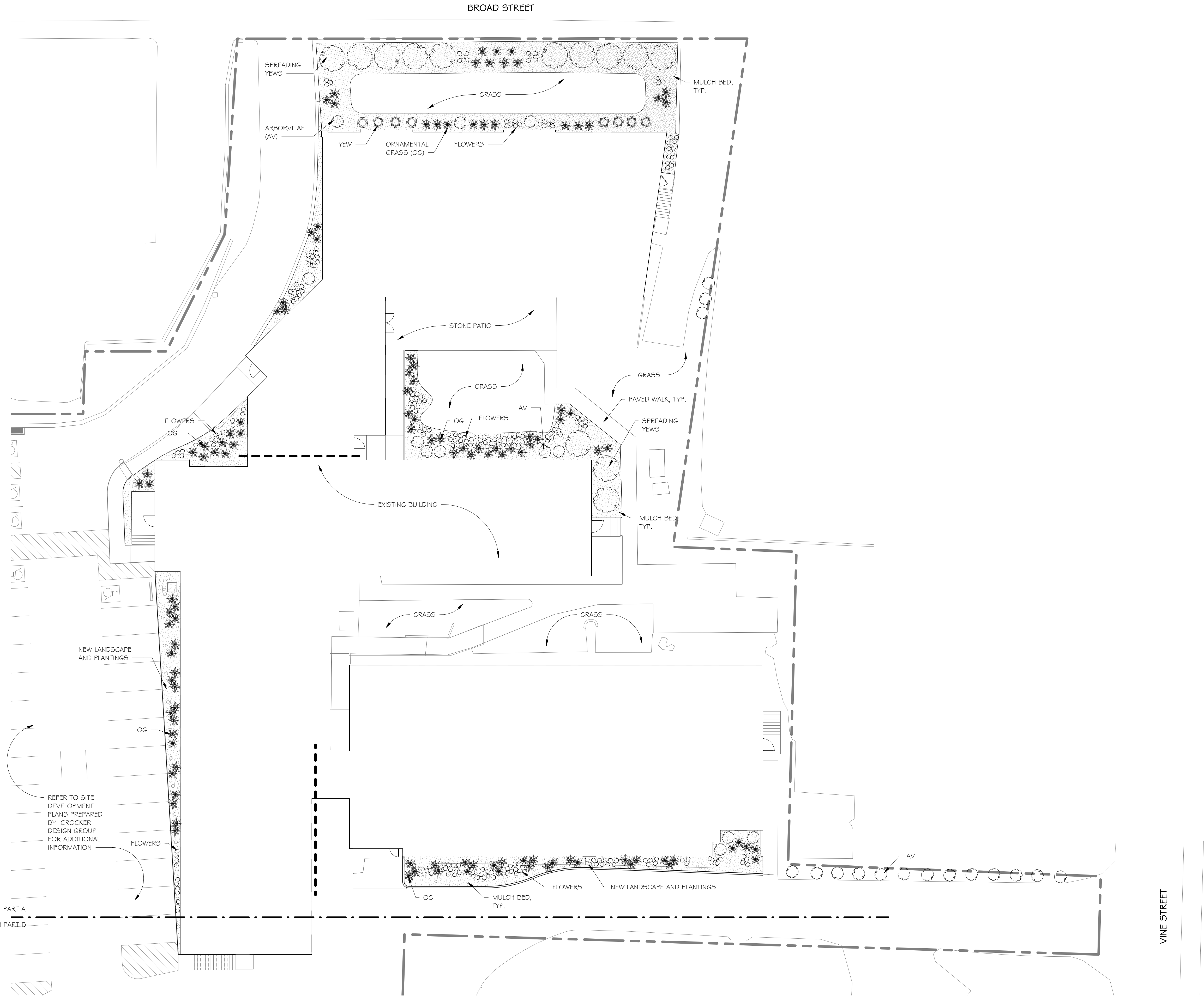
Drawing Title
EXISTING CONDITIONS PLAN

Project No.	100-106	Drawing No.	1 OF 1
Date	6-9-2021		
Scale	1"=30'		
Drawn By	SMB		
Approved By	SMB		



PROJECT	SCHEMATIC RETAINING WALL DESIGN SKETCH 125 BROAD STREET WEYMOUTH, MA 02188
OWNER	SAWYER REALTY HOLDINGS LLC 1215 CHESTNUT STREET NEWTON, MA 02464

1 OF 1



1 LANDSCAPING PLAN
1/16" = 1'-0"

