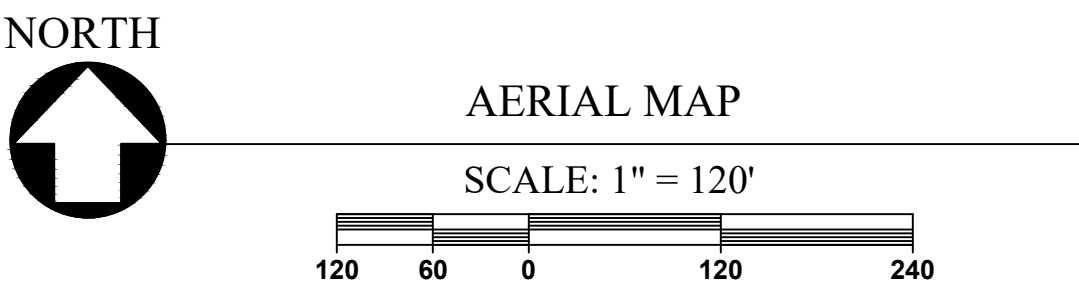
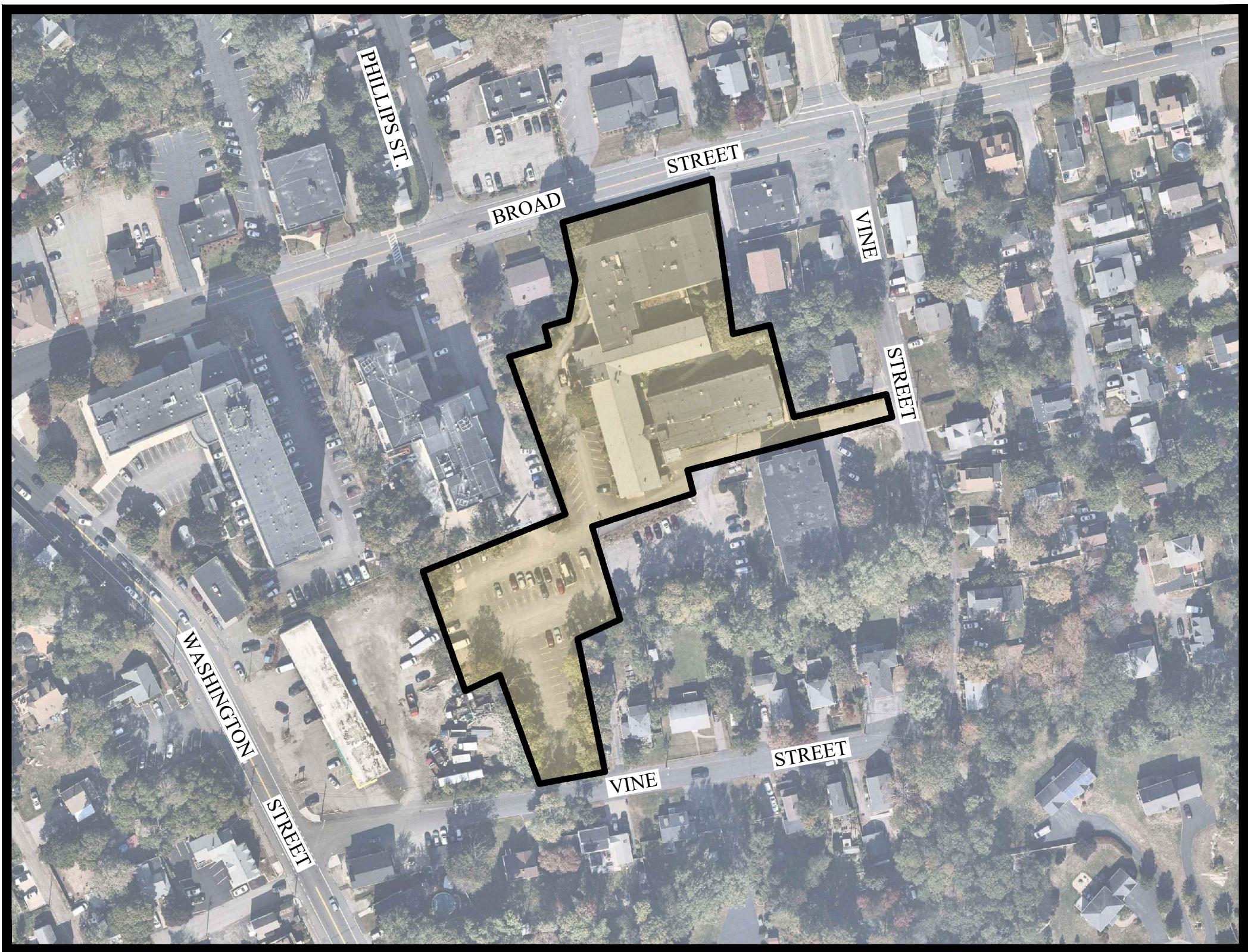
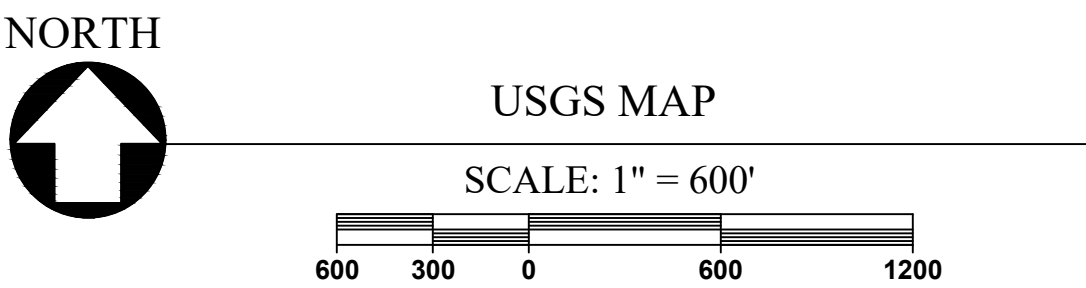
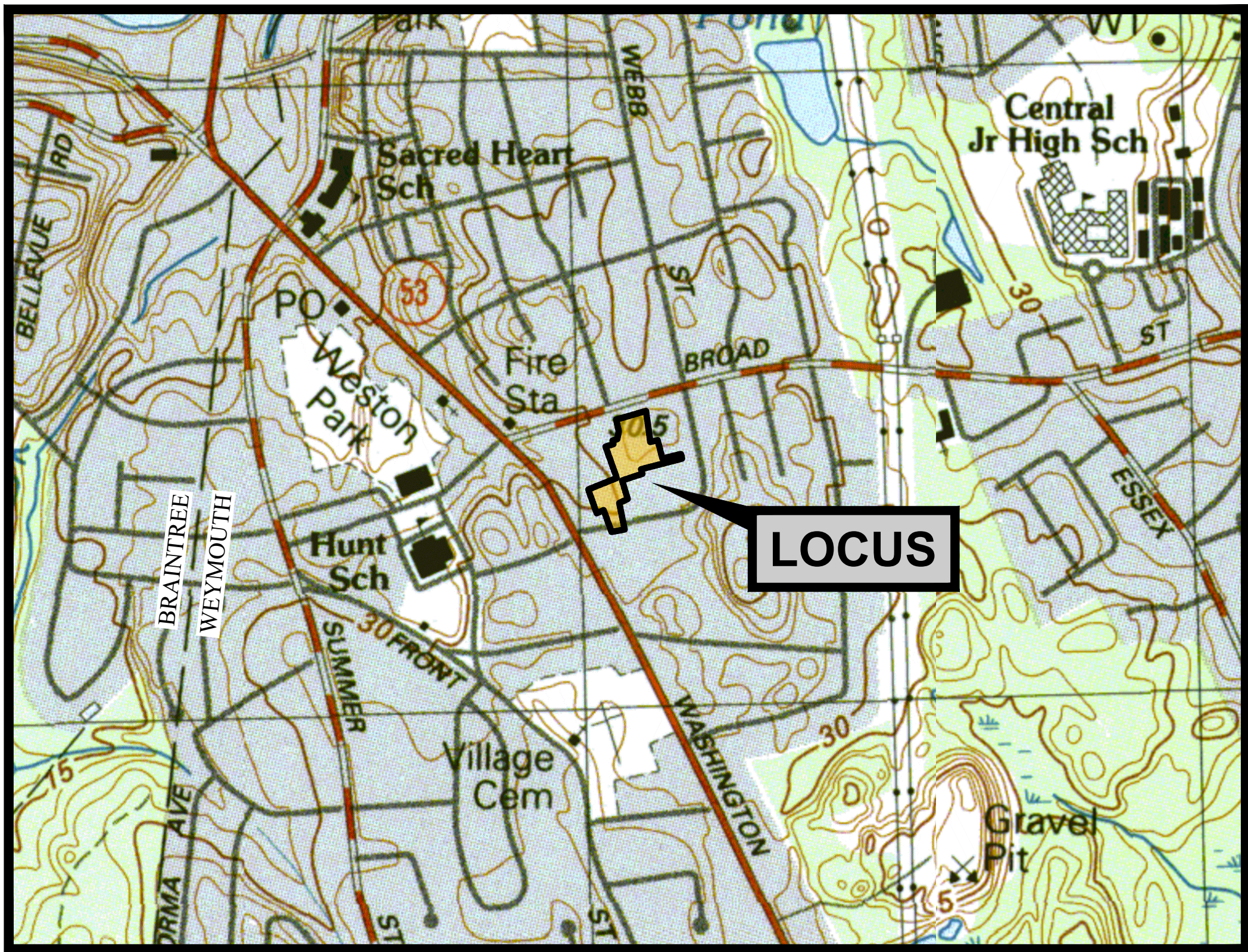


SITE PLAN APPLICATION

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR SAWYER REALTY HOLDINGS, LLC

125 BROAD STREET
WEYMOUTH, MA 02188
MAP 274 LOT 16

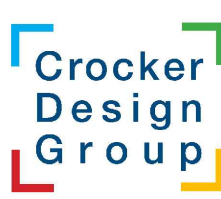


OWNER / APPLICANT:



SAWYER REALTY HOLDINGS, LLC
1215 CHESTNUT STREET
NEWTON, MA 02464
PHONE: (781) 449-6650

SURVEYOR / ENGINEER / PERMITTING:



CROCKER DESIGN GROUP, LLC
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
PHONE: (781) 919-0808

STRUCTURAL ENGINEER



VITAL STRUCTURES, LLC
4 FIRST STREET
BRIDGEWATER, MA 02324
PHONE: (508) 279-0655

DRAWING INDEX:

- C-0 COVER SHEET
- C-1 DEMOLITION - EROSION CONTROL PLAN
- C-2 SITE PLAN
- C-3 GRADING & DRAINAGE PLAN
- C-4 DETAIL SHEET
- L-1 LANDSCAPING PLAN
- L-2 LANDSCAPING PLAN

SUPPLEMENTAL PLANS:

- CROCKER DESIGN GROUP
- EXISTING CONDITIONS PLAN (SHEET 1 OF 1)
- C-5 FIRE TRUCK TURNING EXHIBIT
- C-6 FIRE TRUCK TURNING EXHIBIT
- VITAL STRUCTURES, LLC
- SK-01 CONCEPTUAL RETAINING WALL DESIGN

ARCHITECT / PLANNER:



DISA ARCHITECTURE PC
175 PARAMOUNT DRIVE, SUITE 202
RAYNHAM, MA 02767
PHONE: (508) 697-8200

TRANSPORTATION ENGINEER / PLANNER:

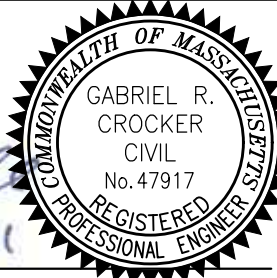
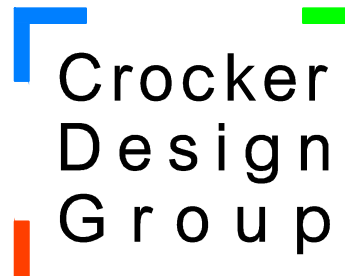


VANASSE & ASSOCIATES, INC
35 NEW ENGLAND BUSINESS DRIVE CENTER, SUITE 140
ANDOVER, MA 01810
PHONE: (978) 474-8800

PERMITTING ATTORNEY:



DROHAN TOCCHIO & MORGAN PC
175 DERBY ST., SUITE 30
HINGHAM, MA 02043
781-749-7200

08/10/21	Revise Driveway Access	2
08/06/21	Engineering Comments	1
Date	Description	No.
Revisions		
		
GABRIEL R. CROCKER PROFESSIONAL ENGINEER, MA REGISTRATION #47917		
 2 SHARP STREET, UNIT B HINGHAM, MA 02043 P: 781-919-0808		
Project MULTIFAMILY RESIDENTIAL DEVELOPMENT 126 BROAD STREET WEYMOUTH, MASSACHUSETTS		
Prepared for SAWYER REALTY HOLDINGS, LLC 1215 CHESTNUT STREET NEWTON, MA 02464		
Drawing Title COVER SHEET		
Project No.	100-126	Drawing No.
Date	06/08/2021	C-0
Scale	AS NOTED	
Drawn By	JPM	
Approved By	GRC	

PROTECTIONS:

- a. PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, TREES OR VEGETATION.
- b. PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON OWNERS' PROPERTY.
- c. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- d. CONDUCT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH OPERATIONS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY.

2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AND/OR THE APPROPRIATE LOCAL AUTHORITIES.

3. ALL SLOPES, UNLESS OTHERWISE SPECIFIED, SHALL BE LOAMED AND SEEDED FOR STABILIZATION AS SOON AS POSSIBLE TO PREVENT EROSION INTO WETLAND RESOURCE AREAS, ADJUTING PROPERTIES, OR PUBLIC WAYS. EROSION CONTROL BLANKETS ARE REQUIRED FOR ALL 2H:1V SLOPES. SLOPES MAY NOT EXCEED 2H:1V. SEE "SEEDING" NOTE 3.

4. ANY DEVIATIONS, I.E. "FIELD CHANGES" FROM THE DESIGN PLAN(S) MUST BE APPROVED BY THE DESIGN ENGINEER IN WRITING. CONTRACTOR SHALL BE AWARE THAT LOCAL AND STATE AUTHORITIES HAVE JURISDICTION AND APPROVALS MUST BE OBTAINED FROM THE APPROPRIATE AUTHORITY PRIOR TO THE IMPLEMENTATION OF THE "FIELD CHANGE." CROCKER DESIGN GROUP LLC CANNOT BE LIABLE OR RESPONSIBILITY FOR WORK ASSOCIATED WITH FIELD CHANGES COMPLETED WITHOUT REGARD TO THE "FIELD CHANGE" PROCEDURE.

5. RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.

6. *** DIG SAFE NOTE *** IN ACCORDANCE WITH MGL CH. 82, SEC. 40 INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE, BLAST, OR PERFORM HIGH BORE, OR PERFORM OTHER EARTH MOVING OPERATIONS NO LESS THAN 72 HOURS AND NO MORE THAN 30 DAYS PRIOR TO THE COMMENCEMENT OF SUCH WORK (EXCEPT FOR SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS) OR CALL "DIG SAFE" AT 1-888-DIG-SAFE.

7. LOCATION OF UNDERGROUND UTILITIES ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPILATIONS. EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. EXCAVATIONS TO BE PERFORMED BY CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.

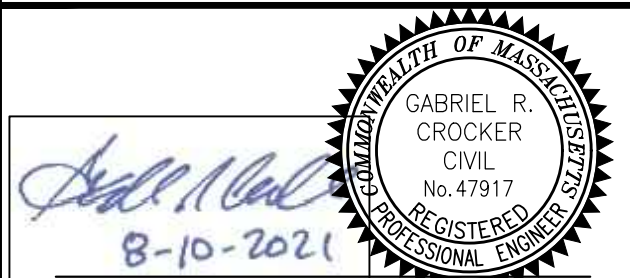
8. USE OF EXPLOSIVES:

- a. COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF FEDERAL, STATE, AND LOCAL AUTHORITIES AND INSURERS WHICH GOVERN STORAGE, USE, MANUFACTURE, SALE, HANDLING, TRANSPORTATION, LICENSING, OR OTHER DISPOSITION OF EXPLOSIVES. UTILIZE SAFETY PRECAUTIONS FOR PROPER USE OF EXPLOSIVES TO PREVENT HARM TO HUMAN LIFE AND DAMAGE TO SURFACE STRUCTURES, ALL UTILITY LINES OR OTHER SURFACE STRUCTURES. EXCAVATIONS TO BE PERFORMED BY CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.
- b. BLASTING OF ANY ROCK SHALL REQUIRE APPROPRIATE APPROVALS FROM THE LOCAL FIRE DEPARTMENT, PLANNING BOARD, BUILDING INSPECTOR AND OTHER PERTINENT AGENCIES, AND THE COMMENCEMENT OF ANY BLASTING OPERATIONS TO REMOVE OR OTHER EXCESS MATERIALS MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT THE EXPENSE OF THE CONTRACTOR.

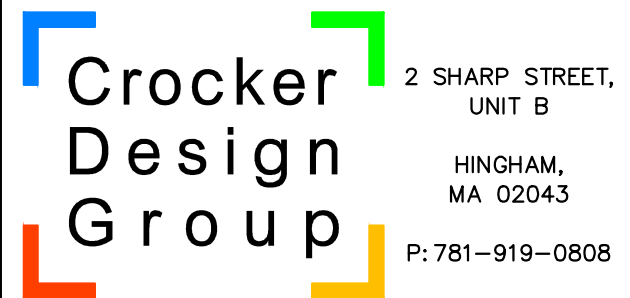
9. ADDITIONAL BENCHMARKS TO BE SET BY CONTRACTOR PRIOR TO CONSTRUCTION TO ENSURE QUALITY WORKMANSHIP.



08/10/21	Revise Driveway Access	2
08/06/21	Engineering Comments	1
Date	Description	No.
Revisions		



GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917



Project

**MULTIFAMILY RESIDENTIAL
DEVELOPMENT**

126 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for

**SAWYER REALTY
HOLDINGS, LLC**

1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title

**DEMOLITION -
SEDIMENT
CONTROL PLAN**

Project No.	100-126	Drawing No. <div style="font-size: 48pt; text-align: center;">C-1</div>
Date	06/08/2021	
Scale	1" = 30'	
Drawn By	JPM	
Approved By	GRC	

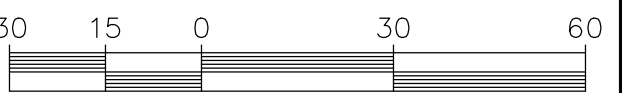
ZONING DISTRICT: RESIDENTIAL 4 (R-4) & RESIDENTIAL 1 (R-1) *			
OVERLAY DISTRICT: NONE			
ZONE R-4 REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (SF)	15,000 SF	102,403± SF (2,351± AC)	102,403± SF (2,351± AC)
MAXIMUM F.A.R. (FOR MULTIFAMILY)	0.30	N/A	0.54 (55,000 S.F.)
MINIMUM LOT WIDTH (FT)	120'	162.99'	162.99'
MINIMUM FRONT YARD (FT)	40' ¹	29.3'	29.3'
MINIMUM SIDE YARD (FT)	20' ²	0.4'	0.4'
MINIMUM REAR YARD (FT)	30' ³	19.6'	19.6'
MINIMUM LANDSCAPE AREA (%)	20%	57%	57%
MAXIMUM HEIGHT (FT)	80' / 6 STORIES	37.4' / 3 STORIES	37.4' / 3 STORIES

- * NO BUILDING OR STRUCTURE IS LOCATED WITHIN THE R-1 DISTRICT

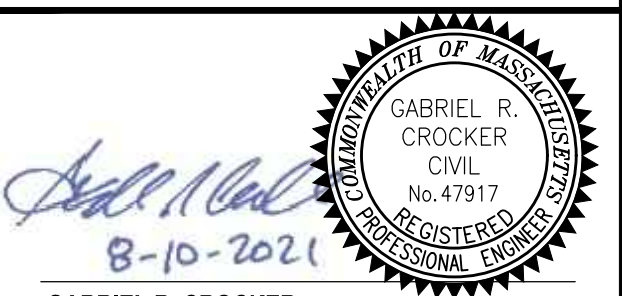
REQUIREMENT	EXISTING	PROPOSED
NUMBER OF PARKING SPACES	TOTAL SPACE EXISTING = 103 SPACES	TOTAL SPACE PROPOSED = 122 SPACES
PARKING AISLE WIDTH (90°) - 23' WIDE	VARIES (≥ 23' WIDE)	23' WIDE
PARKING SPACE - 9' WIDE x 18' LONG	VARIES	9' WIDE x 18' LONG

[illegible]

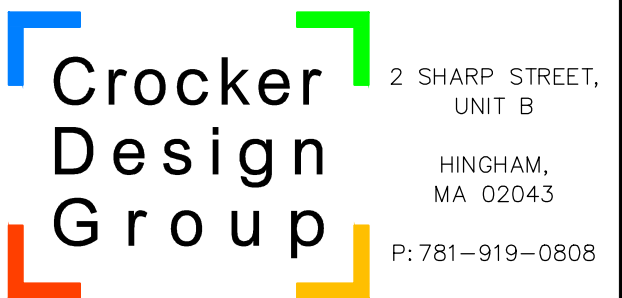
1. THIS PLAN REFERENCES A SURVEY PLAN PREPARED BY CROCKER DESIGN GROUP IN FEBRUARY 2021.
2. ACCESSIBLE CURB RAMP SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES.
3. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - * DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
 - * DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
 - * ALL TIES TO PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
4. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
5. CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE FOR RESOLUTION.
6. THE CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.
7. ALL CONCRETE WORK SHALL COMPLY WITH ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE" AND ACI 318R, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSIS' MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 308.1 FOR COLD-WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 308R FOR HOT WEATHER PROTECTION DURING CURE. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."
8. BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE 1+1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 400 THROUGH 400.02 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS. THE GENERAL CONTRACTOR SHALL COORDINATE AND ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.
9. SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.



08/10/21	Revise Driveway Access	2
08/06/21	Engineering Comments	1
Date	Description	No.
Revisions		



GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917



Project

**MULTIFAMILY RESIDENTIAL
DEVELOPMENT**

126 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for

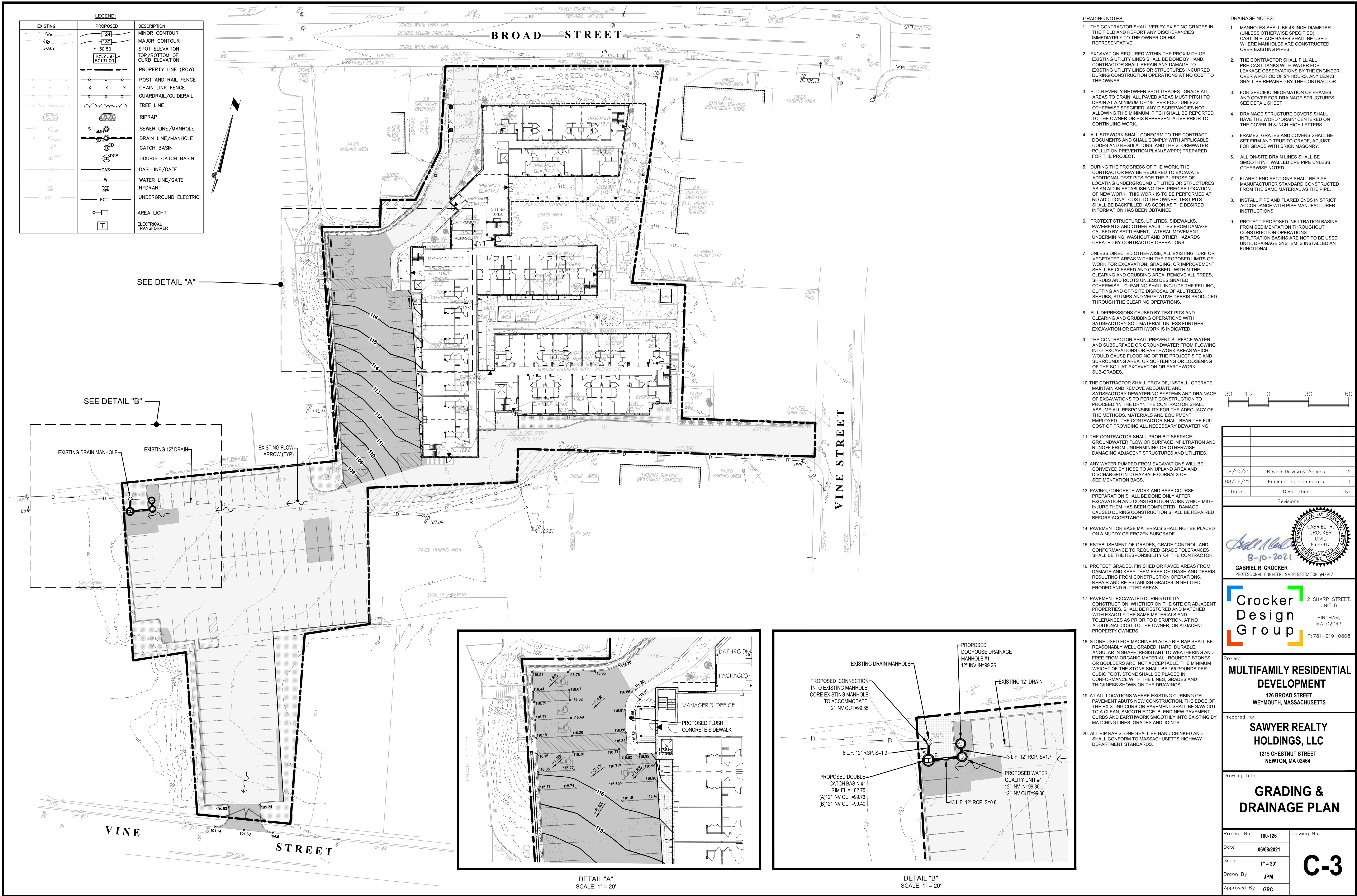
**SAWYER REALTY
HOLDINGS, LLC**

**1215 CHESTNUT STREET
NEWTON, MA 02464**

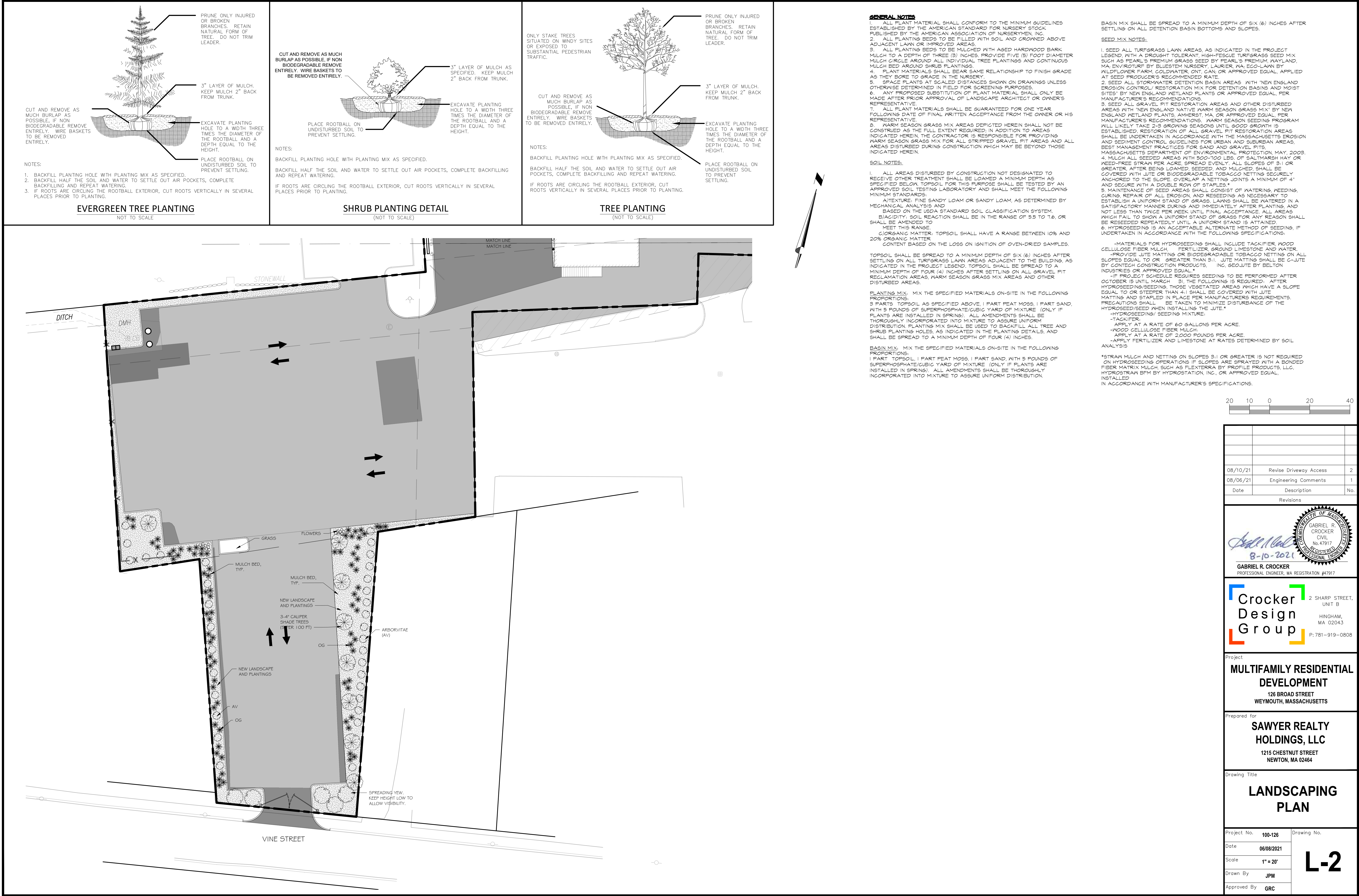
LAYOUT AND MATERIAL PLAN

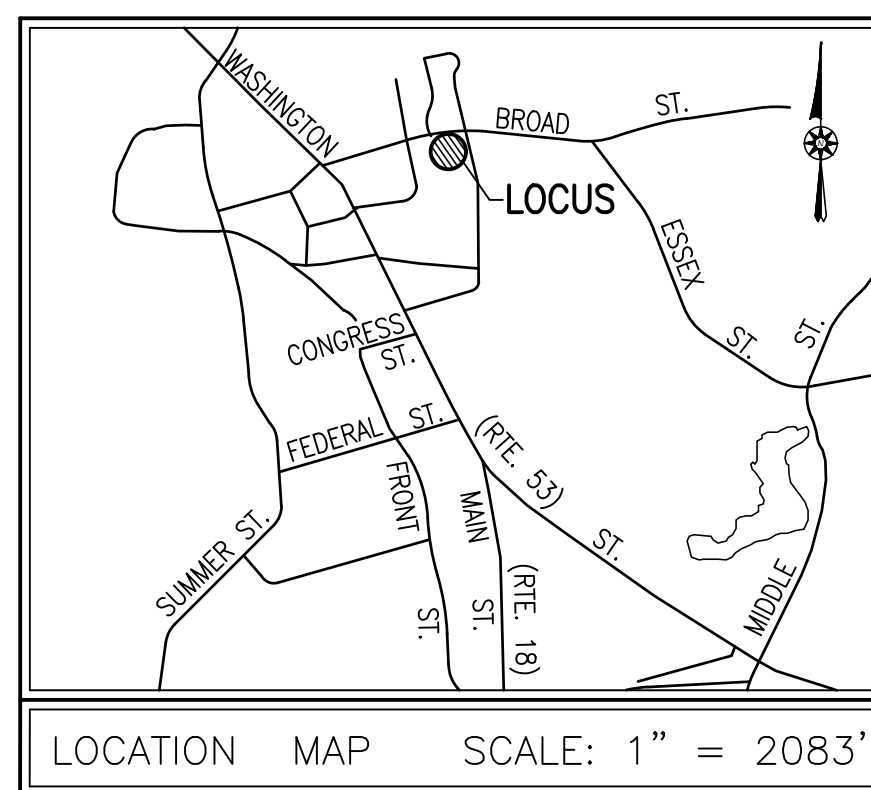
Project No.	100-126	Drawing No. <div style="font-size: 48pt; text-align: center;">C-2</div>
Date	06/08/2021	
Scale	1" = 30'	
Drawn By	JPM	
Approved By	GRC	

C-2



Project No.	100-126	Drawing No.
Date	06/08/2021	
Scale	1" = 20'	
Drawn By	JPM	
Approved By	GRC	





RECORD OWNER:
125 BROAD STREET
ASSESSORS MAP 20 BLOCK 274 LOT 16
87 VINE STREET
ASSESSORS MAP 20 BLOCK 274 LOT 10
SRH BROAD LLC
1215 CHESTNUT STREET
NEWTON, MA 02464
DEED BOOK 38956 PAGE 299

PLAN REFERENCES:

1. PLAN No. 307 OF 1955 BOOK 3351 PAGE 537
2. PLAN No. 1528 OF 1955 BOOK 3425 PAGE 600
3. PLAN No. 718 OF 1962 BOOK 3997 PAGE 193
4. PLAN No. 101 OF 1975 BOOK 5110 PAGE 744
5. PLAN No. 001 OF 2011 BOOK 608
6. LAND COURT PLAN 7107B BOOK 39 PAGE 43
7. LAND COURT PLAN 8461A

NOTES:

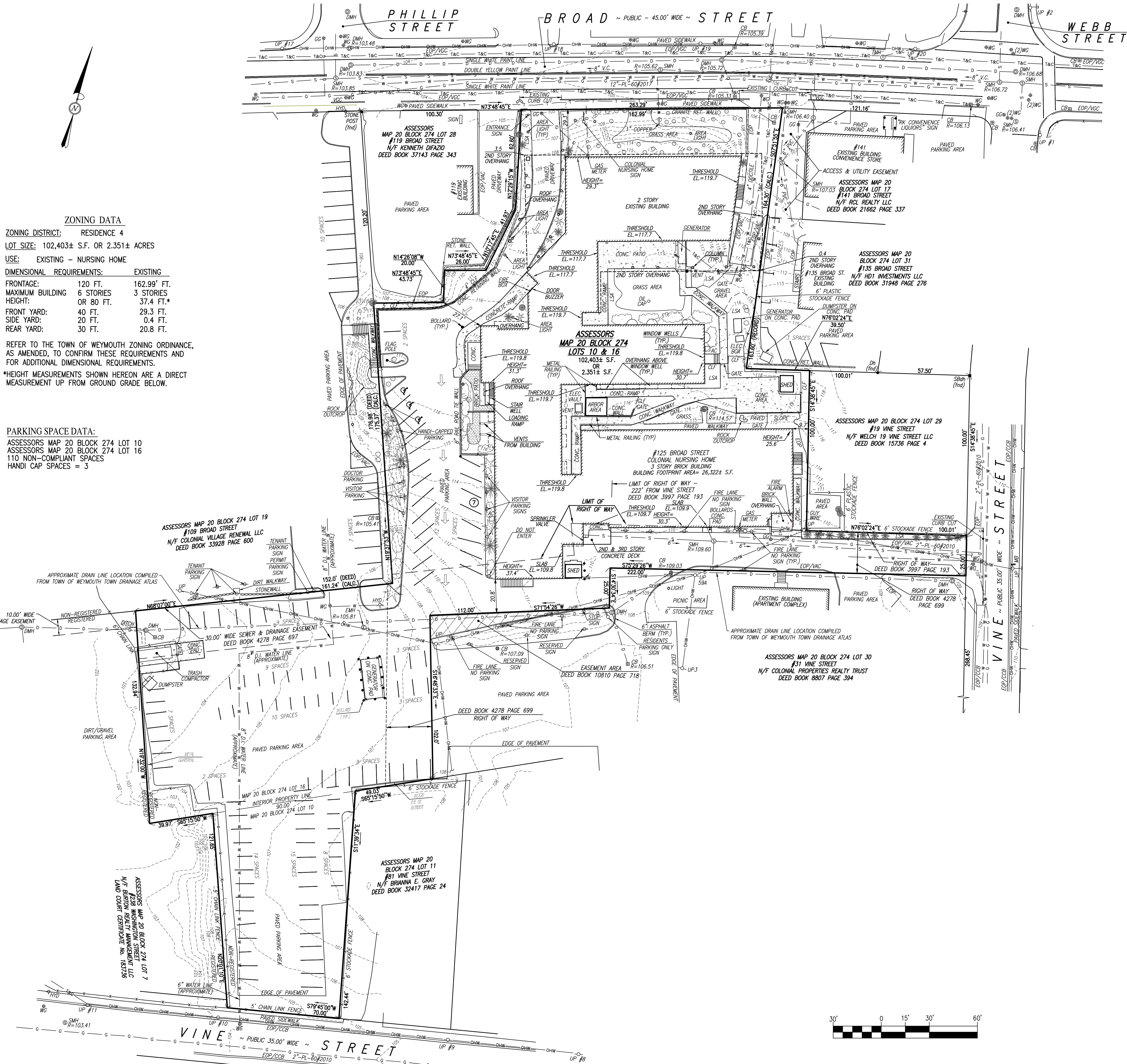
1. PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE NORFOLK COUNTY REGISTRY OF DEEDS AND WEYMOUTH TOWN HALL.
2. TOPOGRAPHIC AND DETAIL INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ACTUAL ON THE GROUND SURVEY PERFORMED BY CROCKER DESIGN GROUP LLC DURING FEBRUARY OF 2021.
3. THE SUBJECT SITE IS LOCATED WITHIN THE "RESIDENCE 4" ZONING DISTRICT AS DEPICTED ON THE TOWN OF WEYMOUTH ZONING MAP.
4. ELEVATIONS SHOWN HEREON REFERENCED TO THE TOWN OF WEYMOUTH VERTICAL DATUM.
5. UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.

ENVIRONMENTAL NOTES:

1. SITE IS NOT WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
2. SITE IS NOT WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE PER NHESP MAP AUGUST 1, 2017 "ESTIMATED HABITATS OF RARE WILDLIFE" FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10.).
3. SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP AUGUST 1, 2017 "CERTIFIED VERNAL POOLS."
4. SITE IS NOT WITHIN A PRIORITY HABITAT PER NHESP MAP AUGUST 1, 2017 "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR10).
5. SITE IS NOT LOCATED WITHIN A STATE APPROVED ZONE II GROUND WATER RECHARGE PROTECTION AREA.
6. NO WETLAND RESOURCE AREAS WERE OBSERVED DURING THE SURVEY.

FLOOD NOTE:

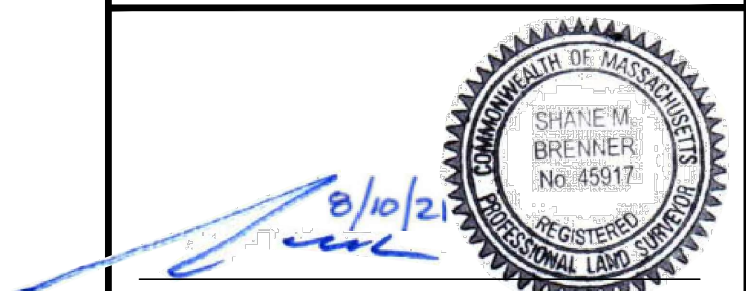
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X"
OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON FEMA FIRM MAP
No. 25021C0229E, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012,
AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



LEGEND

EXISTING	DESCRIPTION
-----30-----	1' CONTOUR
=====	SPOT ELEVATION
=====	PROPERTY LINE
=====	EDGE OF PAVEMENT
=====	EDGE OF GRAVEL
=====	EDGE OF GRAVEL
=====	VERTICAL GRANITE CURB
=====	SLOPE GRANITE CURB
=====	CAPE COD BERM
=====	VERTICAL ASPHALT CURB
=====	VERTICAL CONCRETE CURB
=====	FENCE
=====	GUARDRAIL
=====	GAS LINE
=====	DRAIN LINE
=====	TELECOM
=====	SEWER LINE
=====	WATER LINE
=====	OVERHEAD WIRE
=====	TELE. & CABLE
=====	HYD
=====	HC
=====	CM
=====	UP
=====	SMH
=====	MH
=====	TMH
=====	EMH
=====	DMH
=====	CB
=====	LANDSCAPING

8/10/21	EXISTING DRAINAGE UPDATES	1.
Date	Description	No.
Revisions		



SHANE M. BRENNER
PROFESSIONAL LAND SURVEYOR, MA REGISTRATION #45917

Crocker
Design
Group

2 SHARP STREET,
UNIT B
HINGHAM,
MA 02043
P: 781-919-0808

Project

125 BROAD STREET
MAP 20 BLOCK 274 LOT 16

87 VINE STREET
MAP 20 BLOCK 274 LOT 10

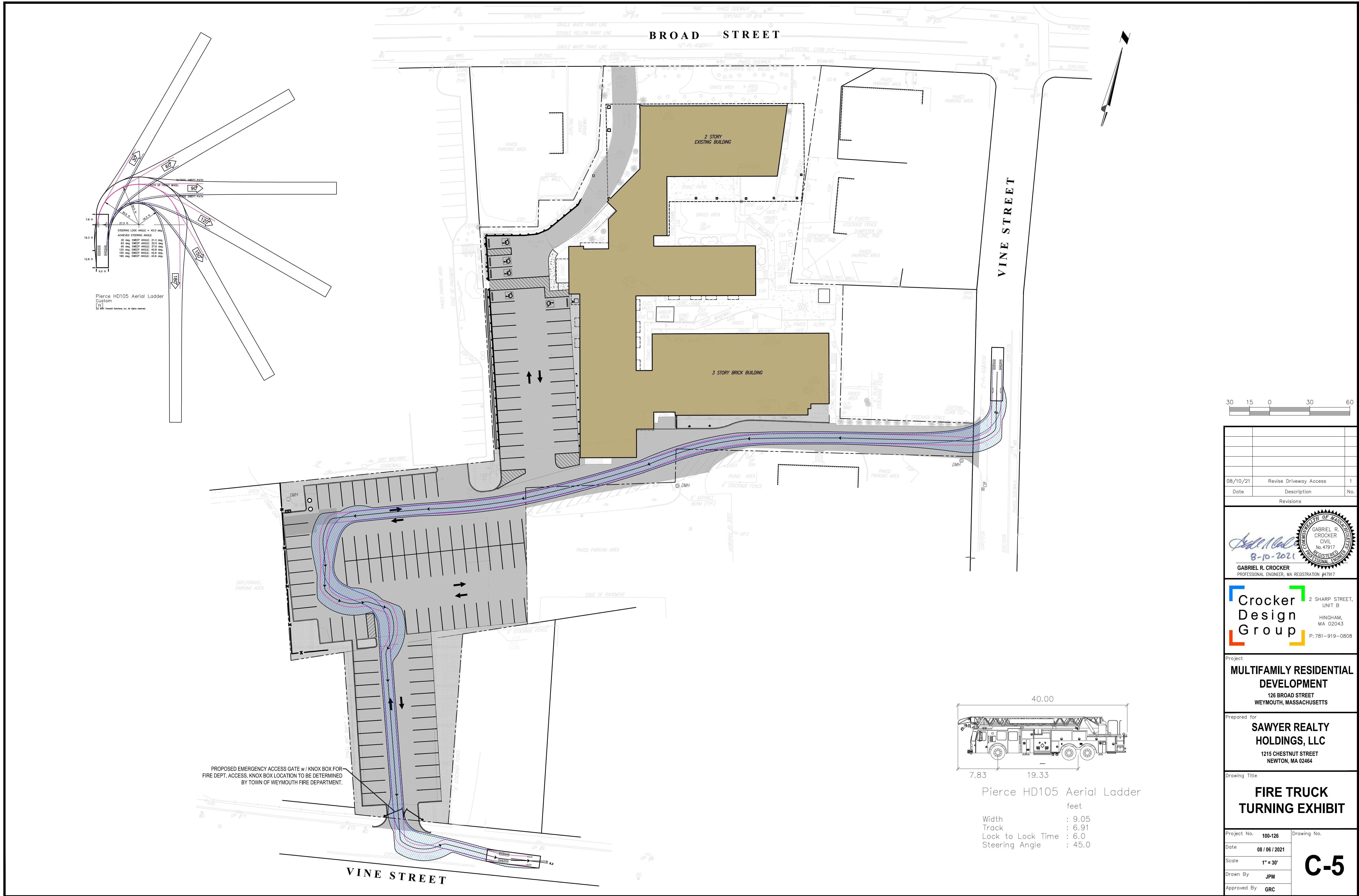
Prepared for

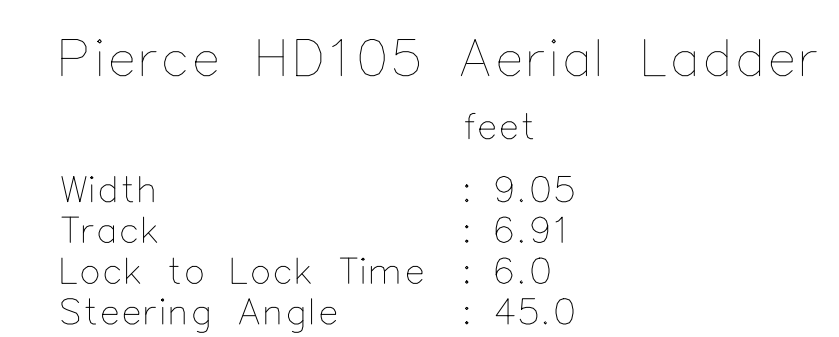
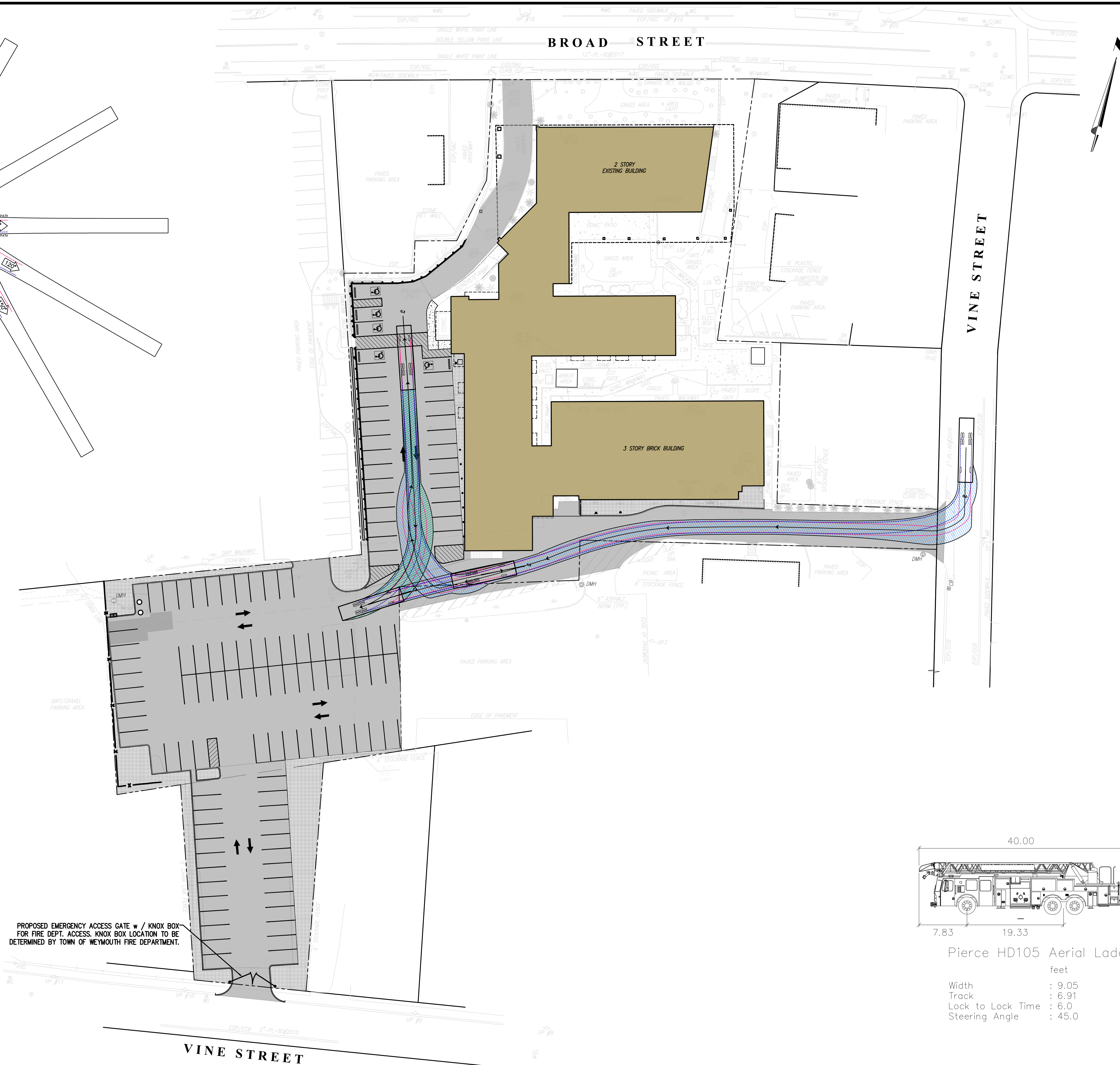
*SRH BROAD LLC
1215 CHESTNUT STREET
NEWTON, MA 02464*

Drawing Title

EXISTING CONDITIONS PLAN

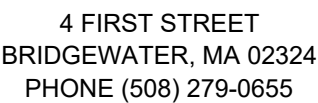
Project No.	100-106	Drawing No.
Date	6-3-2021	
Scale	1"=30'	
Drawn By	SMB	
Approved By	SMB	



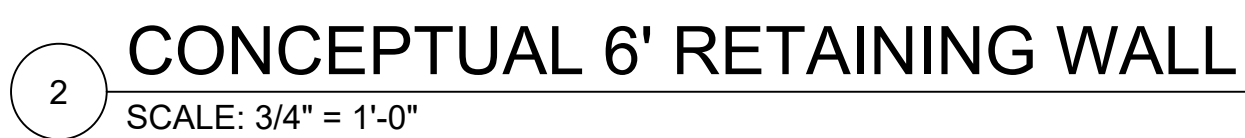
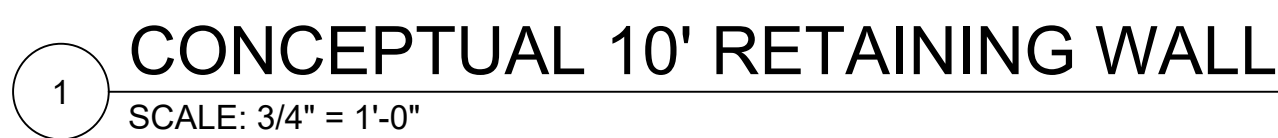


Project No.	100-126	Drawing No. C-6
Date	08 / 06 / 2021	
Scale	1" = 30'	
Drawn By	JPM	
Approved By	GRC	

C-6



CONCEPTUAL
ONLY:
NOT FOR
CONSTRUCTION

1 OF 1