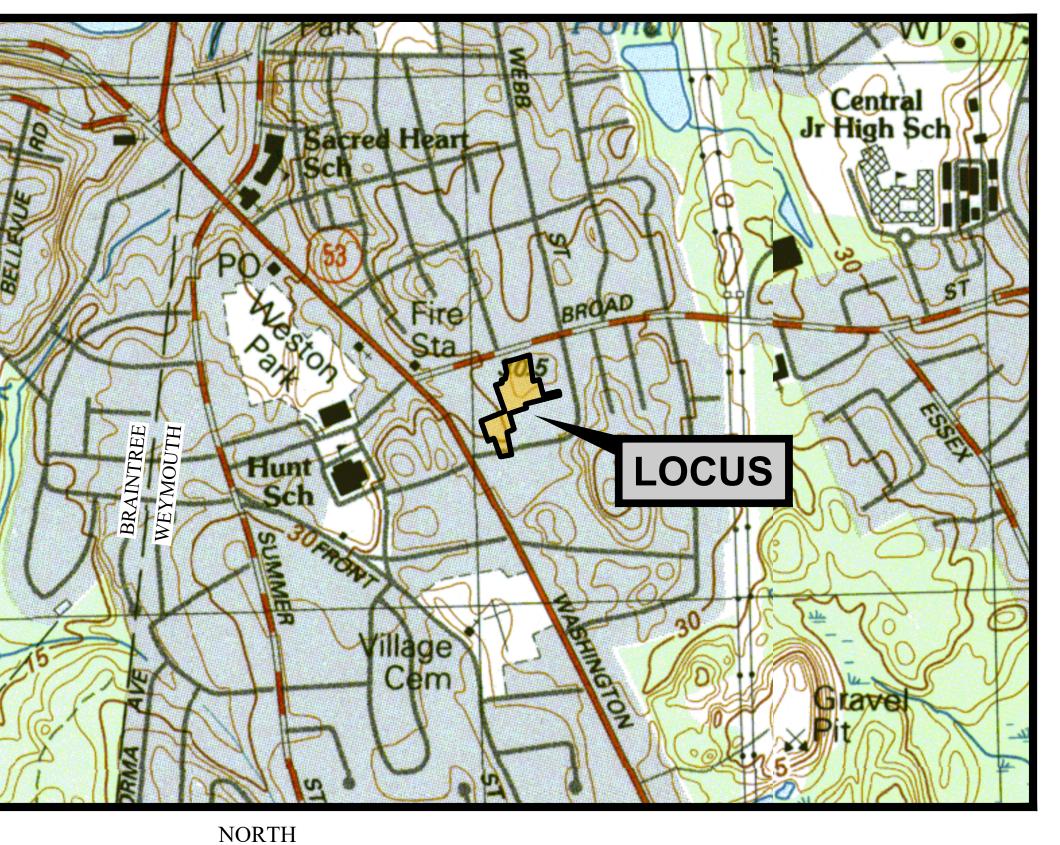
SITE PLAN APPLICATION

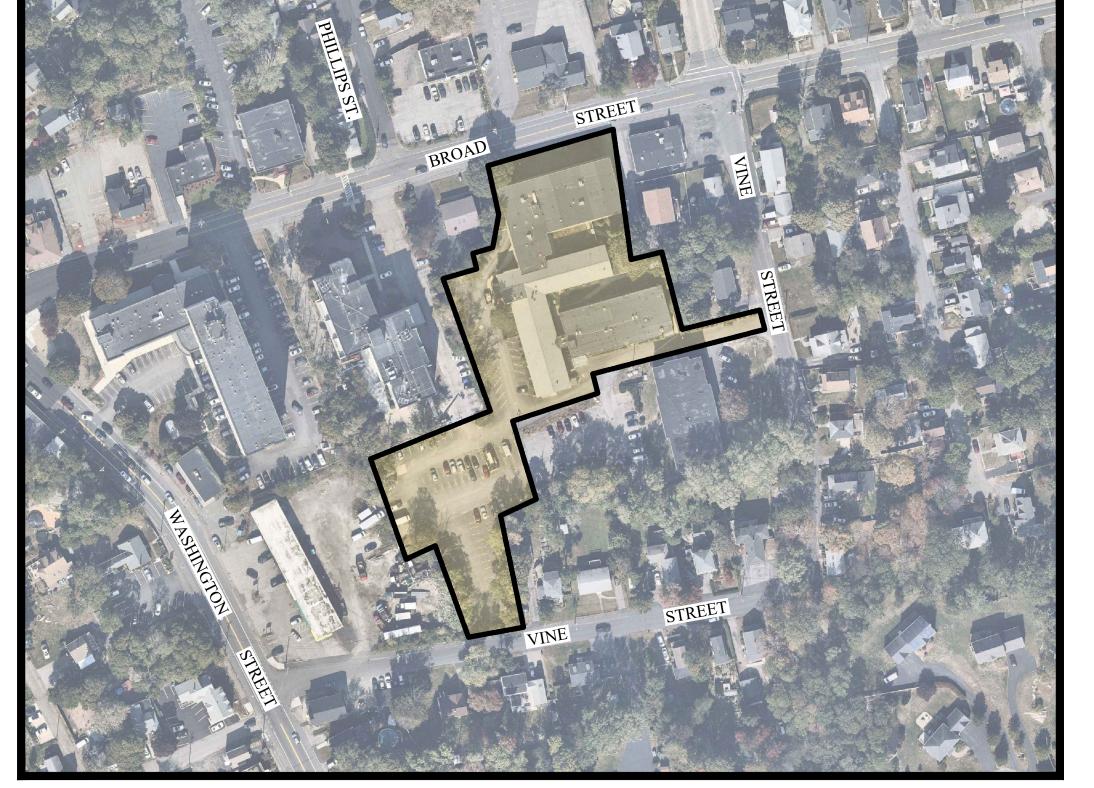
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

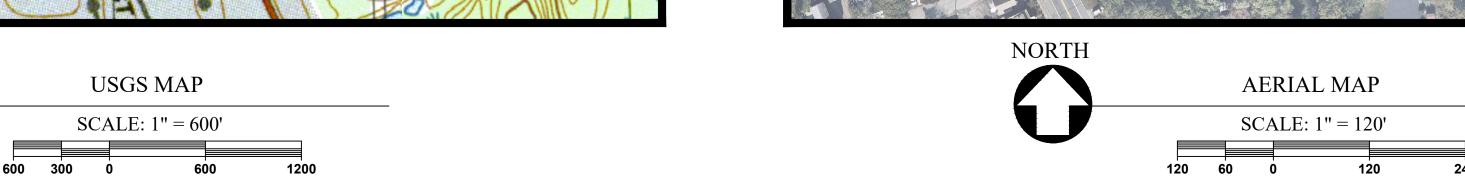
FOR

SAWYER REALTY HOLDINGS, LLC

125 BROAD STREET WEYMOUTH, MA 02188 MAP 274 LOT 16







OWNER / APPLICANT:



SAWYER REALTY HOLDINGS, LLC 1215 CHESTNUT STREET NEWTON, MA 02464 PHONE: (781) 449-6650

ARCHITECT / PLANNER:



DJSA ARCHITECTURE PC 175 PARAMOUNT DRIVE, SUITE 202 RAYNHAM, MA 02767 PHONE: (508) 697-8200

SURVEYOR / ENGINEER / PERMITTING:



CROCKER DESIGN GROUP, LLC 2 SHARP STREET, UNIT B HINGHAM, MA 02043 PHONE: (781) 919-0808

TRANSPORTATION ENGINEER / PLANNER:



VANASSE & ASSOCIATES, INC 35 NEW ENGLAND BUSINESS DRIVE CENTER, SUITE 140 ANDOVER, MA 01810 PHONE: (978) 474-8800

STRUCTURAL ENGINEER



VITAL STRUCTURES, LLC 4 FIRST STREET BRIDGEWATER, MA 02324 PHONE: (508) 279-0655

PERMITTING ATTORNEY:



DROHAN TOCCHIO & MORGAN PC 175 DERBY ST., SUITE 30 HINGHAM, MA 02043 781-749-7200

DRAWING INDEX:

C-0 COVER SHEET

C-1 DEMOLITION - EROSION CONTROL PLAN

C-2 SITE PLAN

C-3 GRADING & DRAINAGE PLAN C-4 DETAIL SHEET

L-1 LANDSCAPING PLAN L-2 LANDSCAPING PLAN

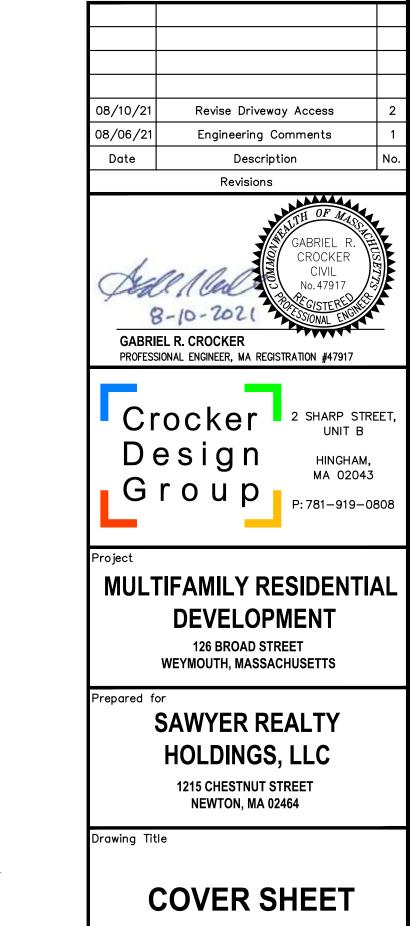
SUPPLEMENTAL PLANS:

CROCKER DESIGN GROUP

EXISTING CONDITIONS PLAN (SHEET 1 OF 1) C-5 FIRE TRUCK TURNING EXHIBIT C-6 FIRE TRUCK TURNING EXHIBIT

VITAL STRUCTURES, LLC

SK-01 CONCEPTUAL RETAINING WALL DESIGN



^oroject No. **100-126**

Approved By GRC

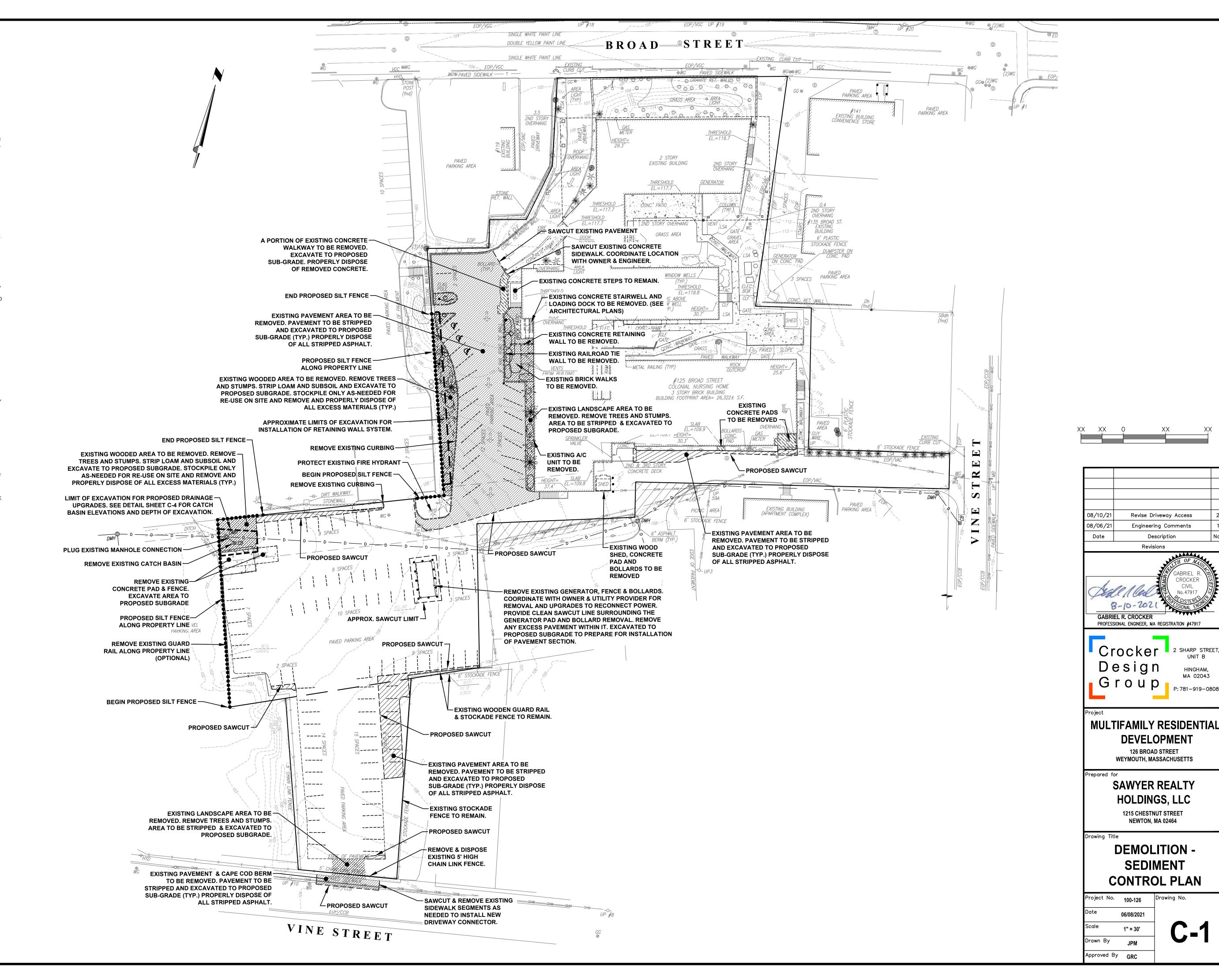
Drawn By

06/08/2021

- a. PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, TREES OR VEGETATION.
- b. PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON
- c. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- d. CONDUCT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH OPERATIONS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEPT ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING
- 2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- 3. ALL SLOPES, UNLESS OTHERWISE SPECIFIED, SHALL BE LOAMED AND SEEDED FOR STABILIZATION AS SOON AS POSSIBLE TO PREVENT EROSION INTO WETLAND RESOURCE AREAS, ABUTTING PROPERTIES, OR PUBLIC WAYS. EROSION CONTROL BLANKETS ARE REQUIRED FOR ALL 2H:1V SLOPES. SLOPES MAY NOT EXCEED 2H:1V. SEE "SEEDING"
- ANY DEVIATIONS, I.E. "FIELD CHANGES" FROM THE DESIGN PLAN(S) MUST BE APPROVED BY THE DESIGN ENGINEER IN WRITING. CONTRACTOR SHOULD BE AWARE THAT LOCAL AND STATE AUTHORITIES HAVE JURISDICTION AND APPROVALS MUST BE OBTAINED FROM THE APPROPRIATE AUTHORITY PRIOR TO THE IMPLEMENTATION OF THE "FIELD CHANGE." CROCKER DESIGN GROUP LLC ASSUMES NO LIABILITY OR RESPONSIBILITY FOR WORK ASSOCIATED WITH FIELD CHANGES COMPLETED WITHOUT REGARD TO THE "FIELD CHANGE" PROCEDURE.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
- 6. .* * * DIG SAFE NOTE * * * IN ACCORDANCE WITH MGL. CH. 82, SEC. 40 INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE, BLAST, DEMOLISH, BORE, OR PERFORM OTHER EARTH MOVING OPERATIONS NO LESS THAN 72 HOURS AND NO MORE THAN 30 DAYS PRIOR TO THE COMMENCEMENT OF SUCH WORK (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS) OR CALL "DIG SAFE" AT 1-888-DIG-SAFE.
- 7. LOCATION OF UNDERGROUND UTILITIES ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPILATIONS. EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. TEST PITS SHALL BE PERFORMED BY CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.

8. USE OF EXPLOSIVES:

- a. COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF FEDERAL, STATE, AND LOCAL AUTHORITIES AND INSURERS WHICH GOVERN STORAGE, USE, MANUFACTURE, SALE, HANDLING, TRANSPORTATION, LICENSING, OR OTHER DISPOSITION OF EXPLOSIVES. UTILIZE SPECIAL PRECAUTIONS FOR PROPER USE OF EXPLOSIVES TO PREVENT HARM TO HUMAN LIFE AND DAMAGE TO SURFACE STRUCTURES, ALL UTILITY LINES OR OTHER SUBSURFACE STRUCTURES. DO NOT CONDUCT BLASTING OPERATIONS UNTIL PERSONS IN VICINITY HAVE HAD AMPLE NOTICE AND HAVE REACHED POSITIONS OF SAFETY.
- b. BLASTING OF ANY ROCK SHALL REQUIRE APPROPRIATE APPROVALS FROM THE LOCAL FIRE DEPARTMENT, PLANNING BOARD, BUILDING INSPECTOR AND OTHER PERTINENT AGENCIES, PRIOR TO COMMENCEMENT OF WORK. ALL BLASTED ROCK OR OTHER EXCESS MATERIALS MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT THE EXPENSE OF THE CONTRACTOR.
- ADDITIONAL BENCHMARKS TO BE SET BY CONTRACTOR PRIOR TO CONSTRUCTION TO ENSURE QUALITY WORKMANSHIP.



Revise Driveway Access

Engineering Comments

Description

2 SHARP STREET

HINGHAM, MA 02043

P: 781-919-0808

Revisions

DEVELOPMENT

126 BROAD STREET WEYMOUTH, MASSACHUSETTS

SAWYER REALTY

HOLDINGS, LLC

1215 CHESTNUT STREET

NEWTON, MA 02464

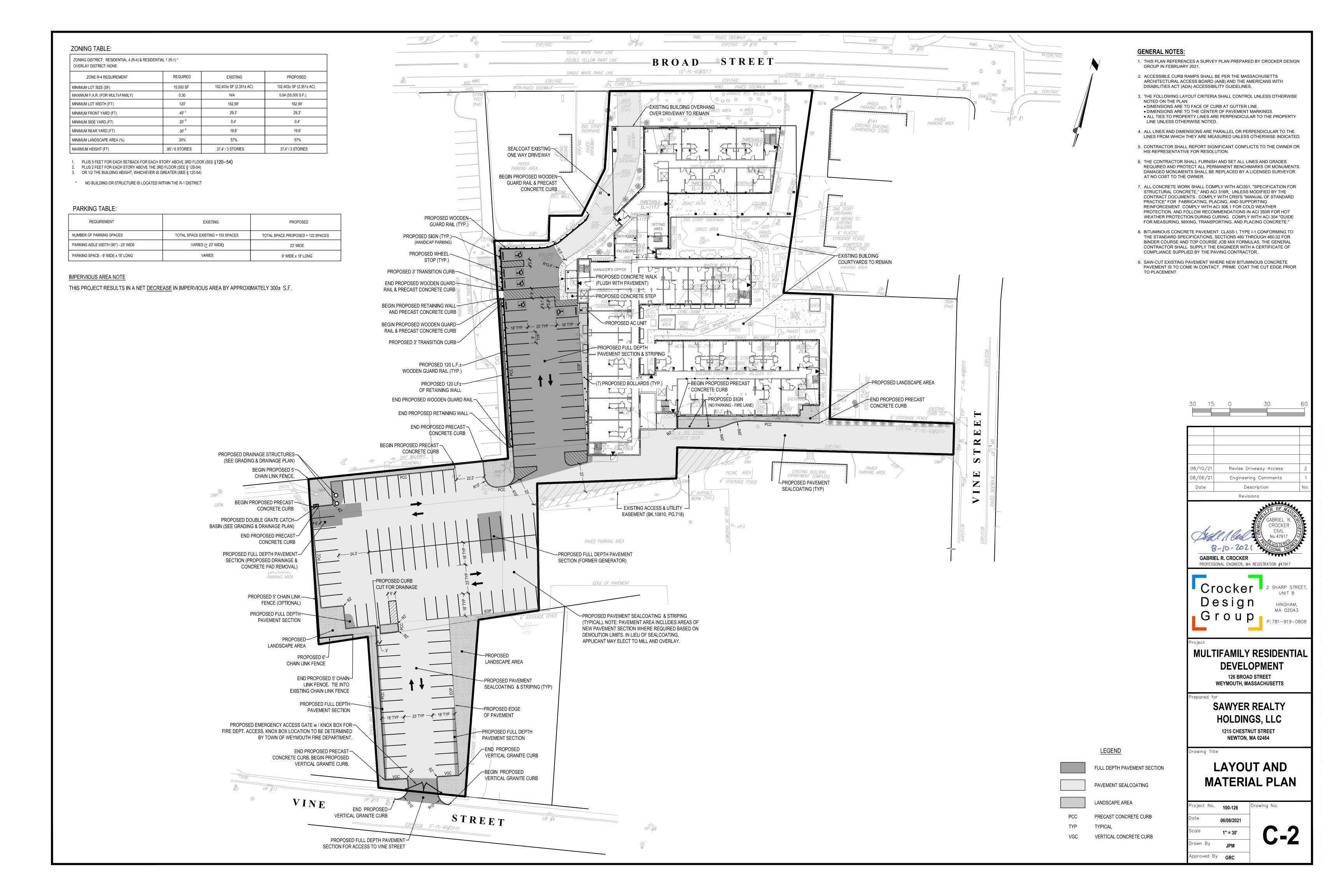
DEMOLITION -

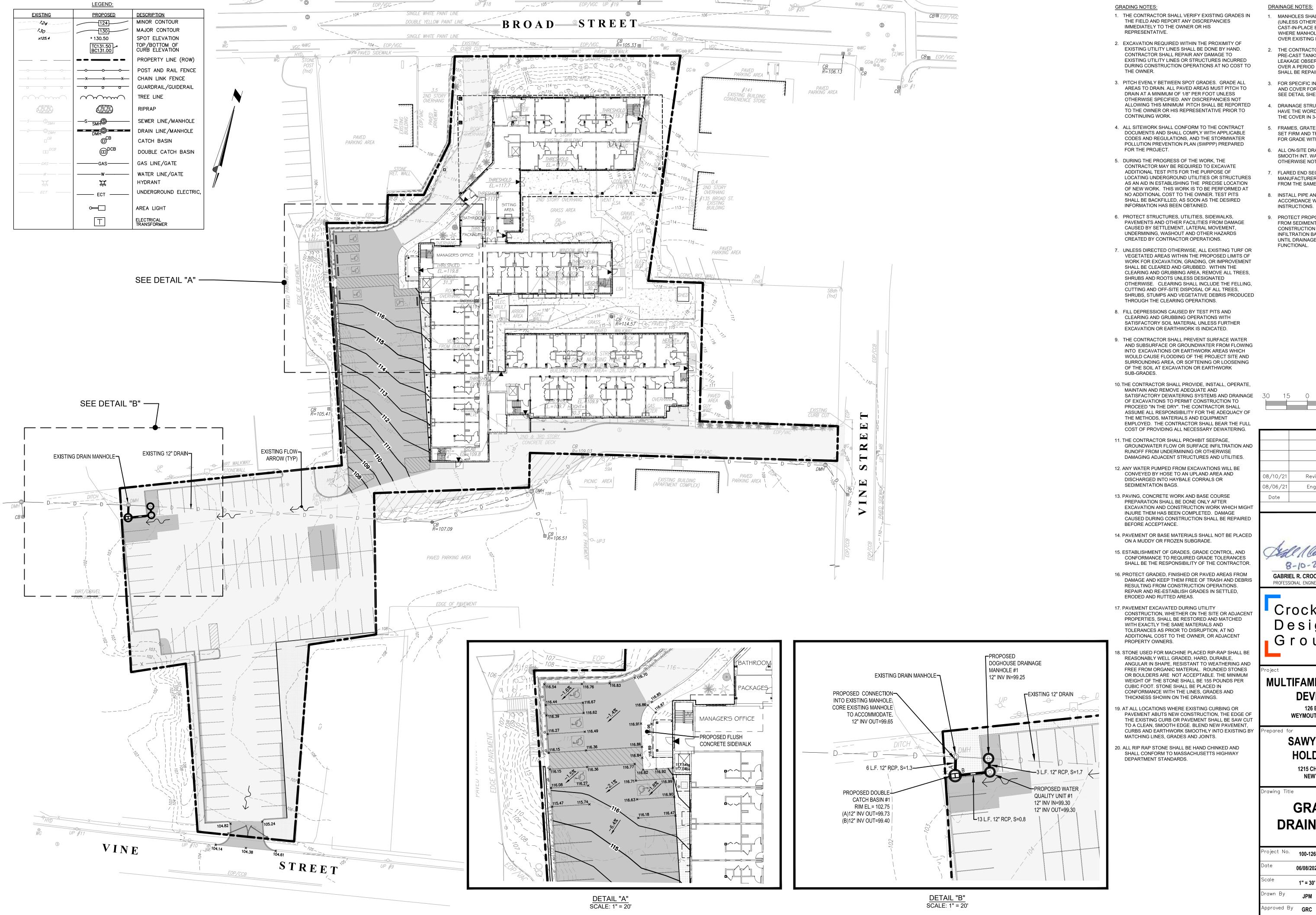
SEDIMENT

06/08/2021

1" = 30'

JPM

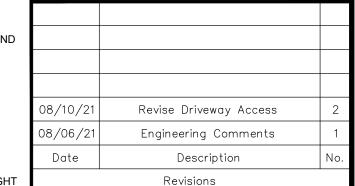


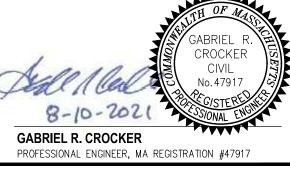


- 1. MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.
- 2. THE CONTRACTOR SHALL FILL ALL PRE-CAST TANKS WITH WATER FOR LEAKAGE OBSERVATIONS BY THE ENGINEER
- OVER A PERIOD OF 24-HOURS. ANY LEAKS SHALL BE REPAIRED BY THE CONTRACTOR. 3. FOR SPECIFIC INFORMATION OF FRAMES AND COVER FOR DRAINAGE STRUCTURES
- 4. DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON

SEE DETAIL SHEET

- THE COVER IN 3-INCH HIGH LETTERS. 5. FRAMES, GRATES AND COVERS SHALL BE
- SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.
- 6. ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INT. WALLED CPE PIPE UNLESS OTHERWISE NOTED.
- 7. FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED
- FROM THE SAME MATERIAL AS THE PIPE.
- 8. INSTALL PIPE AND FLARED ENDS IN STRICT ACCORDANCE WITH PIPE MANUFACTURER INSTRUCTIONS.
- 9. PROTECT PROPOSED INFILTRATION BASINS FROM SEDIMENTATION THROUGHOUT CONSTRUCTION OPERATIONS. INFILTRATION BASINS ARE NOT TO BE USED UNTIL DRAINAGE SYSTEM IS INSTALLED AN FUNCTIONAL.





UNIT B

HINGHAM,

P: 781-919-0808

MA 02043



MULTIFAMILY RESIDENTIAL DEVELOPMENT

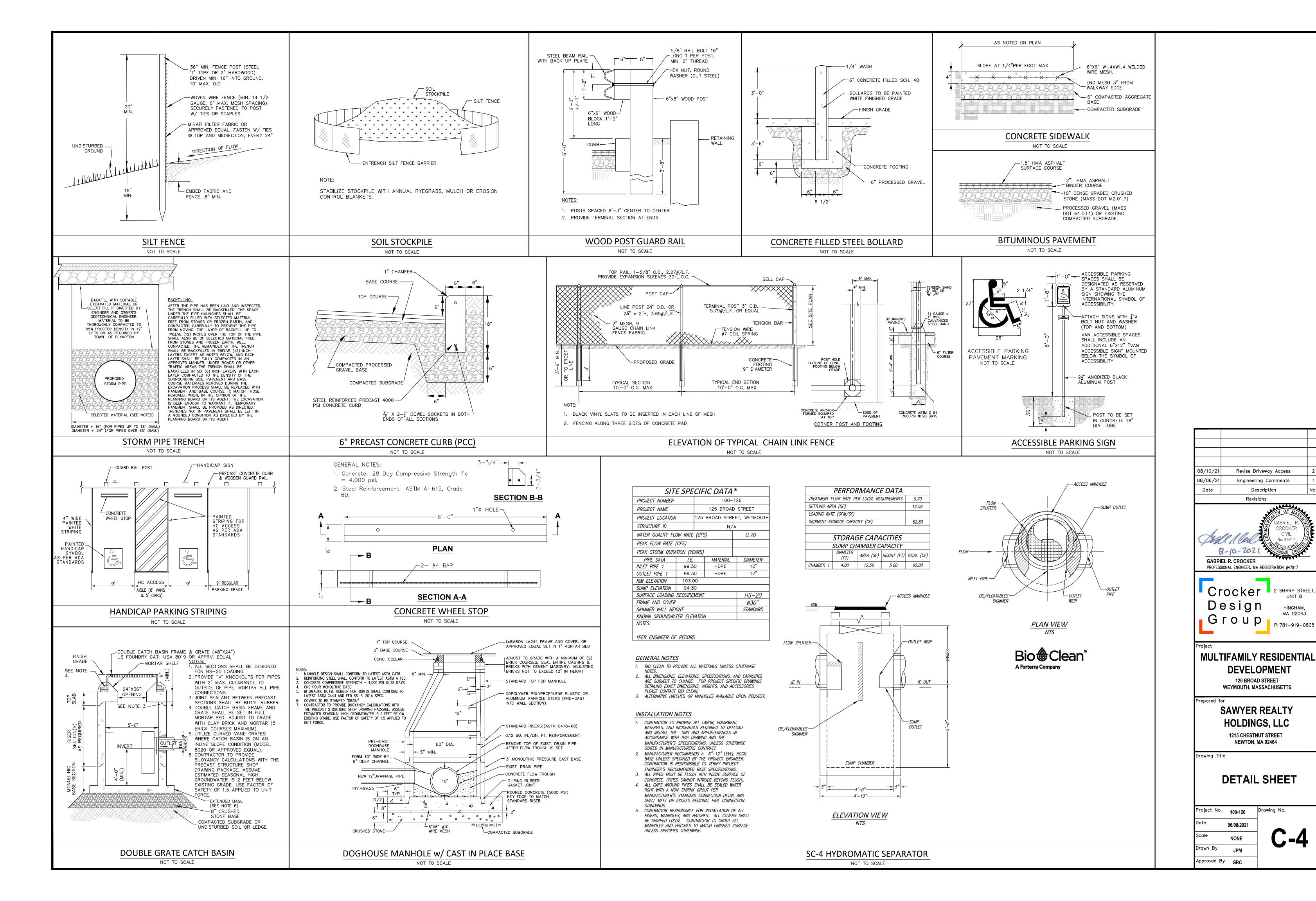
126 BROAD STREET WEYMOUTH, MASSACHUSETTS

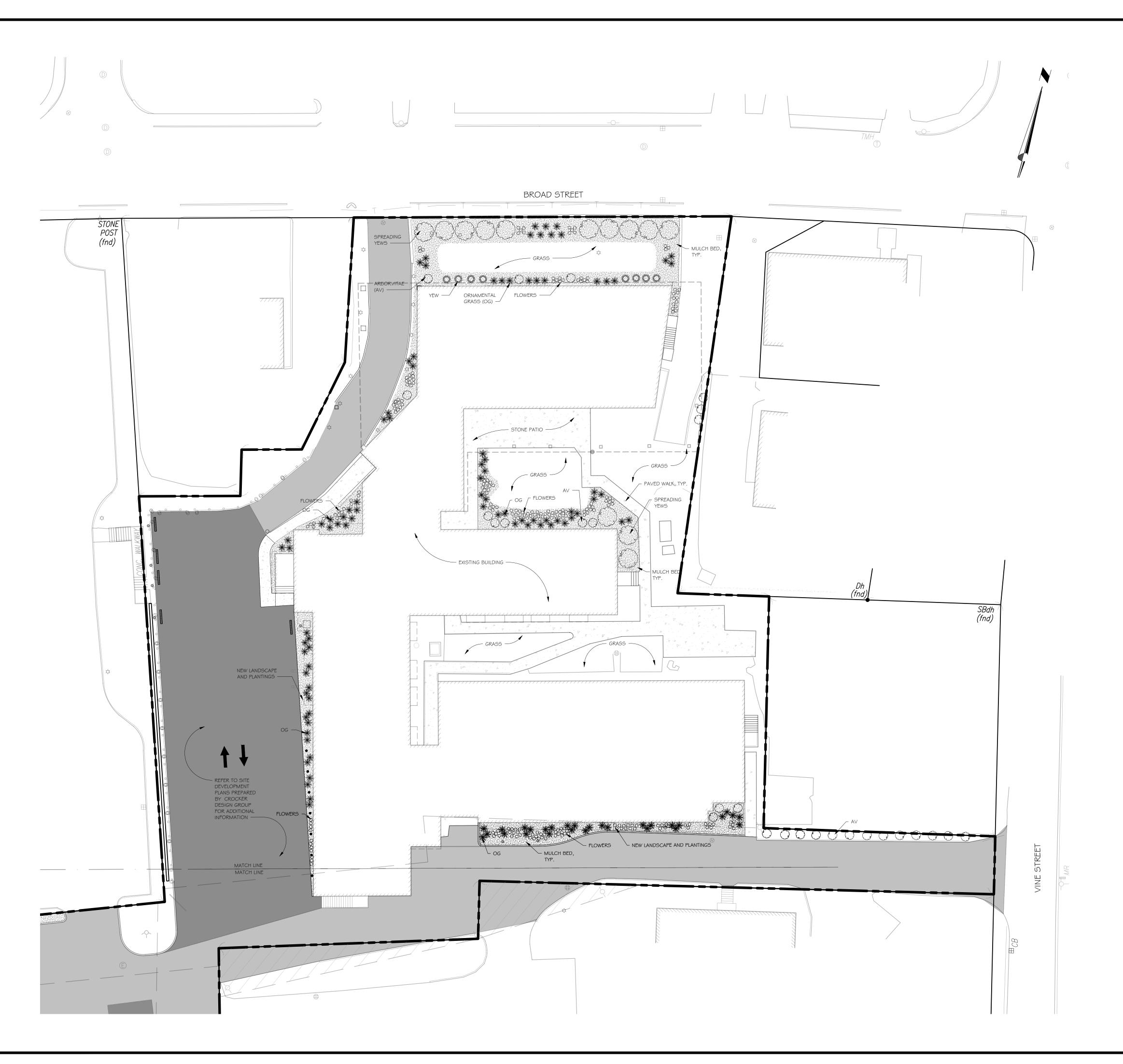
SAWYER REALTY HOLDINGS, LLC

> 1215 CHESTNUT STREET NEWTON, MA 02464

GRADING & DRAINAGE PLAN

roject No. **100-126** 06/08/2021 1" = 30' rawn By JPM





GENERAL NOTES ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM

GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. 2. ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. 3. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS. 4. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY. 5. SPACE PLANTS AT SCALED DISTANCES SHOWN ON

DRAWINGS UNLESS OTHERWISE DETERMINED IN FIELD FOR SCREENING PURPOSES. 6. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL

ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE

ARCHITECT OR OWNER'S REPRESENTATIVE. . ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE. WARM SEASON GRASS MIX AREAS DEPICTED HEREIN SHALL NOT BE CONSTRUED AS THE FULL EXTENT REQUIRED; IN ADDITION

TO AREAS INDICATED HEREIN, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING WARM SEASON GRASS MIX FOR ALL STRIPPED GRAVEL PIT AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION WHICH MAY BE BEYOND THOSE INDICATED HEREIN.

SOIL NOTES:

I. ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO RECEIVE OTHER TREATMENT SHALL BE LOAMED A MINIMUM DEPTH AS SPECIFIED BELOW. TOPSOIL FOR THIS PURPOSE SHALL BE TESTED BY AN APPROVED SOIL TESTING LABORATORY AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS:

A)TEXTURE: FINE SANDY LOAM OR SANDY LOAM, AS DETERMINED BY MECHANICAL ANALYSIS AND BASED ON THE USDA STANDARD SOIL CLASSIFICATION

B)ACIDITY: SOIL REACTION SHALL BE IN THE RANGE OF 5.5 TO 7.6, OR SHALL BE AMENDED TO MEET THIS RANGE.

C)ORGANIC MATTER: TOPSOIL SHALL HAVE A RANGE BETWEEN 10% AND 20% ORGANIC MATTER CONTENT BASED ON THE LOSS ON IGNITION OF OVEN-DRIED SAMPLES.

TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL TURFGRASS LAWN AREAS ADJACENT TO THE BUILDING, AS INDICATED IN THE PROJECT LEGEND. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES AFTER SETTLING ON ALL GRAVEL PIT RECLAMATION AREAS, WARM SEASON GRASS MIX AREAS AND OTHER DISTURBED AREAS.

PLANTING MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS: 3 PARTS TOPSOIL AS SPECIFIED ABOVE, I PART PEAT MOSS, I PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION. PLANTING MIX SHALL BE USED TO BACKFILL ALL TREE AND SHRUB PLANTING HOLES, AS INDICATED IN THE PLANTING DETAILS, AND SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES.

BASIN MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS: I PART TOPSOIL, I PART PEAT MOSS, I PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION.

BASIN MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL DETENTION BASIN BOTTOMS AND SLOPES.

SPECIFICATIONS:

BY SOIL ANALYSIS

I. SEED ALL TURFGRASS LAWN AREAS, AS INDICATED IN THE PROJECT LEGEND, WITH A DROUGHT TOLERANT, HIGH-FESCUE TURFGRASS SEED MIX SUCH AS PEARL'S PREMIUM GRASS SEED BY PEARL'S PREMIUM, WAYLAND, MA; ENVIROTURF BY BLUESTEM NURSERY, LAURIER, WA; ECO-LAWN BY WILDFLOWER FARM, COLDWATER, ONT, CAN; OR APPROVED EQUAL, APPLIED AT

SEED PRODUCER'S RECOMMENDED RATE. 2. SEED ALL STORMWATER DETENTION BASIN AREAS WITH "NEW ENGLAND EROSION CONTROL/ RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES" BY NEW ENGLAND WETLAND PLANTS OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS.

3. SEED ALL GRAVEL PIT RESTORATION AREAS AND OTHER DISTURBED AREAS WITH "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" BY NEW ENGLAND WETLAND PLANTS, AMHERST, MA. OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS. WARM SEASON SEEDING PROGRAM WILL LIKELY TAKE 2-3 GROWING SEASONS UNTIL GOOD GROWTH IS ESTABLISHED. RESTORATION OF ALL GRAVEL PIT RESTORATION AREAS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, BEST MANAGEMENT PRACTICES FOR SAND AND GRAVEL PITS, MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAY, 2003. 4. MULCH ALL SEEDED AREAS WITH 500-700 LBS. OF SALTMARSH HAY OR WEED-FREE STRAW PER ACRE, SPREAD EVENLY. ALL SLOPES OF 3:1 OR GREATER, AFTER BEING LOAMED, SEEDED, AND MULCHED, SHALL BE COVERED WITH JUTE OR BIODEGRADABLE TOBACCO NETTING SECURELY ANCHORED TO THE SLOPE. OVERLAP A NETTING JOINTS A MINIMUM OF 4" AND SECURE WITH A DOUBLE ROW OF STAPLES.* 5. MAINTENANCE OF SEED AREAS SHALL CONSIST OF WATERING, WEEDING, CURING, REPAIR OF ALL EROSION, AND RESEEDING AS NECESSARY TO ESTABLISH A UNIFORM STAND OF GRASS. LAWNS SHALL BE WATERED IN A SATISFACTORY MANNER DURING AND IMMEDIATELY AFTER PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE. ALL AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON SHALL BE

-MATERIALS FOR HYDROSEEDING SHALL INCLUDE TACKIFIER, WOOD CELLULOSE FIBER MULCH, FERTILIZER, GROUND LIMESTONE AND WATER. -PROVIDE JUTE MATTING OR BIODEGRADABLE TOBACCO NETTING ON ALL SLOPES EQUAL TO OR GREATER THAN 3:1.

JUTE MATTING SHALL BE C-JUTE BY CONTECH CONSTRUCTION PRODUCTS, INC, GEOJUTE BY BELTON INDUSTRIES OR APPROVED EQUAL.*

RESEEDED REPEATEDLY UNTIL A UNIFORM STAND IS ATTAINED.

6. HYDROSEEDING IS AN ACCEPTABLE ALTERNATE METHOD OF SEEDING, IF UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING

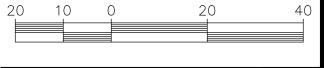
-IF PROJECT SCHEDULE REQUIRES SEEDING TO BE PERFORMED AFTER OCTOBER 15 UNTIL MARCH 31, THE FOLLOWING IS REQUIRED: AFTER HYDROSEEDING/SEEDING, THOSE VEGETATED AREAS WHICH HAVE A SLOPE EQUAL TO OR STEEPER THAN 4:1 SHALL BE COVERED WITH JUTE MATTING AND STAPLED IN PLACE PER MANUFACTURERS REQUIREMENTS. PRECAUTIONS SHALL BE TAKEN TO MINIMIZE DISTURBANCE OF THE HYDROSEED/SEED WHEN INSTALLING THE

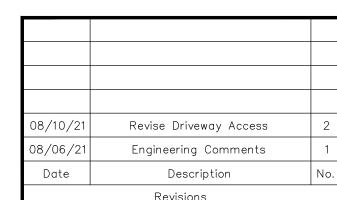
-HYDROSEEDING/ SEEDING MIXTURE: -TACKIFER: APPLY AT A RATE OF 60 GALLONS PER ACRE. -MOOD CELLULOSE FIBER MULCH: APPLY AT A RATE OF 2,000 POUNDS PER ACRE.

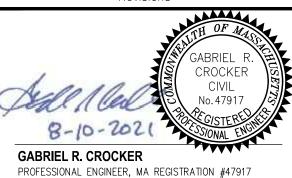
*STRAW MULCH AND NETTING ON SLOPES 3:1 OR GREATER IS NOT REQUIRED ON HYDROSEEDING OPERATIONS IF SLOPES ARE SPRAYED WITH

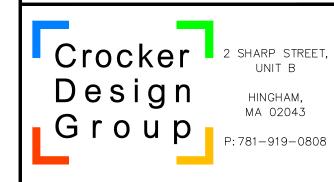
-APPLY FERTILIZER AND LIMESTONE AT RATES DETERMINED

A BONDED FIBER MATRIX MULCH, SUCH AS FLEXTERRA BY PROFILE PRODUCTS, LLC, HYDROSTRAW BFM BY HYDROSTATION, INC., OR APPROVED EQUAL, INSTALLED









MULTIFAMILY RESIDENTIAL DEVELOPMENT 126 BROAD STREET

UNIT B

HINGHAM,

MA 02043

WEYMOUTH, MASSACHUSETTS

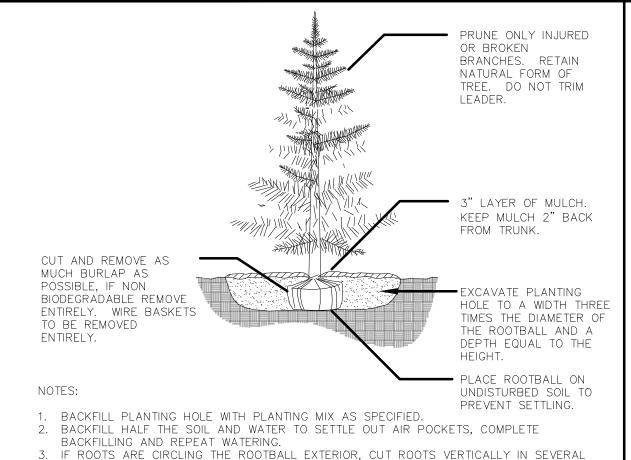
SAWYER REALTY HOLDINGS, LLC

1215 CHESTNUT STREET NEWTON, MA 02464

LANDSCAPING PLAN

roject No. **100-126** Drawing No. 06/08/2021 1" = 20')rawn By JPM

proved By GRC



PLACES PRIOR TO PLANTING.

CUT AND REMOVE AS MUCH BURLAP AS POSSIBLE, IF NON BIODEGRADABLE REMOVE -3" LAYER OF MULCH AS ENTIRELY. WIRE BASKETS TO SPECIFIED. KEEP MULCH BE REMOVED ENTIRELY. 2" BACK FROM TRUNK. EXCAVATE PLANTING HOLE TO A WIDTH THREE TIMES THE DIAMETER OF THE ROOTBALL AND A PLACE ROOTBALL ON DEPTH EQUAL TO THE UNDISTURBED SOIL 1 PREVENT SETTLING.

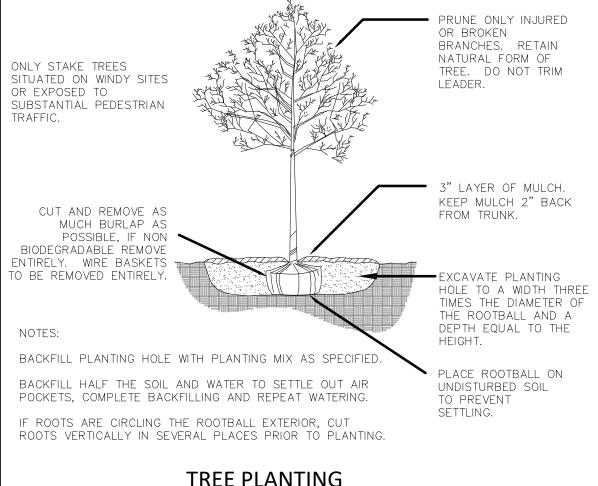
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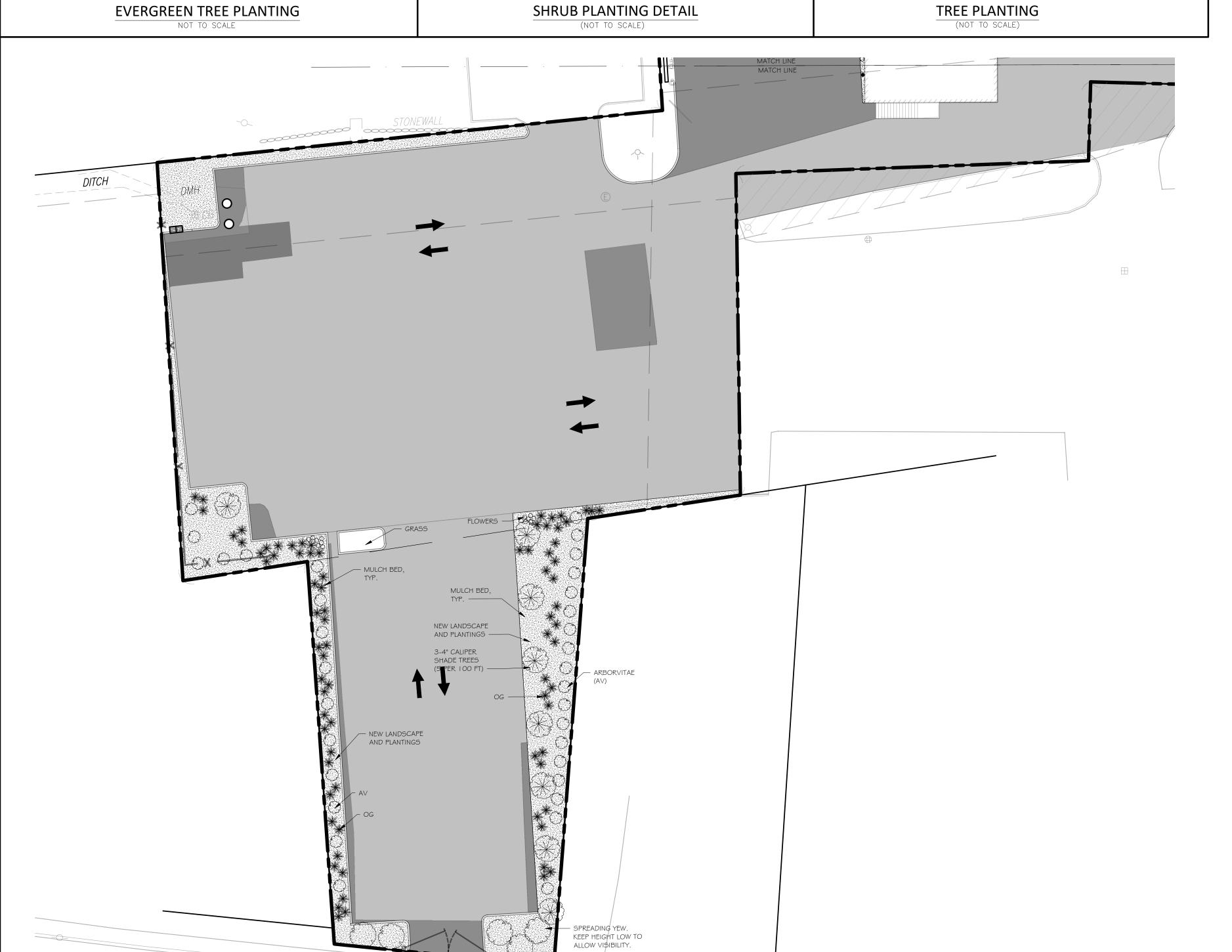
VINE STREET

BACKFILL PLANTING HOLE WITH PLANTING MIX AS SPECIFIED.

BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.

IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.





GENERAL NOTES

I. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

2. ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS.

3. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK

MULCH TO A DEPTH OF THREE (3) INCHES. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.

4. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.

5. SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE DETERMINED IN FIELD FOR SCREENING PURPOSES.
6. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
7. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR

FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.

8. WARM SEASON GRASS MIX AREAS DEPICTED HEREIN SHALL NOT BE CONSTRUED AS THE FULL EXTENT REQUIRED; IN ADDITION TO AREAS INDICATED HEREIN, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING WARM SEASON GRASS MIX FOR ALL STRIPPED GRAVEL PIT AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION WHICH MAY BE BEYOND THOSE INDICATED HEREIN.

SOIL NOTES:

I. ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO RECEIVE OTHER TREATMENT SHALL BE LOAMED A MINIMUM DEPTH AS SPECIFIED BELOW. TOPSOIL FOR THIS PURPOSE SHALL BE TESTED BY AN APPROVED SOIL TESTING LABORATORY AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS:

A)TEXTURE: FINE SANDY LOAM OR SANDY LOAM, AS DETERMINED BY

MECHANICAL ANALYSIS AND
BASED ON THE USDA STANDARD SOIL CLASSIFICATION SYSTEM.
B)ACIDITY: SOIL REACTION SHALL BE IN THE RANGE OF 5.5 TO 7.6, OR
SHALL BE AMENDED TO

MEET THIS RANGE.

C)ORGANIC MATTER: TOPSOIL SHALL HAVE A RANGE BETWEEN 10% AND 20% ORGANIC MATTER

CONTENT BASED ON THE LOSS ON IGNITION OF OVEN-DRIED SAMPLES.

TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL TURFGRASS LAWN AREAS ADJACENT TO THE BUILDING, AS INDICATED IN THE PROJECT LEGEND. TOPSOIL SHALL BE SPREAD TO A

INDICATED IN THE PROJECT LEGEND. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES AFTER SETTLING ON ALL GRAVEL PIT RECLAMATION AREAS, WARM SEASON GRASS MIX AREAS AND OTHER DISTURBED AREAS.

PLANTING MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS:

3 PARTS TOPSOIL AS SPECIFIED ABOVE, I PART PEAT MOSS, I PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION. PLANTING MIX SHALL BE USED TO BACKFILL ALL TREE AND SHRUB PLANTING HOLES, AS INDICATED IN THE PLANTING DETAILS, AND SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES.

BASIN MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS:

I PART TOPSOIL, I PART PEAT MOSS, I PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION.

BASIN MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL DETENTION BASIN BOTTOMS AND SLOPES.

SEED MIX NOTES:

I. SEED ALL TURFGRASS LAWN AREAS, AS INDICATED IN THE PROJECT LEGEND, WITH A DROUGHT TOLERANT, HIGH-FESCUE TURFGRASS SEED MIX SUCH AS PEARL'S PREMIUM GRASS SEED BY PEARL'S PREMIUM, WAYLAND, MA; ENVIROTURF BY BLUESTEM NURSERY, LAURIER, WA; ECO-LAWN BY WILDFLOWER FARM, COLDWATER, ONT, CAN; OR APPROVED EQUAL, APPLIED AT SEED PRODUCER'S RECOMMENDED RATE.

AT SEED PRODUCER'S RECOMMENDED RATE.

2. SEED ALL STORMWATER DETENTION BASIN AREAS WITH "NEW ENGLAND EROSION CONTROL/ RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES" BY NEW ENGLAND WETLAND PLANTS OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS.

3. SEED ALL GRAVEL PIT RESTORATION AREAS AND OTHER DISTURBED

AREAS WITH "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" BY NEW ENGLAND WETLAND PLANTS, AMHERST, MA, OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS. WARM SEASON SEEDING PROGRAM WILL LIKELY TAKE 2-3 GROWING SEASONS UNTIL GOOD GROWTH IS ESTABLISHED. RESTORATION OF ALL GRAVEL PIT RESTORATION AREAS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, BEST MANAGEMENT PRACTICES FOR SAND AND GRAVEL PITS, MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAY, 2003. 4. MULCH ALL SEEDED AREAS WITH 500-700 LBS. OF SALTMARSH HAY OR WEED-FREE STRAW PER ACRE, SPREAD EVENLY. ALL SLOPES OF 3:1 OR GREATER, AFTER BEING LOAMED, SEEDED, AND MULCHED, SHALL BE COVERED WITH JUTE OR BIODEGRADABLE TOBACCO NETTING SECURELY ANCHORED TO THE SLOPE. OVERLAP A NETTING JOINTS A MINIMUM OF 4" AND SECURE WITH A DOUBLE ROW OF STAPLES.*

5. MAINTENANCE OF SEED AREAS SHALL CONSIST OF WATERING, WEEDING, CURING, REPAIR OF ALL EROSION, AND RESEEDING AS NECESSARY TO ESTABLISH A UNIFORM STAND OF GRASS. LAWNS SHALL BE WATERED IN A SATISFACTORY MANNER DURING AND IMMEDIATELY AFTER PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE. ALL AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON SHALL BE RESEEDED REPEATEDLY UNTIL A UNIFORM STAND IS ATTAINED.
6. HYDROSEEDING IS AN ACCEPTABLE ALTERNATE METHOD OF SEEDING, IF UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

-MATERIALS FOR HYDROSEEDING SHALL INCLUDE TACKIFIER, WOOD
CELLULOSE FIBER MULCH, FERTILIZER, GROUND LIMESTONE AND WATER.
-PROVIDE JUTE MATTING OR BIODEGRADABLE TOBACCO NETTING ON ALL
SLOPES EQUAL TO OR GREATER THAN 3:1. JUTE MATTING SHALL BE C-JUTE
BY CONTECH CONSTRUCTION PRODUCTS, INC, GEOJUTE BY BELTON
INDUSTRIES OR APPROVED EQUAL.*

-IF PROJECT SCHEDULE REQUIRES SEEDING TO BE PERFORMED AFTER OCTOBER 15 UNTIL MARCH 31, THE FOLLOWING IS REQUIRED: AFTER HYDROSEEDING/SEEDING, THOSE VEGETATED AREAS WHICH HAVE A SLOPE EQUAL TO OR STEEPER THAN 4:1 SHALL BE COVERED WITH JUTE MATTING AND STAPLED IN PLACE PER MANUFACTURERS REQUIREMENTS. PRECAUTIONS SHALL BE TAKEN TO MINIMIZE DISTURBANCE OF THE HYDROSEED/SEED WHEN INSTALLING THE JUTE.*

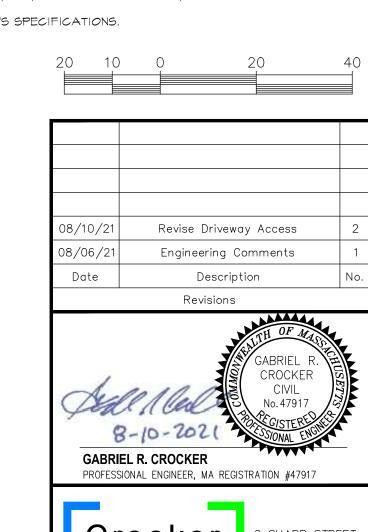
-HYDROSEEDING/ SEEDING MIXTURE: -TACKIFER:

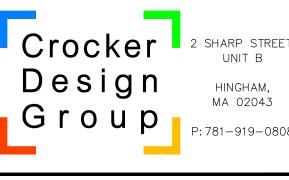
APPLY AT A RATE OF 60 GALLONS PER ACRE. -WOOD CELLULOSE FIBER MULCH:

APPLY AT A RATE OF 2,000 POUNDS PER ACRE.
-APPLY FERTILIZER AND LIMESTONE AT RATES DETERMINED BY SOIL

*STRAW MULCH AND NETTING ON SLOPES 3:1 OR GREATER IS NOT REQUIRED ON HYDROSEEDING OPERATIONS IF SLOPES ARE SPRAYED WITH A BONDED FIBER MATRIX MULCH, SUCH AS FLEXTERRA BY PROFILE PRODUCTS, LLC, HYDROSTRAW BFM BY HYDROSTATION, INC., OR APPROVED EQUAL,

INSTALLED
IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.





MULTIFAMILY RESIDENTIAL DEVELOPMENT

126 BROAD STREET
WEYMOUTH, MASSACHUSETTS

SAWYER REALTY HOLDINGS, LLC

> 1215 CHESTNUT STREET NEWTON, MA 02464

Drawing Title

LANDSCAPING PLAN

Project No. 100-126

Date 06/08/2021

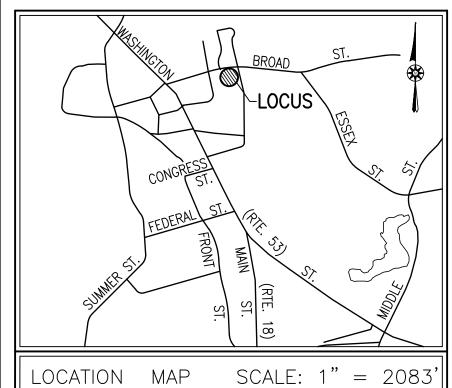
Scale 1" = 20'

Drawn By JPM

ale 1" = 20'

JPM

proved By GRC



RECORD OWNER:

125 BROAD STREET ASSESSORS MAP 20 BLOCK 274 LOT 16 87 VINE STREET ASSESSORS MAP 20 BLOCK 274 LOT 10 SRH BROAD LLC

1215 CHESTNUT STREET NEWTON, MA 02464 DEED BOOK 38956 PAGE 299

PLAN REFERENCES:

7. LAND COURT PLAN 8461A

WEYMOUTH VERTICAL DATUM.

1. PLAN No. 307 OF 1955 BOOK 3351 PAGE 537 2. PLAN No. 1528 OF 1955 BOOK 3425 PAGE 600 3. PLAN No. 718 OF 1962 BOOK 3997 PAGE 193 4. PLAN No. 101 OF 1975 BOOK 5110 PAGE 744 5. PLAN No. 001 OF 2011 BOOK 608 6. LAND COURT PLAN 7107B BOOK 39 PAGE 43

- PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE NORFOLK COUNTY REGISTRY OF DEEDS AND WEYMOUTH TOWN HALL.
- TOPOGRAPHIC AND DETAIL INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ACTUAL ON THE GROUND SURVEY PERFORMED BY CROCKER DESIGN GROUP LLC DURING FUBRUARY OF 2021
- 3. THE SUBJECT SITE IS LOCATED WITHIN THE "RESIDENCE 4" ZONING DISTRICT AS DEPICTED ON THE TOWN OF WEYMOUTH ZONING MAP. 4. ELEVATIONS SHOWN HEREON REFERENCED TO THE TOWN OF
- 5. UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED

ENVIRONMENTAL NOTES:

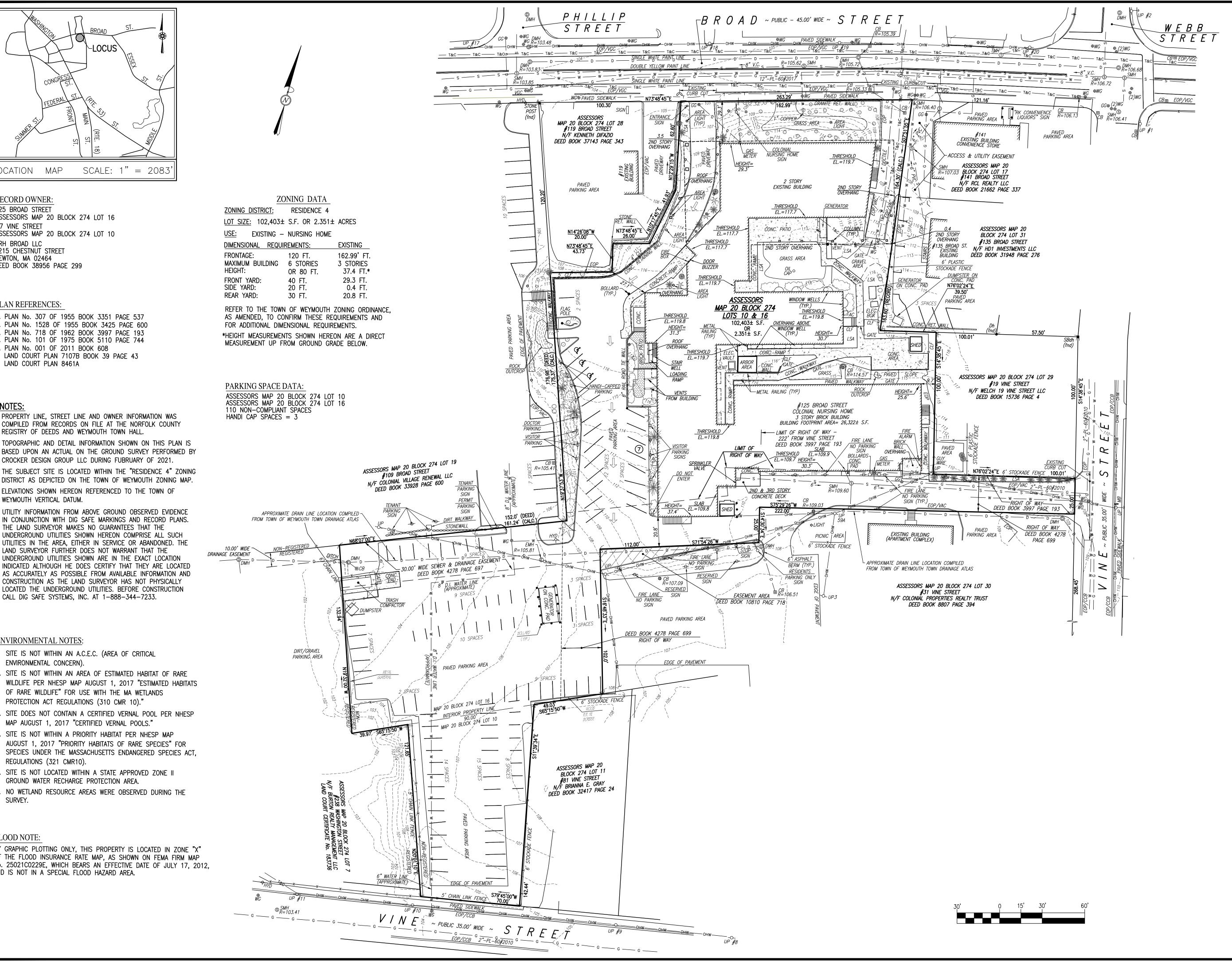
1. SITE IS NOT WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).

CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.

- 2. SITE IS NOT WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE PER NHESP MAP AUGUST 1, 2017 "ESTIMATED HABITATS OF RARE WILDLIFE" FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10)."
- 3. SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP AUGUST 1, 2017 "CERTIFIED VERNAL POOLS."
- 4. SITE IS NOT WITHIN A PRIORITY HABITAT PER NHESP MAP AUGUST 1, 2017 "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR10).
- 5. SITE IS NOT LOCATED WITHIN A STATE APPROVED ZONE II GROUND WATER RECHARGE PROTECTION AREA.
- 6. NO WETLAND RESOURCE AREAS WERE OBSERVED DURING THE SURVEY.

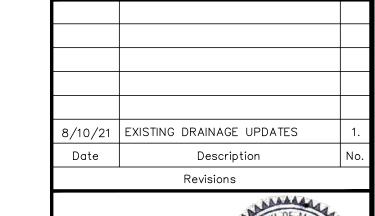
FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON FEMA FIRM MAP No. 25021C0229E, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



LEGEND

EXISTING	DESCRIPTION
30	1' CONTOUR
	SPOT ELEVATION
EDGE OF PAVEMENT	PROPERTY LINE
EDGE_OF_GRAVEL	EDGE OF PAVEMENT EDGE OF GRAVEL
VGC	VERTICAL GRANITE CURB
SGC	SLOPE GRANITE CURB
CCB	CAPE COD BERM
VAC	
VCC	VERTICAL ASPHALT CURB VERTICAL CONCRETE CURB
EXIST. FENCE	FENCE
EXIST. GUARD RAIL	GUARDRAIL
G G G G	
G G G G G DRAIN LINE D D D D	DRAIN LINE
s s s s	
w w w OVERHEAD WIRE OHW	- WATER LINE - OVERHEAD WIRE
	TELEPHONE & COMMUNICATION
— 1&C — 1&C — 1&C —	TELEPHONE & COMMUNICATION HYDRANT
× WG	WATER GATE
⊠ EM	ELECTRICAL METER
⊠ <i>GM</i>	GAS METER
\$	LIGHT
-O− UP ⑤ SMH	UTILITY POLE
○ MH	SEWER MANHOLE UNIDENTIFIED MANHOLE
① TMH	TELEPHONE MANHOLE
© EMH	ELECTRICAL MANHOLE
© DMH	DRAIN MANHOLE
⊞ CB	CATCH BASIN
\odot	LANDSCAPING
	2





HINGHAM, MA 02043 P: 781-919-0808

125 BROAD STREET MAP 20 BLOCK 274 LOT 16 87 VINE STREET MAP 20 BLOCK 274 LOT 10

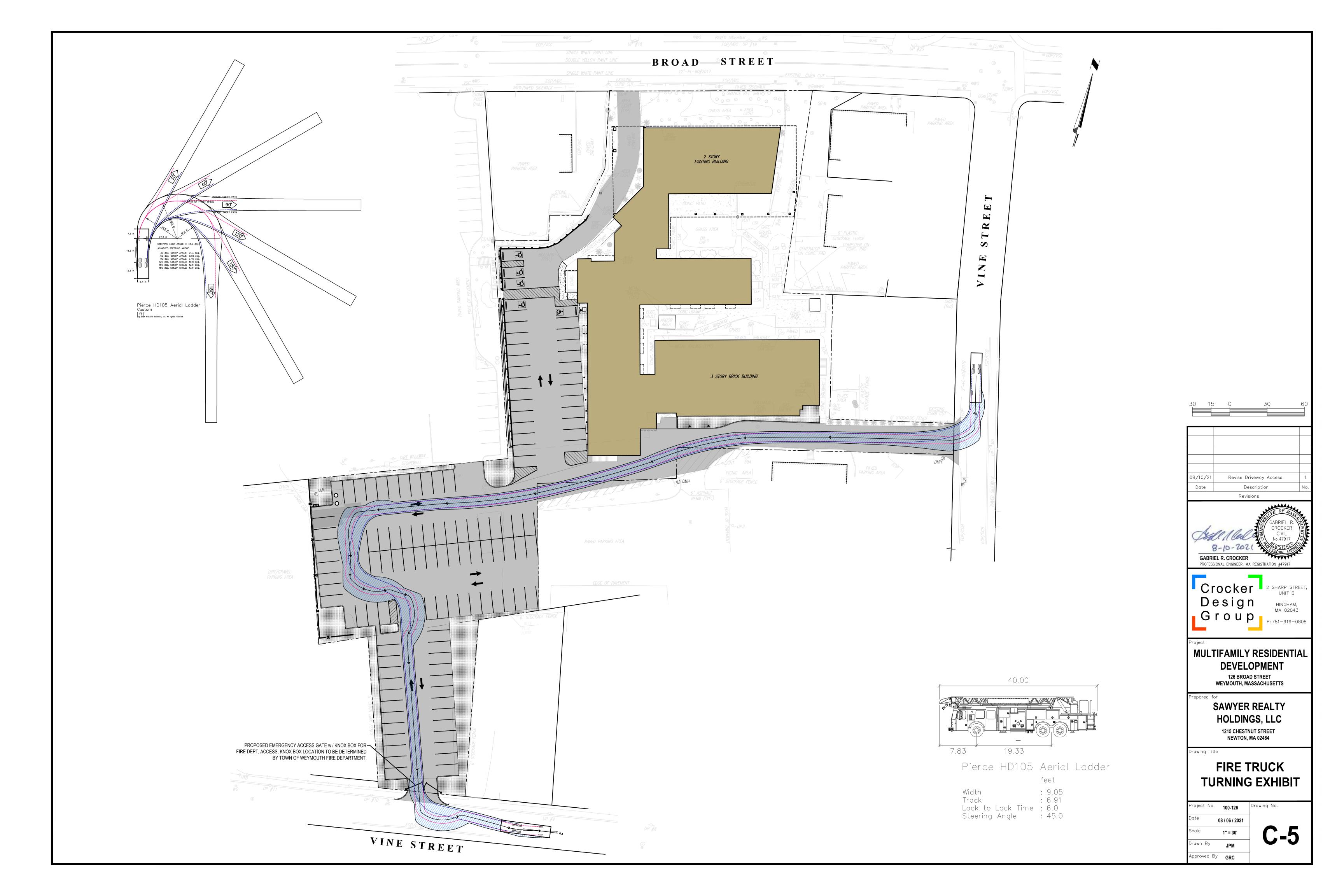
Prepared for

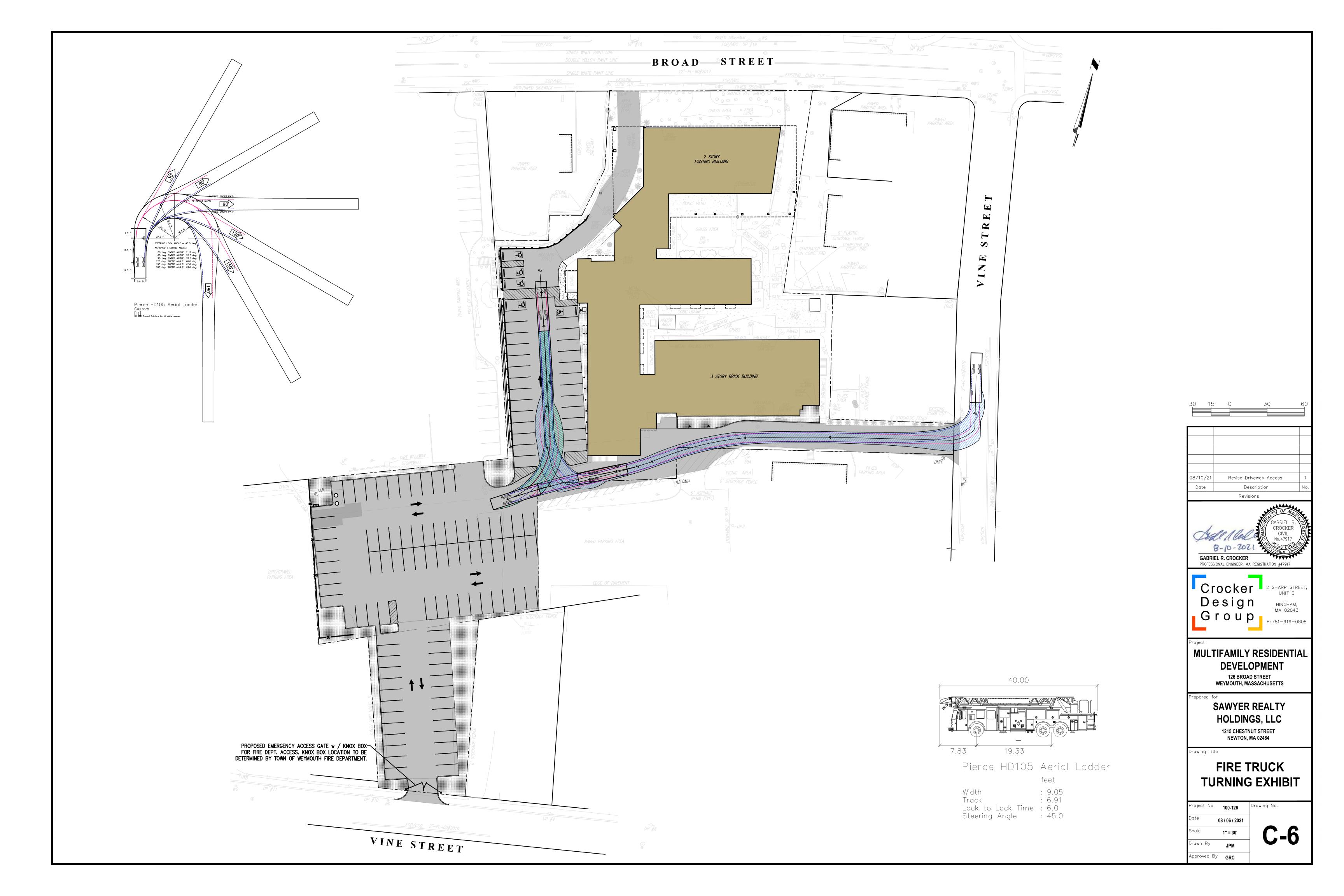
SRH BROAD LLC *1215 CHESTNUT STREET* NEWTON, MA 02464

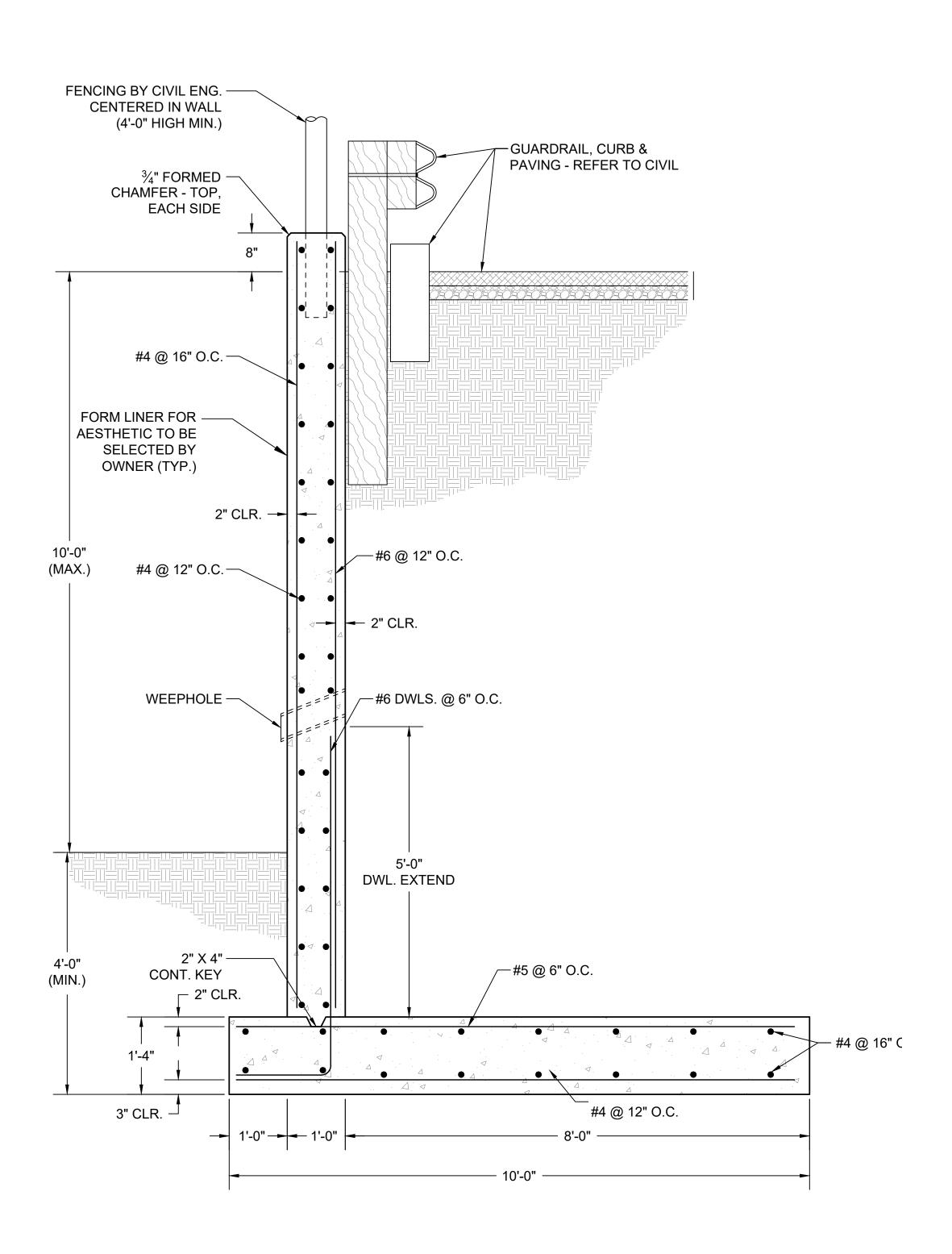
Drawing Title

EXISTING CONDITIONS PLAN

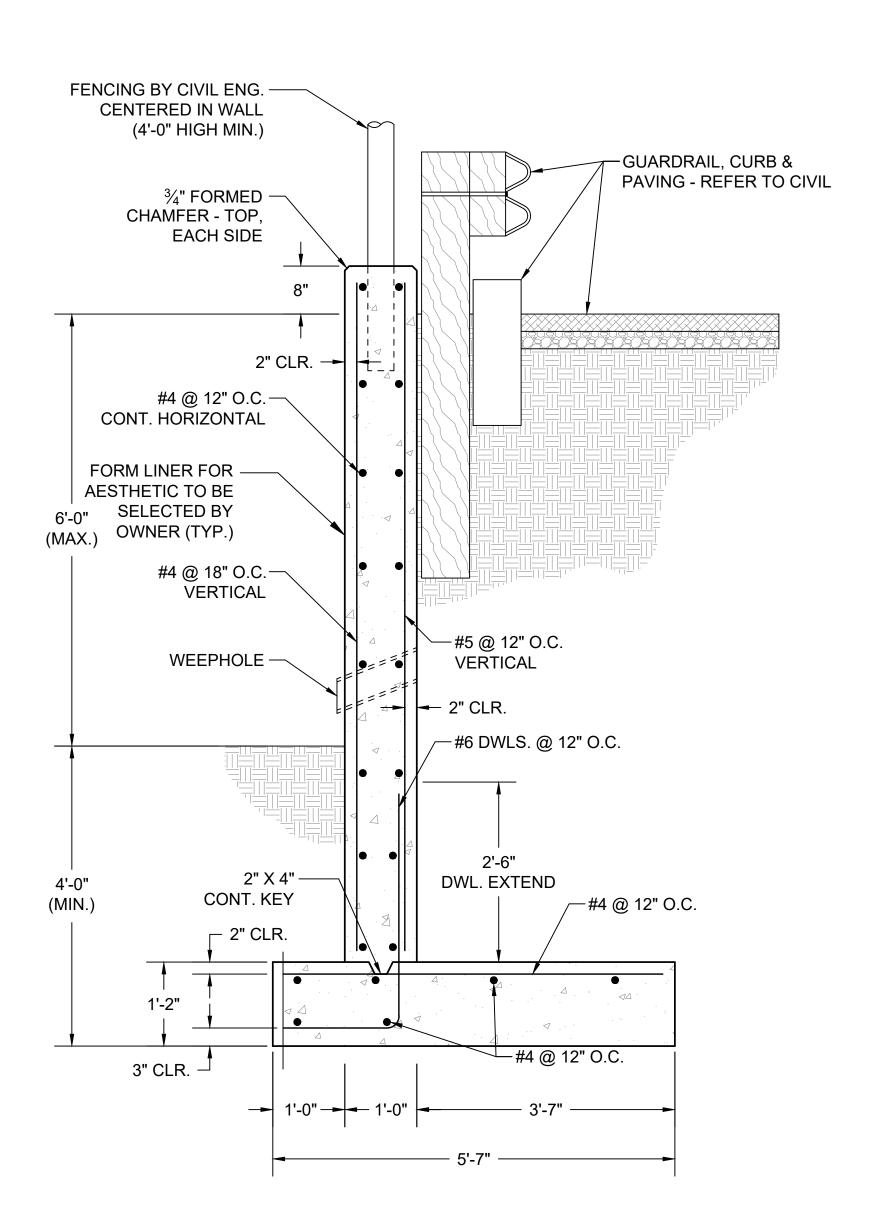
Project No.	100–106	Drawing No.
Date	6-3-2021	
Scale	1"=30'	1 OF 1
Drawn By	SMB	
Approved By	SMB	











CONCEPTUAL 6' RETAINING WALL

SCALE: 3/4" = 1'-0"

VITAL
STRUCTURES

STRUCTURAL ENGINEERS AND BUILDING ENVELOPE TECHNOLOGISTS

VitalStructuresLLC.com

4 FIRST STREET BRIDGEWATER, MA 02324 PHONE (508) 279-0655

CONCEPTUAL
ONLY:
NOT FOR
CONSTRUCTION

SCHEMATIC RETAINING WALL DESIGN SKETCH 125 BROAD STREET WEYMOUTH, MA 02188	SAWYER REALTY HOLDINGS LLC 1215 CHESTNUT STREET NEWTON, MA 02464
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NO.	NOTE	DESCRIPTION	BY
PROJECT NO.		21.04.051	
CADD FILE:			
DESIGN	ED BY:	DAM	
DRAWN BY:		JNL	
CHECKI	ED BY:		
DATE:		6/2/2021	
DRAWIN	IG SCALE:	3/4" = 1'-0"	
GRAPHIC SCALE			

CONCEPTUAL RETAINING

WALL DESIGN

SHEET TITLE

DRAWING NO.

1 OF 1