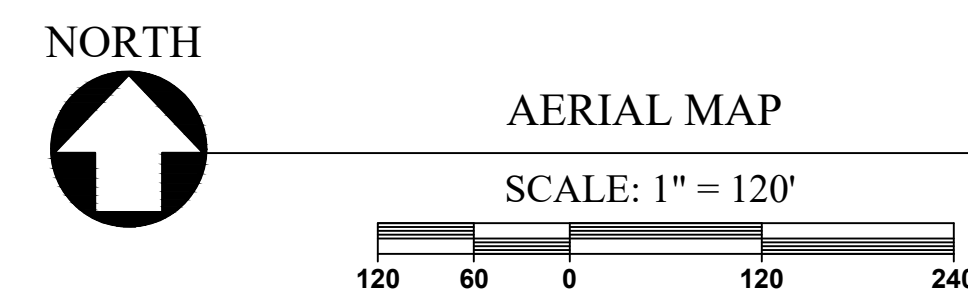
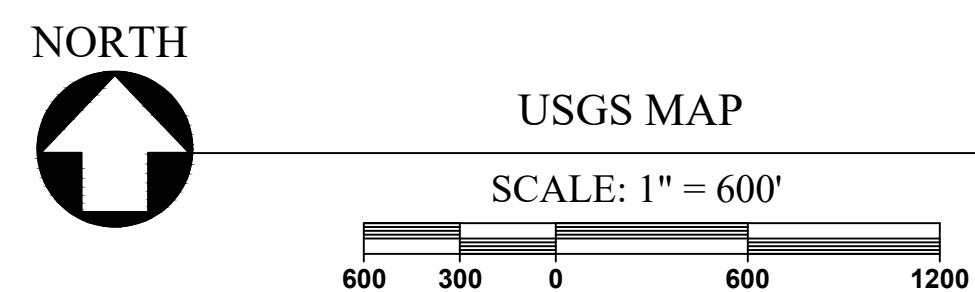


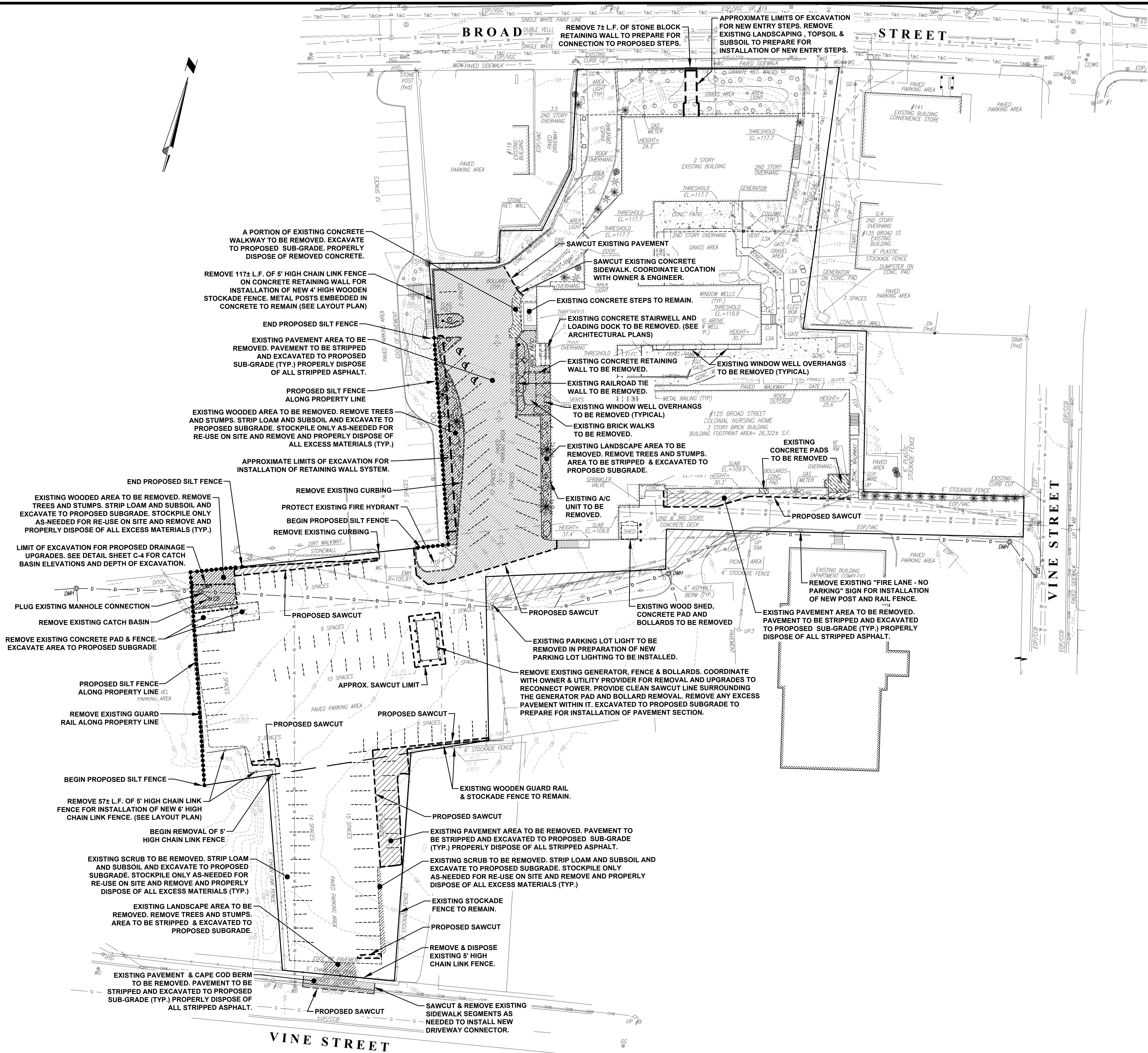
125 BROAD STREET
WEYMOUTH, MA 02188
MAP 274 LOT 16



Project No.	100-126	Drawing No.
Date	06/08/2021	
Scale	AS NOTED	
Drawn By	JPM	
Approved By	GRC	C-0

GENERAL NOTES:

- PROTECTIONS:
 - PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, TREES OR VEGETATION.
 - PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON OWNER'S PROPERTY.
 - RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
 - CONDUCT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH OPERATIONS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY.
- UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- ALL SLOPES, UNLESS OTHERWISE SPECIFIED, SHALL BE LOAMED AND SEEDED FOR STABILIZATION AS SOON AS POSSIBLE TO PREVENT EROSION INTO WETLAND RESOURCE AREAS, ADJUTING PROPERTIES, OR PUBLIC WAYS. EROSION CONTROL BLANKETS ARE REQUIRED FOR ALL 2H:1V SLOPES. SLOPES MAY NOT EXCEED 2H:1V. SEE "SEEDING" NOTE 3.
- ANY DEVIATIONS, I.E. "FIELD CHANGES" FROM THE DESIGN PLAN(S) MUST BE APPROVED BY THE DESIGN ENGINEER IN WRITING. CONTRACTOR SHOULD BE AWARE THAT LOCAL AND STATE AUTHORITIES HAVE JURISDICTION AND APPROVALS MUST BE OBTAINED FROM THE APPROPRIATE AUTHORITY PRIOR TO THE IMPLEMENTATION OF THE "FIELD CHANGE." CROCKER DESIGN GROUP LLC ASSUMES NO LIABILITY OR RESPONSIBILITY FOR WORK ASSOCIATED WITH FIELD CHANGES COMPLETED WITHOUT REGARD TO THE "FIELD CHANGE" PROCEDURE.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
- ***DIG SAFE NOTE*** IN ACCORDANCE WITH MGL CH. 82, SEC. 40 INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE, BLAST, DEMOLISH, BORE, OR PERFORM OTHER EARTH MOVING OPERATIONS NO LESS THAN 72 HOURS AND NO MORE THAN 30 DAYS PRIOR TO THE COMMENCEMENT OF SUCH WORK (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS) OR CALL "DIG SAFE" AT 1-888-DIG-SAFE.
- LOCATION OF UNDERGROUND UTILITIES ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPILATIONS. EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. TEST PITS SHALL BE PERFORMED BY CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.
- USE OF EXPLOSIVES:
 - COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF FEDERAL, STATE, AND LOCAL AUTHORITIES AND INSURERS WHICH GOVERN STORAGE, USE, MANUFACTURE, SALE, HANDLING, TRANSPORTATION, LICENSING, OR OTHER DISPOSITION OF EXPLOSIVES. UTILIZE SPECIAL PRECAUTIONS FOR PROPER USE OF EXPLOSIVES TO PREVENT HARM TO HUMAN LIFE AND DAMAGE TO SURFACE STRUCTURES. ALL UTILITY LINES OR OTHER SUBSURFACE STRUCTURES, DO NOT CONDUCT BLASTING OPERATIONS UNTIL PERSONS IN VICINITY HAVE HAD AMPLIFIED NOTICE AND HAVE REACHED POSITIONS OF SAFETY.
 - BLASTING OF ANY ROCK SHALL REQUIRE APPROPRIATE APPROVALS FROM THE LOCAL FIRE DEPARTMENT, PLANNING BOARD, BUILDING INSPECTOR AND OTHER PERTINENT AGENCIES, PRIOR TO COMMENCEMENT OF WORK. ALL BLASTED ROCK OR OTHER EXCESS MATERIALS MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT THE EXPENSE OF THE CONTRACTOR.
- ADDITIONAL BENCHMARKS TO BE SET BY CONTRACTOR PRIOR TO CONSTRUCTION TO ENSURE QUALITY WORKMANSHIP.



Date	Description	No.
08/24/21	Revise per ZBA & Staff Comments	4
08/20/21	Revise per ZBA & Staff Comments	3
08/10/21	Revise Driveway Access	2
08/06/21	Engineering Comments	1

Revisions

GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

Crocker Design Group
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

MULTIFAMILY RESIDENTIAL DEVELOPMENT
125 BROAD STREET
WEYMOUTH, MASSACHUSETTS

SAWYER REALTY HOLDINGS, LLC
1215 CHESTNUT STREET
NEWTON, MA 02464

DEMOLITION - SEDIMENT CONTROL PLAN

Project No.	100-126	Drawing No.	C-1
Date	06/08/2021		
Scale	1" = 30'		
Drawn By	JPM		
Approved By	GRC		

ZONING TABLE:

ZONING DISTRICT: RESIDENTIAL 4 (R-4) & RESIDENTIAL 1 (R-1) * OVERLAY DISTRICT: NONE			
ZONE R-4 REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (SF)	15,000 SF	102,403± SF (2.351± AC)	102,403± SF (2.351± AC)
MAXIMUM F.A.R. (FOR MULTIFAMILY)	0.30	N/A	0.54 (55,000 S.F.)
MINIMUM LOT WIDTH (FT)	120'	162.99'	162.99'
MINIMUM FRONT YARD (FT)	40' ¹	29.3'	29.3'
MINIMUM SIDE YARD (FT)	20' ²	0.4'	0.4'
MINIMUM REAR YARD (FT)	30' ³	19.6'	19.6'
MINIMUM LANDSCAPE AREA (%)	20%	57%	57%
MAXIMUM HEIGHT (FT)	80' / 6 STORIES	37.4' / 3 STORIES	37.4' / 3 STORIES

1. PLUS 6 FEET FOR EACH SETBACK FOR EACH STORY ABOVE 3RD FLOOR (SEE § 120-54)
2. PLUS 2 FEET FOR EACH STORY ABOVE THE 3RD FLOOR (SEE § 120-54)
3. OR 1/2 THE BUILDING HEIGHT, WHICHEVER IS GREATER (SEE § 120-54)

* NO BUILDING OR STRUCTURE IS LOCATED WITHIN THE R-1 DISTRICT

PARKING TABLE:

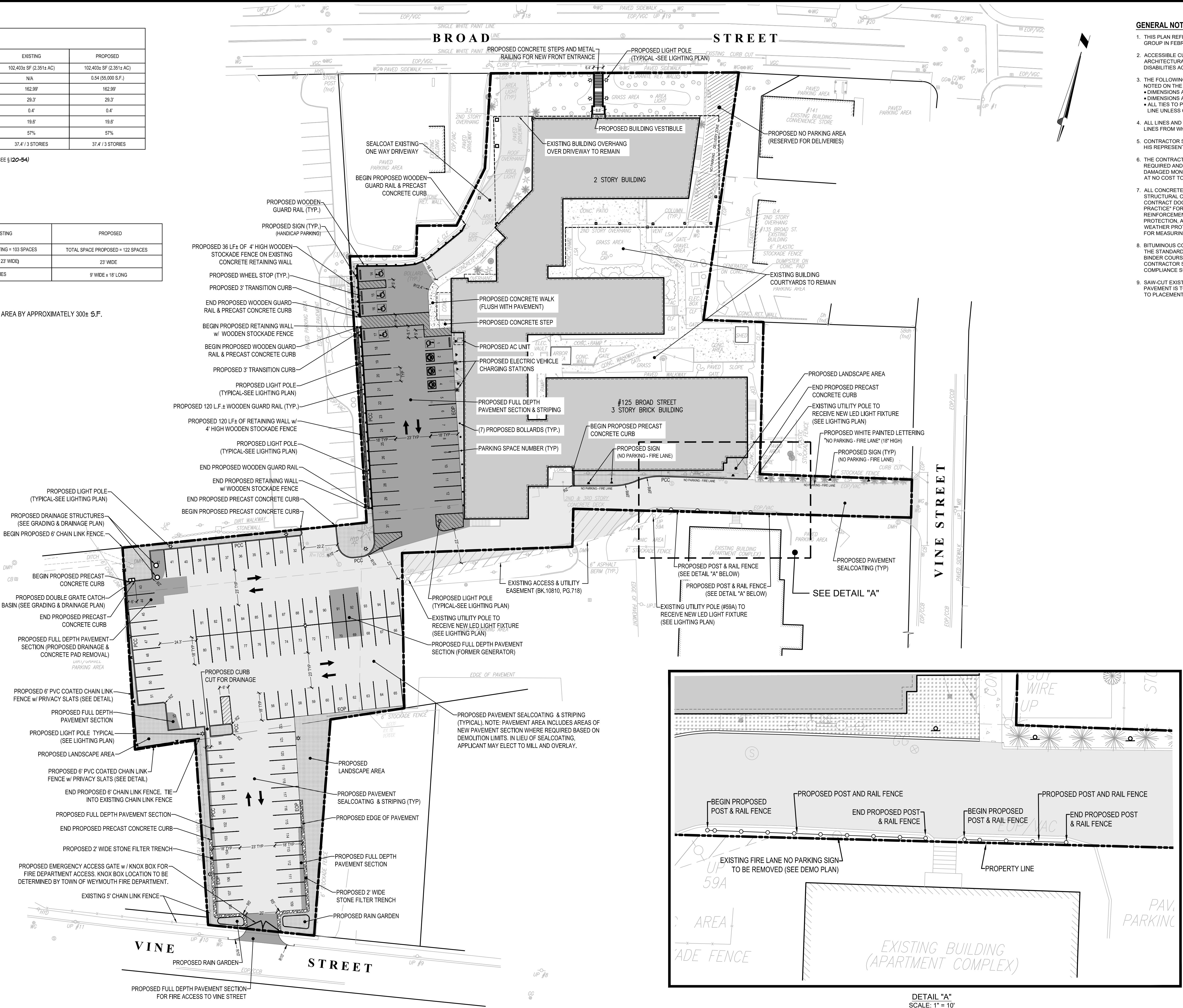
REQUIREMENT	EXISTING	PROPOSED
NUMBER OF PARKING SPACES	TOTAL SPACE EXISTING = 103 SPACES	TOTAL SPACE PROPOSED = 122 SPACES
PARKING AISLE WIDTH (80") - 23' WIDE	VARIES (≥ 23' WIDE)	23' WIDE
PARKING SPACE - 9' WIDE x 18' LONG	VARIES	9' WIDE x 18' LONG

IMPERVIOUS AREA NOTE

THIS PROJECT RESULTS IN A NET DECREASE IN IMPERVIOUS AREA BY APPROXIMATELY 300± 5.F.

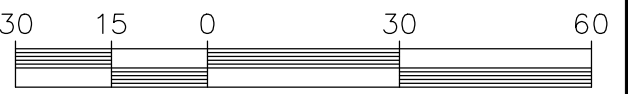
LEGEND

	FULL DEPTH PAVEMENT SECTION
	PAVEMENT SEALCOATING
	LANDSCAPE AREA
	COB CAPE COD BERM
	EOP EDGE OF PAVEMENT
	PCC PRECAST CONCRETE CURB
	TYP TYPICAL
	VGC VERTICAL CONCRETE CURB



GENERAL NOTES:

- THIS PLAN REFERENCES A SURVEY PLAN PREPARED BY CROCKER DESIGN GROUP IN FEBRUARY 2021.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
 - DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
 - ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE FOR RESOLUTION.
- THE CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.
- ALL CONCRETE WORK SHALL COMPLY WITH ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 318R, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSI'S MANUAL OF STANDARD PRACTICE FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 308.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 308R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."
- BITUMINOUS CONCRETE PAVEMENT, CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 400 THROUGH 400.02 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS. THE GENERAL CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.
- SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.



Date	Description	No.
08/24/21	Revise per ZBA & Staff Comments	4
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Revisions

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Project

MULTIFAMILY RESIDENTIAL DEVELOPMENT

125 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for

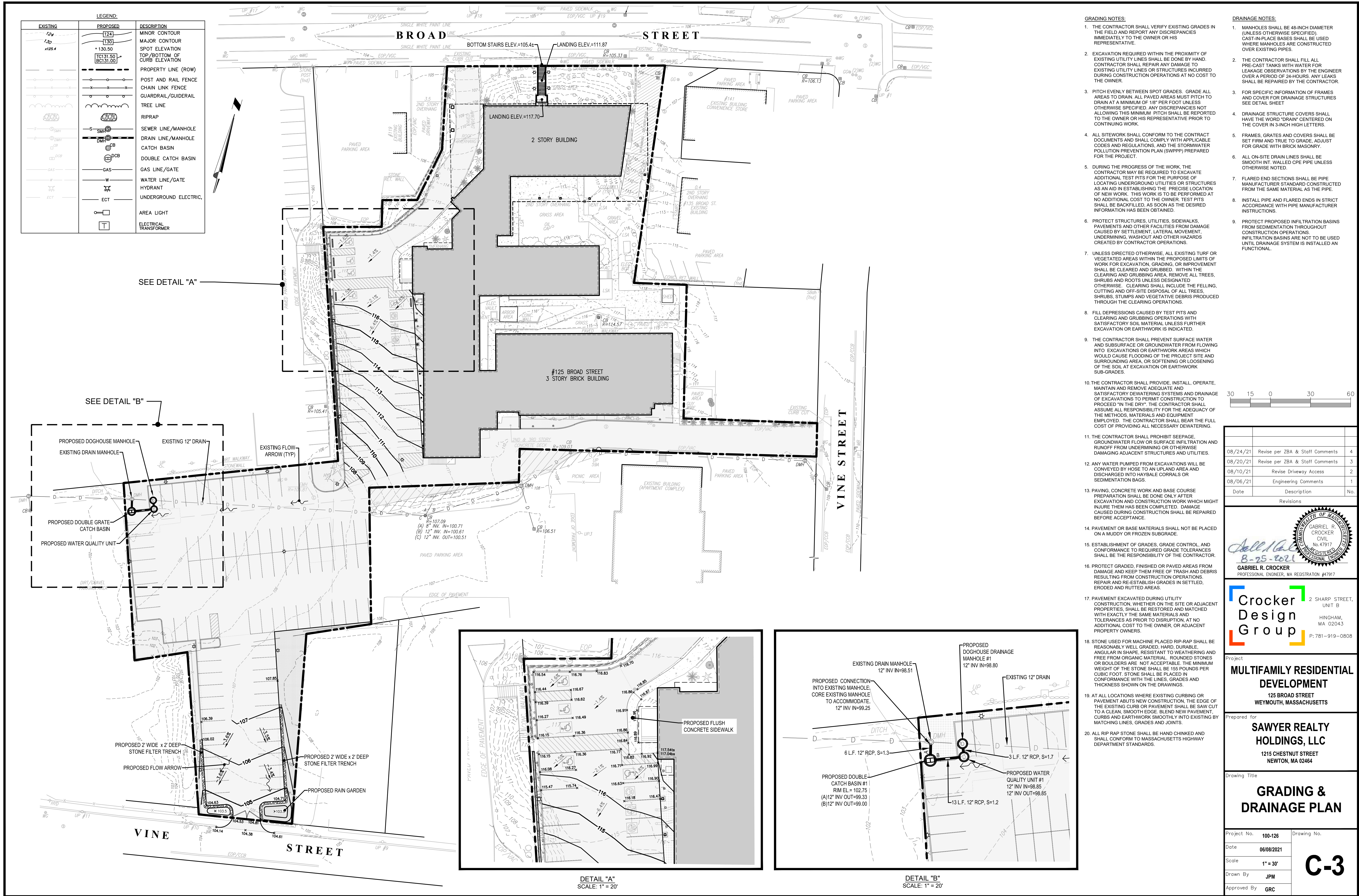
SAWYER REALTY HOLDINGS, LLC

1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title

LAYOUT AND MATERIAL PLAN

Project No.	100-126	Drawing No.	C-2
Date	06/08/2021		
Scale	1" = 30'		
Drawn By	JPM		
Approved By	GRC		





- GENERAL NOTES
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 2. ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS.
 3. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.
 4. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.
 5. SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE DETERMINED IN FIELD FOR SCREENING PURPOSES.
 6. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 7. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.
 8. WARM SEASON GRASS MIX AREAS DEPICTED HEREIN SHALL NOT BE CONSTRUED AS THE FULL EXTENT REQUIRED. IN ADDITION TO AREAS INDICATED HEREIN, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING WARM SEASON GRASS MIX FOR ALL STRIPPED GRAVEL PIT AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION WHICH MAY BE BEYOND THOSE INDICATED HEREIN.

- SOIL NOTES:
1. ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO RECEIVE OTHER TREATMENT SHALL BE LOAMED A MINIMUM DEPTH AS SPECIFIED BELOW. TOPSOIL FOR THIS PURPOSE SHALL BE TESTED BY AN APPROVED SOIL TESTING LABORATORY AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS:
 - A) TEXTURE: FINE SANDY LOAM OR SANDY LOAM, AS DETERMINED BY MECHANICAL ANALYSIS AND
 - B) BASED ON THE USDA STANDARD SOIL CLASSIFICATION SYSTEM.
 - C) ACIDITY: SOIL REACTION SHALL BE IN THE RANGE OF 5.5 TO 7.6, OR SHALL BE AMENDED TO MEET THIS RANGE.
 - D) ORGANIC MATTER: TOPSOIL SHALL HAVE A RANGE BETWEEN 10% AND 20% ORGANIC MATTER
 - E) CONTENT BASED ON THE LOSS ON IGNITION OF OVEN-DRIED SAMPLES.

TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL TURFGRASS LAWN AREAS ADJACENT TO THE BUILDING, AS INDICATED IN THE PROJECT LEGEND. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES AFTER SETTLING ON ALL GRAVEL PIT RECLAMATION AREAS, WARM SEASON GRASS MIX AREAS AND OTHER DISTURBED AREAS.

PLANTING MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS:
3 PARTS TOPSOIL AS SPECIFIED ABOVE, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION. PLANTING MIX SHALL BE USED TO BACKFILL ALL TREE AND SHRUB PLANTING HOLES, AS INDICATED IN THE PLANTING DETAILS, AND SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES.

BASIN MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS:
1 PART TOPSOIL, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION.

BASIN MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL DETENTION BASIN BOTTOMS AND SLOPES.

- SEED MIX NOTES:
1. SEED ALL TURFGRASS LAWN AREAS, AS INDICATED IN THE PROJECT LEGEND, WITH A DROUGHT TOLERANT, HIGH-FESCUE TURFGRASS SEED MIX SUCH AS PEARL'S PREMIUM GRASS SEED BY PEARL'S PREMIUM, WAYLAND, MA, ENVIRONMENTAL BY BLUESTEM NURSERY, LAUREL, WA, ECO-LAWN BY WILDFLOWER FARM, COLDWATER, ONT, CAN, OR APPROVED EQUAL, APPLIED AT SEED PRODUCER'S RECOMMENDED RATE.
 2. SEED ALL STORMWATER DETENTION BASIN AREAS, WITH "NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES" BY NEW ENGLAND WETLAND PLANTS OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS.
 3. SEED ALL GRAVEL PIT RESTORATION AREAS AND OTHER DISTURBED AREAS WITH "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" BY NEW ENGLAND WETLAND PLANTS, AMHERST, MA, OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS. WARM SEASON SEEDING PROGRAM WILL LIKELY TAKE 2-3 GROWING SEASONS UNTIL GOOD GROWTH IS ESTABLISHED. RESTORATION OF ALL GRAVEL PIT RESTORATION AREAS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, BEST MANAGEMENT PRACTICES FOR SAND AND GRAVEL PITS, MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAY, 2003.
 4. MULCH ALL SEEDED AREAS WITH 500-700 LBS. OF SALTMARSH HAY OR WEED-FREE STRAW PER ACRE, SPREAD EVENLY. ALL SLOPES OF 3:1 OR GREATER, AFTER BEING LOAMED, SEEDED, AND MULCHED, SHALL BE COVERED WITH JUTE OR BIODEGRADABLE TOBACCO NETTING SECURELY ANCHORED TO THE SLOPE, OVERLAP A NETTING JOINTS A MINIMUM OF 4" AND SECURE WITH A DOUBLE ROW OF STAPLES.
 5. MAINTENANCE OF SEED AREAS SHALL CONSIST OF WATERING, WEEDING, CURING, REPAIR OF ALL EROSION, AND RESEEDING AS NECESSARY TO ESTABLISH A UNIFORM STAND OF GRASS. LAWNS SHALL BE WATERED IN A SATISFACTORY MANNER DURING AND IMMEDIATELY AFTER PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE. ALL AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON SHALL BE RESEED REPEATEDLY UNTIL A UNIFORM STAND IS ATTAINED.
 6. HYDROSEEDING IS AN ACCEPTABLE ALTERNATE METHOD OF SEEDING, IF UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - MATERIALS FOR HYDROSEEDING SHALL INCLUDE TACKIFIER, WOOD CELLULOSE FIBER MULCH, FERTILIZER, GROUND LIMESTONE AND WATER.
 - PROVIDE JUTE MATTING OR BIODEGRADABLE TOBACCO NETTING ON ALL SLOPES EQUAL TO OR GREATER THAN 3:1. JUTE MATTING SHALL BE C-JUTE BY CONTECH CONSTRUCTION PRODUCTS, INC, GEOJUTE BY BELTON INDUSTRIES OR APPROVED EQUAL.
 - IF PROJECT SCHEDULE REQUIRES SEEDING TO BE PERFORMED AFTER OCTOBER 15 UNTIL MARCH 31, THE FOLLOWING IS REQUIRED: AFTER HYDROSEEDING/SEEDING, THOSE VEGETATED AREAS WHICH HAVE A SLOPE EQUAL TO OR GREATER THAN 4:1 SHALL BE COVERED WITH JUTE MATTING AND STAPLED IN PLACE PER MANUFACTURER'S REQUIREMENTS. PRECAUTIONS SHALL BE TAKEN TO MINIMIZE DISTURBANCE OF THE HYDROSEED/SEED WHEN INSTALLING THE JUTE.
 - HYDROSEEDING/ SEEDING MIXTURE:
 - TACKIFIER:
 - APPLY AT A RATE OF 60 GALLONS PER ACRE.
 - WOOD CELLULOSE FIBER MULCH:
 - APPLY AT A RATE OF 2,000 POUNDS PER ACRE.
 - APPLY FERTILIZER AND LIMESTONE AT RATES DETERMINED BY SOIL ANALYSIS

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-HYDROSEEDING/ SEEDING MIXTURE:

- TACKIFIER:
 - APPLY AT A RATE OF 60 GALLONS PER ACRE.
- WOOD CELLULOSE FIBER MULCH:
 - APPLY AT A RATE OF 2,000 POUNDS PER ACRE.
- APPLY FERTILIZER AND LIMESTONE AT RATES DETERMINED BY SOIL ANALYSIS

*STRAW MULCH AND NETTING ON SLOPES 3:1 OR GREATER IS NOT REQUIRED ON HYDROSEEDING OPERATIONS IF SLOPES ARE SPRAYED WITH A BONDED FIBER MATRIX MULCH, SUCH AS FLEXTERRA BY PROFILE PRODUCTS, LLC, HYDROSTRAW BFM BY HYDROSTATION, INC., OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



Date	Description	No.
08/24/21	Revise per ZBA & Staff Comments	4
08/20/21	Revise per ZBA & Staff Comments	3
08/10/21	Revise Driveway Access	2
08/06/21	Engineering Comments	1

Revisions

Seal 1/26/21
8-25-2021

GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

Crocker Design Group

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P: 781-919-0808

Project

MULTIFAMILY RESIDENTIAL DEVELOPMENT

125 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for

SAWYER REALTY HOLDINGS, LLC

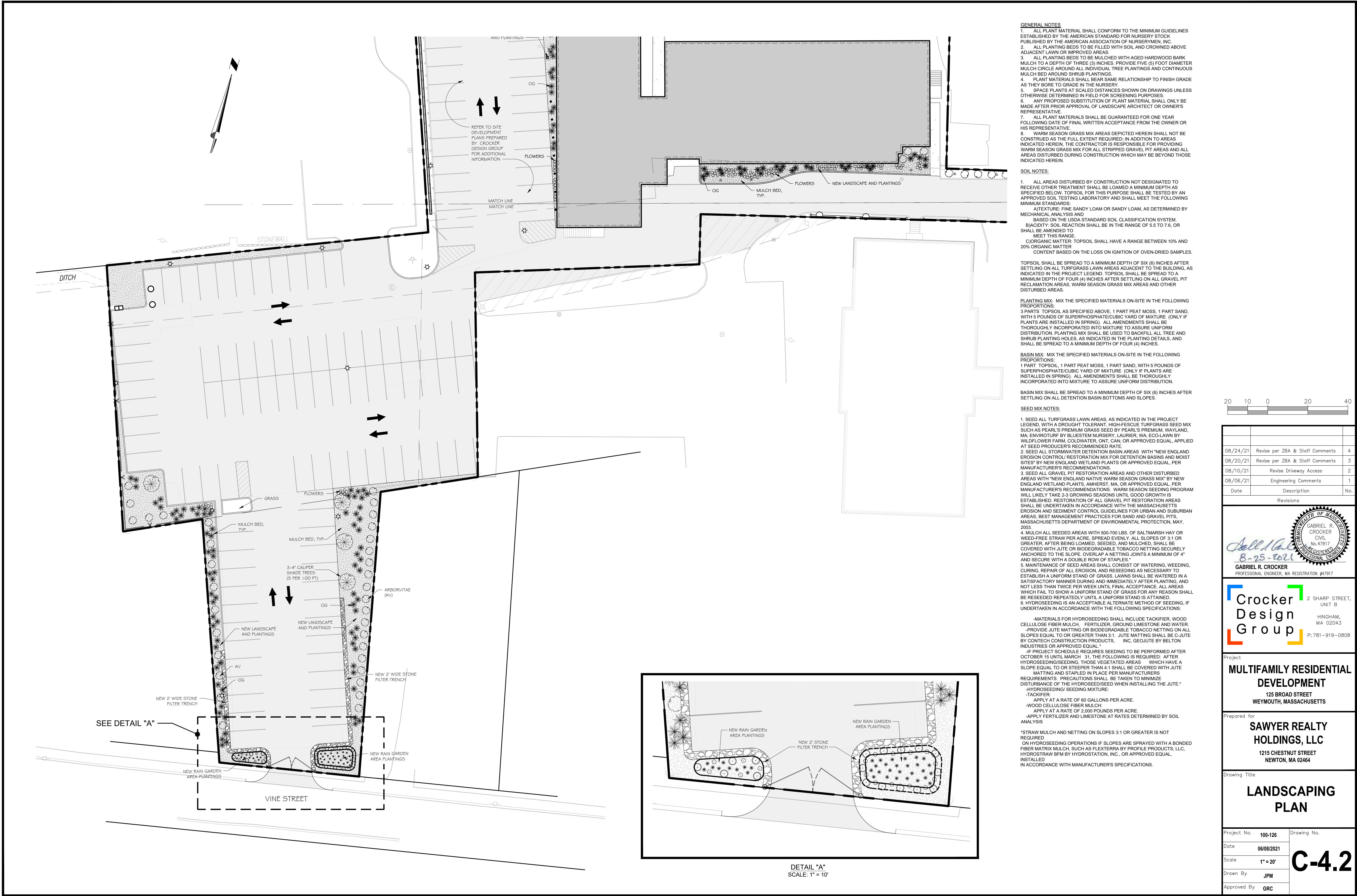
1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title

LANDSCAPING PLAN

Project No.	100-126	Drawing No.	
Date	06/08/2021		
Scale	1" = 20'		
Drawn By	JPM		
Approved By	GRC		

C-4.1



- GENERAL NOTES**
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
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 7. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.
 8. WARM SEASON GRASS MIX AREAS DEPICTED HEREIN SHALL NOT BE CONSTRUED AS THE FULL EXTENT REQUIRED; IN ADDITION TO AREAS INDICATED HEREIN, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING WARM SEASON GRASS MIX FOR ALL STRIPPED GRAVEL PIT AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION WHICH MAY BE BEYOND THOSE INDICATED HEREIN.

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 - A) TEXTURE: FINE SANDY LOAM OR SANDY LOAM, AS DETERMINED BY MECHANICAL ANALYSIS AND
 - B) BASED ON THE USDA STANDARD SOIL CLASSIFICATION SYSTEM.
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 - D) ORGANIC MATTER: TOPSOIL SHALL HAVE A RANGE BETWEEN 10% AND 20% ORGANIC MATTER CONTENT BASED ON THE LOSS ON IGNITION OF OVEN-DRIED SAMPLES.

TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL TURFGRASS LAWN AREAS ADJACENT TO THE BUILDING, AS INDICATED IN THE PROJECT LEGEND. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES AFTER SETTLING ON ALL GRAVEL PIT RECLAMATION AREAS, WARM SEASON GRASS MIX AREAS AND OTHER DISTURBED AREAS.

PLANTING MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS:
3 PARTS TOPSOIL AS SPECIFIED ABOVE, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION. PLANTING MIX SHALL BE USED TO BACKFILL ALL TREE AND SHRUB PLANTING HOLES, AS INDICATED IN THE PLANTING DETAILS, AND SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES.

BASIN MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS:
1 PART TOPSOIL, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION.

BASIN MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL DETENTION BASIN BOTTOMS AND SLOPES.

SEED MIX NOTES:

1. SEED ALL TURFGRASS LAWN AREAS, AS INDICATED IN THE PROJECT LEGEND, WITH A DROUGHT TOLERANT, HIGH-FESCUE TURFGRASS SEED MIX SUCH AS PEARL'S PREMIUM GRASS SEED BY PEARL'S PREMIUM, WAYLAND, MA. ENVIROTURF BY BLUESTEM NURSERY, LAURIER, WA; ECO-LAWN BY WILDFLOWER FARM, COLDWATER, ONT. CAN. OR APPROVED EQUAL, APPLIED AT SEED PRODUCER'S RECOMMENDED RATE.
2. SEED ALL STORMWATER DETENTION BASIN AREAS WITH "NEW ENGLAND EROSION CONTROL RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES" BY NEW ENGLAND WETLAND PLANTS OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS.
3. SEED ALL GRAVEL PIT RESTORATION AREAS AND OTHER DISTURBED AREAS WITH "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" BY NEW ENGLAND WETLAND PLANTS, AMHERST, MA, OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS. WARM SEASON SEEDING PROGRAM WILL LIKELY TAKE 2-3 GROWING SEASONS UNTIL GOOD GROWTH IS ESTABLISHED. RESTORATION OF ALL GRAVEL PIT RESTORATION AREAS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, BEST MANAGEMENT PRACTICES FOR SAND AND GRAVEL PITS, MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAY, 2003.
4. MULCH ALL SEEDED AREAS WITH 500-700 LBS. OF SALT MARSH HAY OR WEED-FREE STRAW PER ACRE. SPREAD EVENLY. ALL SLOPES OF 3:1 OR GREATER, AFTER BEING LOADED, SEEDED, AND MULCHED, SHALL BE COVERED WITH JUTE OR BIODEGRADABLE TOBACCO NETTING SECURELY ANCHORED TO THE SLOPE. OVERLAP A NETTING JOINTS A MINIMUM OF 4" AND SECURE WITH A DOUBLE ROW OF STAPLES.
5. MAINTENANCE OF SEED AREAS SHALL CONSIST OF WATERING, WEEDING, CURING, REPAIR OF ALL EROSION, AND RESEEDING AS NECESSARY TO ESTABLISH A UNIFORM STAND OF GRASS. LAWNS SHALL BE WATERED IN A SATISFACTORY MANNER DURING AND IMMEDIATELY AFTER PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE. ALL AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON SHALL BE RESEED REPEATEDLY UNTIL A UNIFORM STAND IS ATTAINED.
6. HYDROSEEDING IS AN ACCEPTABLE ALTERNATE METHOD OF SEEDING, IF UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - MATERIALS FOR HYDROSEEDING SHALL INCLUDE TACKIFIER, WOOD CELLULOSE FIBER MULCH, FERTILIZER, GROUND LIMESTONE AND WATER. PROVIDE JUTE MATTING OR BIODEGRADABLE TOBACCO NETTING ON ALL SLOPES EQUAL TO OR GREATER THAN 3:1. JUTE MATTING SHALL BE C-JUTE BY CONTECH CONSTRUCTION PRODUCTS, INC. GEOJUTE BY BELTON INDUSTRIES OR APPROVED EQUAL.
 - IF PROJECT SCHEDULE REQUIRES SEEDING TO BE PERFORMED AFTER OCTOBER 15 UNTIL MARCH 31, THE FOLLOWING IS REQUIRED: AFTER HYDROSEEDING/SEEDING, THOSE VEGETATED AREAS WHICH HAVE A SLOPE EQUAL TO OR STEEPER THAN 4:1 SHALL BE COVERED WITH JUTE MATTING AND STAPLED IN PLACE PER MANUFACTURER'S REQUIREMENTS. PRECAUTIONS SHALL BE TAKEN TO MINIMIZE DISTURBANCE OF THE HYDROSEED/SEED WHEN INSTALLING THE JUTE.
 - HYDROSEEDING/ SEEDING MIXTURE:
 - TACKIFIER:
 - APPLY AT A RATE OF 60 GALLONS PER ACRE.
 - WOOD CELLULOSE FIBER MULCH:
 - APPLY AT A RATE OF 2,000 POUNDS PER ACRE.
 - APPLY FERTILIZER AND LIMESTONE AT RATES DETERMINED BY SOIL ANALYSIS

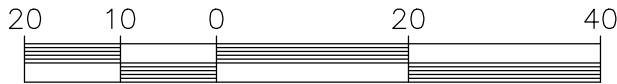
- MATERIALS FOR HYDROSEEDING SHALL INCLUDE TACKIFIER, WOOD CELLULOSE FIBER MULCH, FERTILIZER, GROUND LIMESTONE AND WATER. PROVIDE JUTE MATTING OR BIODEGRADABLE TOBACCO NETTING ON ALL SLOPES EQUAL TO OR GREATER THAN 3:1. JUTE MATTING SHALL BE C-JUTE BY CONTECH CONSTRUCTION PRODUCTS, INC. GEOJUTE BY BELTON INDUSTRIES OR APPROVED EQUAL.

- IF PROJECT SCHEDULE REQUIRES SEEDING TO BE PERFORMED AFTER OCTOBER 15 UNTIL MARCH 31, THE FOLLOWING IS REQUIRED: AFTER HYDROSEEDING/SEEDING, THOSE VEGETATED AREAS WHICH HAVE A SLOPE EQUAL TO OR STEEPER THAN 4:1 SHALL BE COVERED WITH JUTE MATTING AND STAPLED IN PLACE PER MANUFACTURER'S REQUIREMENTS. PRECAUTIONS SHALL BE TAKEN TO MINIMIZE DISTURBANCE OF THE HYDROSEED/SEED WHEN INSTALLING THE JUTE.

- HYDROSEEDING/ SEEDING MIXTURE:

- TACKIFIER:
 - APPLY AT A RATE OF 60 GALLONS PER ACRE.
- WOOD CELLULOSE FIBER MULCH:
 - APPLY AT A RATE OF 2,000 POUNDS PER ACRE.
- APPLY FERTILIZER AND LIMESTONE AT RATES DETERMINED BY SOIL ANALYSIS

*STRAW MULCH AND NETTING ON SLOPES 3:1 OR GREATER IS NOT REQUIRED ON HYDROSEEDING OPERATIONS IF SLOPES ARE SPRAYED WITH A BONDED FIBER MATRIX MULCH, SUCH AS FLEXITERM BY PROFILE PRODUCTS, LLC, HYDROSTRAW BFM BY HYDROSTATION, INC., OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



Date	Description	No.
08/24/21	Revise per ZBA & Staff Comments	4
08/20/21	Revise per ZBA & Staff Comments	3
08/10/21	Revise Driveway Access	2
08/06/21	Engineering Comments	1

Revisions

Seal of the Commonwealth of Massachusetts
Gabriel R. Crocker
8-25-2021
GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

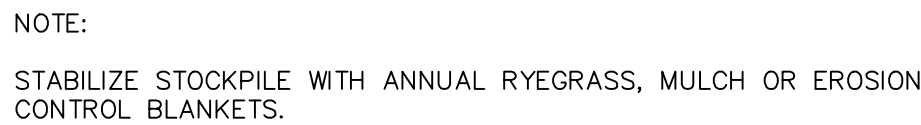
Crocker Design Group
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

Project
MULTIFAMILY RESIDENTIAL DEVELOPMENT
125 BROAD STREET
WEYMOUTH, MASSACHUSETTS

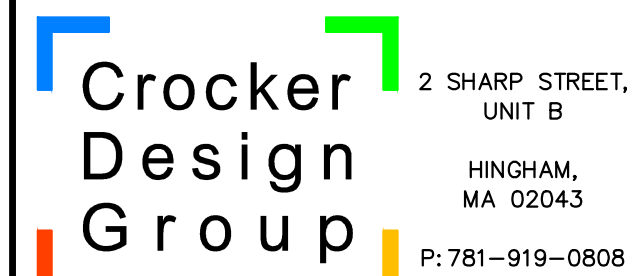
Prepared for
SAWYER REALTY HOLDINGS, LLC
1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title
LANDSCAPING PLAN

Project No.	100-126	Drawing No.	C-4.2
Date	06/08/2021		
Scale	1" = 20'		
Drawn By	JPM		
Approved By	GRC		



Revisions

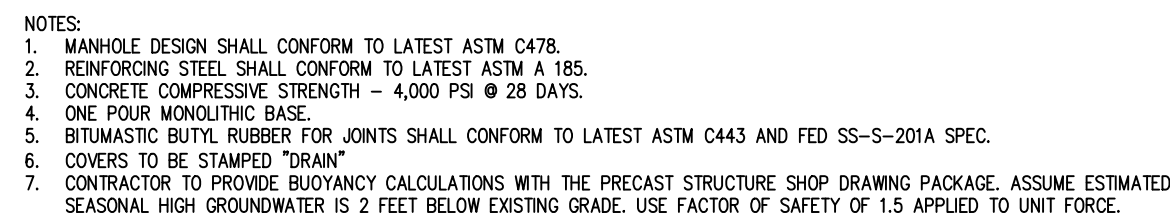


Prepared for

**SAWYER REALTY
HOLDINGS, LLC**

1215 CHESTNUT STREET
NEWTON, MA 02464

Project No.	100-126	Drawing No. <div style="font-size: 48pt; font-weight: bold; text-align: center;">C-5.1</div>
Date	06/08/2021	
Scale	NONE	
Drawn By	JPM	
Approved By	GRC	



DOUBLE CATCH BASIN FRAME & GRATE (48"X24")
US FOUNDRY CAT: USA 8019 OR APPRV. EQUAL

FINISH GRADE

MORTAR SHELFL

24"X36" OPENING

SEE NOTE 3.

5'-0"

4'-0" (MIN.)

INVERT

OUTLET

4" VANE

EXTENDED BASE (SEE NOTE 6)

8" CRUSHED STONE BASE

COMPACTED SUBGRADE OR UNDISTURBED SOIL OR LEDGE

NOTES:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
4. DOUBLE CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (5 BRICK COURSES MAXIMUM).
5. UTILIZE CURVED VANE GRATES WHERE CATCH BASIN IS ON AN INLINE SLOPE CONDITION (MODEL 8020 OR APPROVED EQUAL).
6. CONTRACTOR TO PROVIDE BUOYANCY CALCULATIONS WITH THE PRECAST STRUCTURE SHOP DRAWING PACKAGE. ASSUME ESTIMATED SEASONAL HIGH GROUNDWATER IS 2 FEET BELOW EXISTING GRADE. USE FACTOR OF SAFETY OF 1.5 APPLIED TO UNIT FORCE.

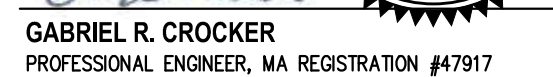
STONE TRENCH WITH STEPPED BOTTOM DETAIL

Bio Clean™
A Forterra Company



08/24/21	Revise per ZBA & Staff Comments	4
08/20/21	Revise per ZBA & Staff Comments	3
08/10/21	Revise Driveway Access	2
08/06/21	Engineering Comments	1
Date	Description	No.

Revisions



**Crocker
Design
Group**

2 SHARP STREET,
UNIT B
HINGHAM,
MA 02043
P: 781-919-0808

Project

**MULTIFAMILY RESIDENTIAL
DEVELOPMENT**

125 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for

**SAWYER REALTY
HOLDINGS, LLC**

1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title

DETAIL SHEET

Project No.	100-126	Drawing No. <div style="font-size: 48pt; font-weight: bold; text-align: center;">C-5.2</div>
Date	06/08/2021	
Scale	AS NOTED	
Drawn By	JPM	
Approved By	GRC	

C-5.2

Lumark

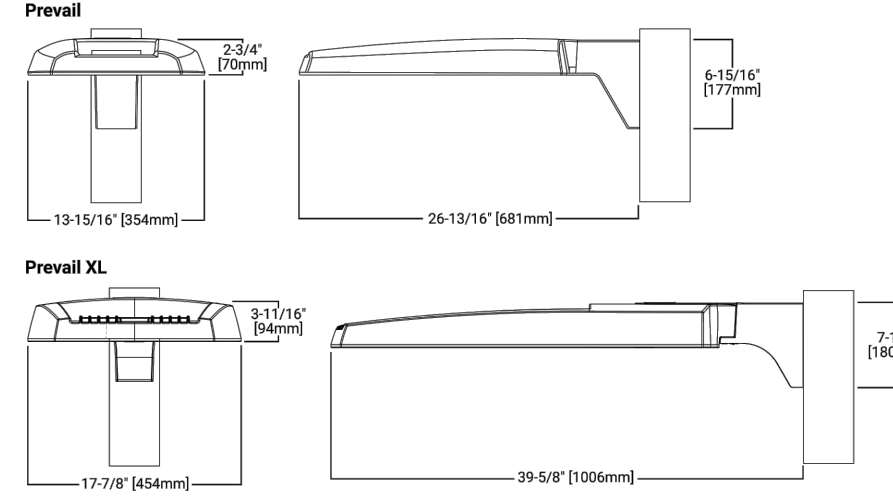
PRV / PRV-XL Prevail LED

Area / Site Luminaire

Product Features



Dimensional Details

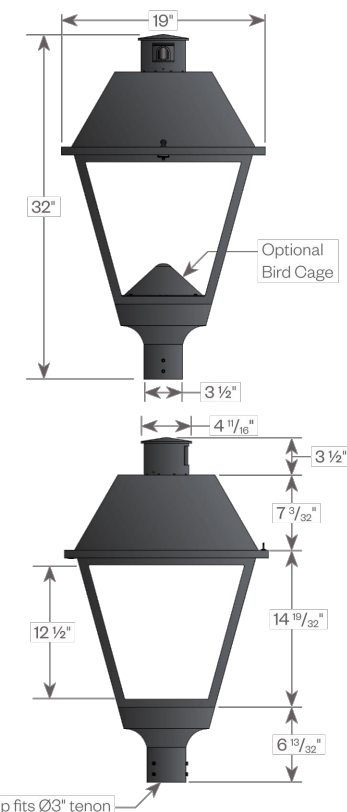


COACH STYLE LANTERN

Post Top Mount

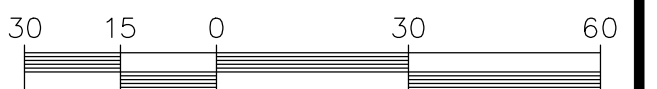


PROJECT:



LEGEND:

MH = MOUNTING HEIGHT



Date	Description	No.
08/24/21	Revise per ZBA & Staff Comments	4
08/20/21	Revise per ZBA & Staff Comments	3
08/10/21	Revise Driveway Access	2
08/06/21	Engineering Comments	1

GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

Crocker Design Group
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

Project
MULTIFAMILY RESIDENTIAL DEVELOPMENT
125 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for
SAWYER REALTY HOLDINGS, LLC
1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title
SITE LIGHTING PLAN

Project No. 100-126
Date 06/08/2021
Scale 1" = 30'
Drawn By JPM
Approved By GRC

C-6

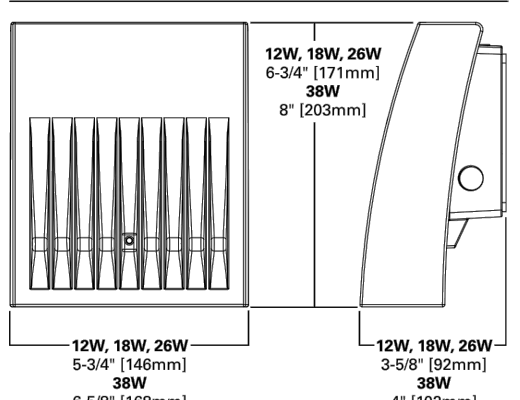
Luminaire Schedule

Symbol	Label	Lum. Lumens	Lum. Watts	LLF	Description	Qty
-	S1	6437	52	0.900	LUMARK: PRV-C15-D-UNV-T4-BZ-HSS	7
-	S3	6460	52	0.900	LUMARK: PRV-C15-D-UNV-T3-BZ-HSS	5
+	D	2257	24.272	0.900	AMERLUX: CSL-P_1M_3K_T5 12' MH	11
	WP	1997	18.2	0.900	LUMARK: XTOR2B-Y	12
-	S2	6551	52	0.900	LUMARK: PRV-C15-D-UNV-T2-BZ-HSS	1
	WP- DIMMED	1997	18.2	0.300	LUMARK: XTOR2B-Y	1

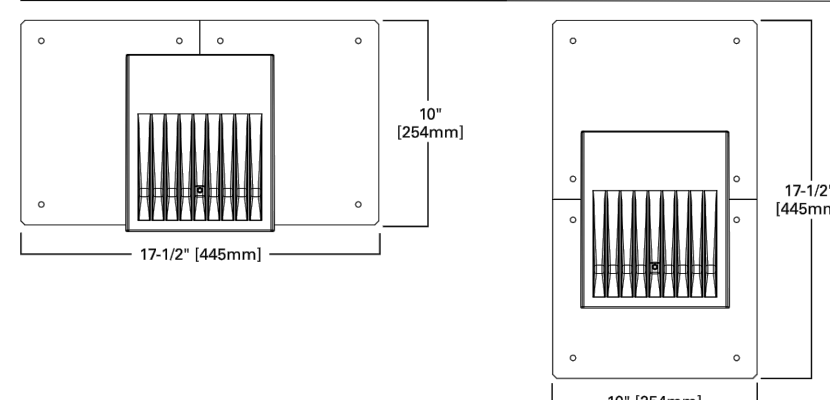


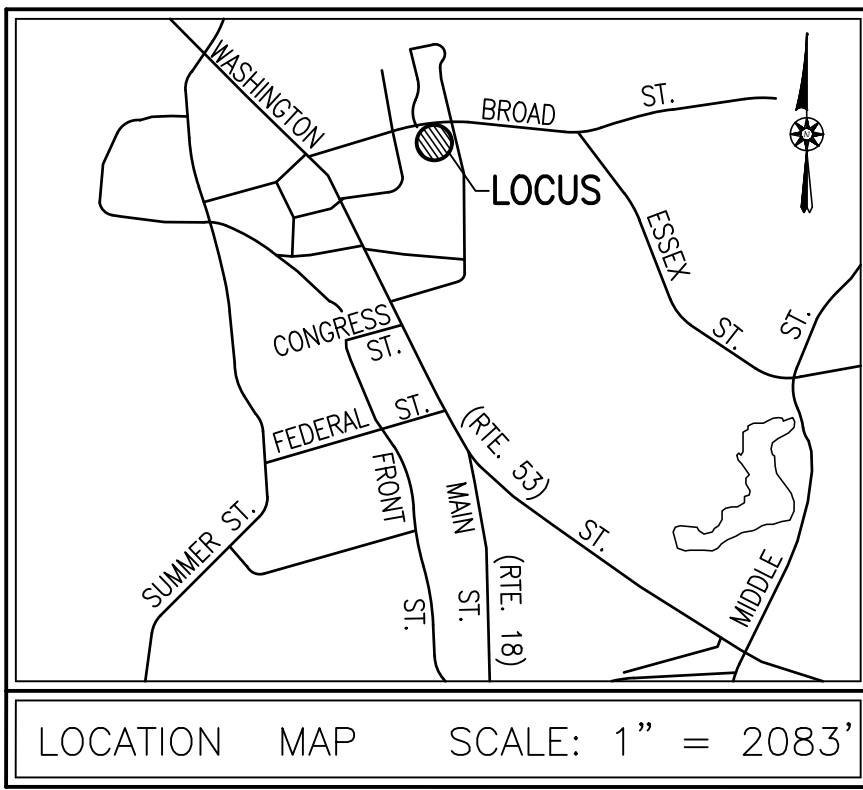
XTOR CROSSTOUR LED

DIMENSIONS



ESCUTCHEON PLATES





RECORD OWNER:
125 BROAD STREET
ASSESSORS MAP 20 BLOCK 274 LOT 16
87 VINE STREET
ASSESSORS MAP 20 BLOCK 274 LOT 10
SRH BROAD LLC
1215 CHESTNUT STREET
NEWTON, MA 02464
DEED BOOK 38956 PAGE 299

PLAN REFERENCES:

1. PLAN No. 307 OF 1955 BOOK 3351 PAGE 537
2. PLAN No. 1528 OF 1955 BOOK 3425 PAGE 600
3. PLAN No. 718 OF 1962 BOOK 3997 PAGE 193
4. PLAN No. 101 OF 1975 BOOK 5110 PAGE 744
5. PLAN No. 001 OF 2011 BOOK 608
6. LAND COURT PLAN 7107B BOOK 39 PAGE 43
7. LAND COURT PLAN 8461A

NOTES:

1. PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE NORFOLK COUNTY REGISTRY OF DEEDS AND WEYMOUTH TOWN HALL.
2. TOPOGRAPHIC AND DETAIL INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ACTUAL ON THE GROUND SURVEY PERFORMED BY CROCKER DESIGN GROUP LLC DURING FEBRUARY OF 2021.
3. THE SUBJECT SITE IS LOCATED WITHIN THE "RESIDENCE 4" ZONING DISTRICT AS DEPICTED ON THE TOWN OF WEYMOUTH ZONING MAP.
4. ELEVATIONS SHOWN HEREON REFERENCED TO THE TOWN OF WEYMOUTH VERTICAL DATUM.
5. UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.

ENVIRONMENTAL NOTES:

1. SITE IS NOT WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
2. SITE IS NOT WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE PER NHESP MAP AUGUST 1, 2017 "ESTIMATED HABITATS OF RARE WILDLIFE" FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10)."
3. SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP AUGUST 1, 2017 "CERTIFIED VERNAL POOLS."
4. SITE IS NOT WITHIN A PRIORITY HABITAT PER NHESP MAP AUGUST 1, 2017 "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR10).
5. SITE IS NOT LOCATED WITHIN A STATE APPROVED ZONE II GROUND WATER RECHARGE PROTECTION AREA.
6. NO WETLAND RESOURCE AREAS WERE OBSERVED DURING THE SURVEY.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON FEMA FIRM MAP No. 2502100229E, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

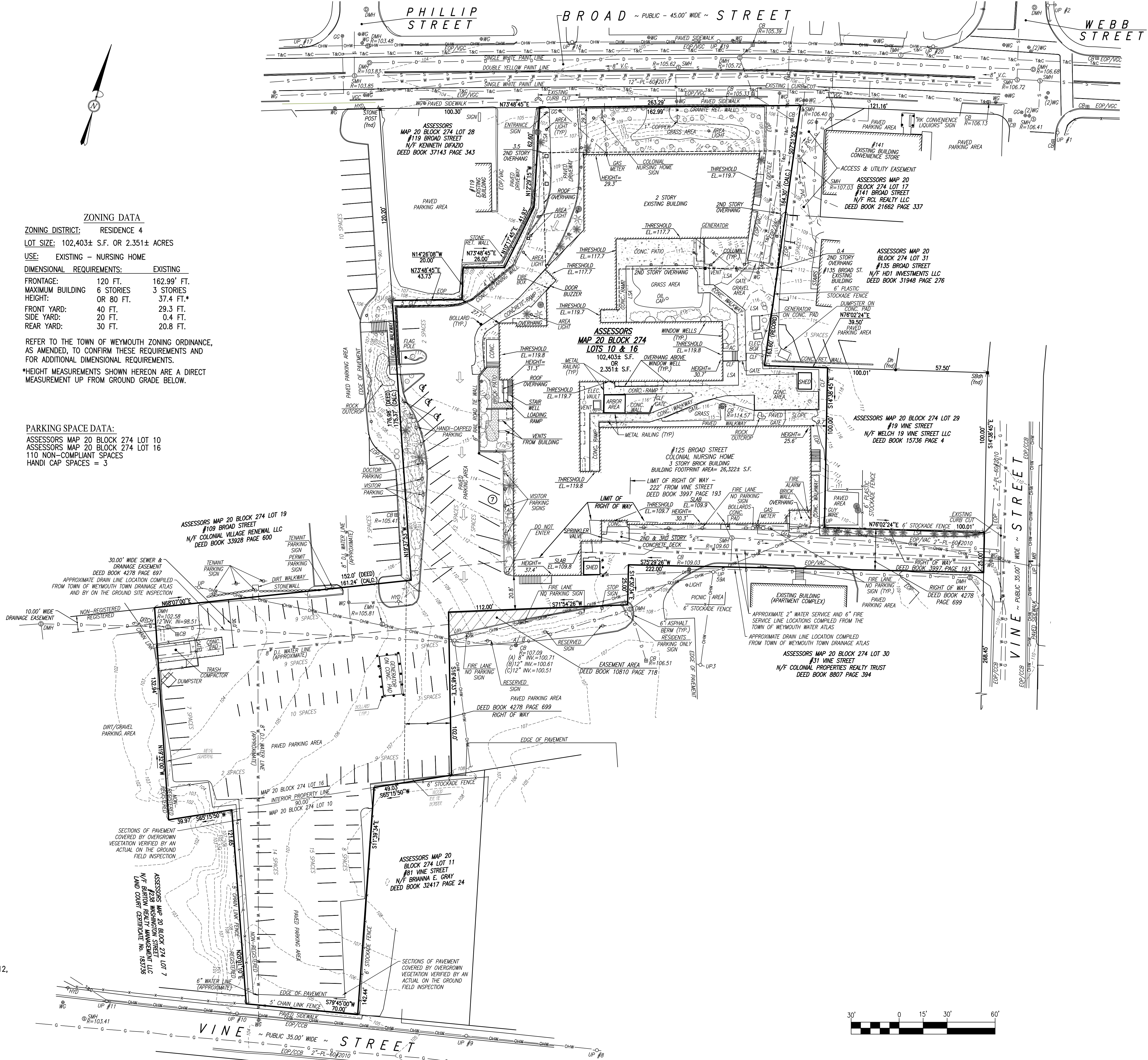
ZONING DATA

ZONING DISTRICT: RESIDENCE 4
LOT SIZE: 102,403± S.F. OR 2.351± ACRES
USE: EXISTING - NURSING HOME
DIMENSIONAL REQUIREMENTS: EXISTING
FRONTAGE: 120 FT. 162.99' FT.
MAXIMUM BUILDING: 6 STORIES 3 STORIES
HEIGHT: OR 80 FT. 37.4 FT.*
FRONT YARD: 40 FT. 29.3 FT.
SIDE YARD: 20 FT. 0.4 FT.
REAR YARD: 30 FT. 20.8 FT.

REFER TO THE TOWN OF WEYMOUTH ZONING ORDINANCE, AS AMENDED, TO CONFIRM THESE REQUIREMENTS AND FOR ADDITIONAL DIMENSIONAL REQUIREMENTS.
*HEIGHT MEASUREMENTS SHOWN HEREON ARE A DIRECT MEASUREMENT UP FROM GROUND GRADE BELOW.

PARKING SPACE DATA:

ASSESSORS MAP 20 BLOCK 274 LOT 10
ASSESSORS MAP 20 BLOCK 274 LOT 16
110 NON-COMPLIANT SPACES
HANDI CAP SPACES = 3



LEGEND

EXISTING	DESCRIPTION
---	1' CONTOUR
---	SPOT ELEVATION
---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL
---	VGC
---	VERTICAL GRANITE CURB
---	SGC
---	CAPE COD BERM
---	VAC
---	VERTICAL ASPHALT CURB
---	VCC
---	VERTICAL CONCRETE CURB
---	EXIST. FENCE
---	EXIST. GUARD RAIL
---	GUARDRAIL
---	GAS LINE
---	DRAIN LINE
---	TELECOM
---	SEWER LINE
---	WATER LINE
---	OVERHEAD WIRE
---	TELE. & COMM.
---	HYDRANT
---	WATER GATE
---	ELECTRICAL METER
---	GAS METER
---	LIGHT
---	UTILITY POLE
---	SEWER MANHOLE
---	UNDERTREED MANHOLE
---	TELEPHONE MANHOLE
---	ELECTRICAL MANHOLE
---	DRAIN MANHOLE
---	CATCH BASIN
---	LANDSCAPING

Date	Description	No.
8/24/21	RESPONSE TO ENG. DEPT. COMMENTS	2.
8/10/21	EXISTING DRAINAGE UPDATES	1.



SHANE M. BRENNER
PROFESSIONAL LAND SURVEYOR, MA REGISTRATION #45917

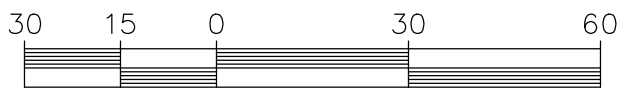
Crocker Design Group
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

Project
125 BROAD STREET
MAP 20 BLOCK 274 LOT 16
87 VINE STREET
MAP 20 BLOCK 274 LOT 10

Prepared for
SRH BROAD LLC
1215 CHESTNUT STREET
NEWTON, MA 02464

Drawing Title
EXISTING CONDITIONS PLAN

Project No.	100-106	Drawing No.	
Date	6-3-2021		
Scale	1"=30'		1 OF 1
Drawn By	SMB		
Approved By	SMB		



Date	Description	No.
08/10/21	Revise Driveway Access	1

GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

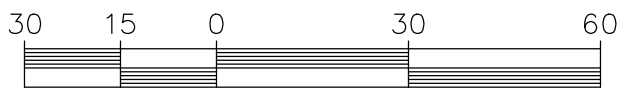
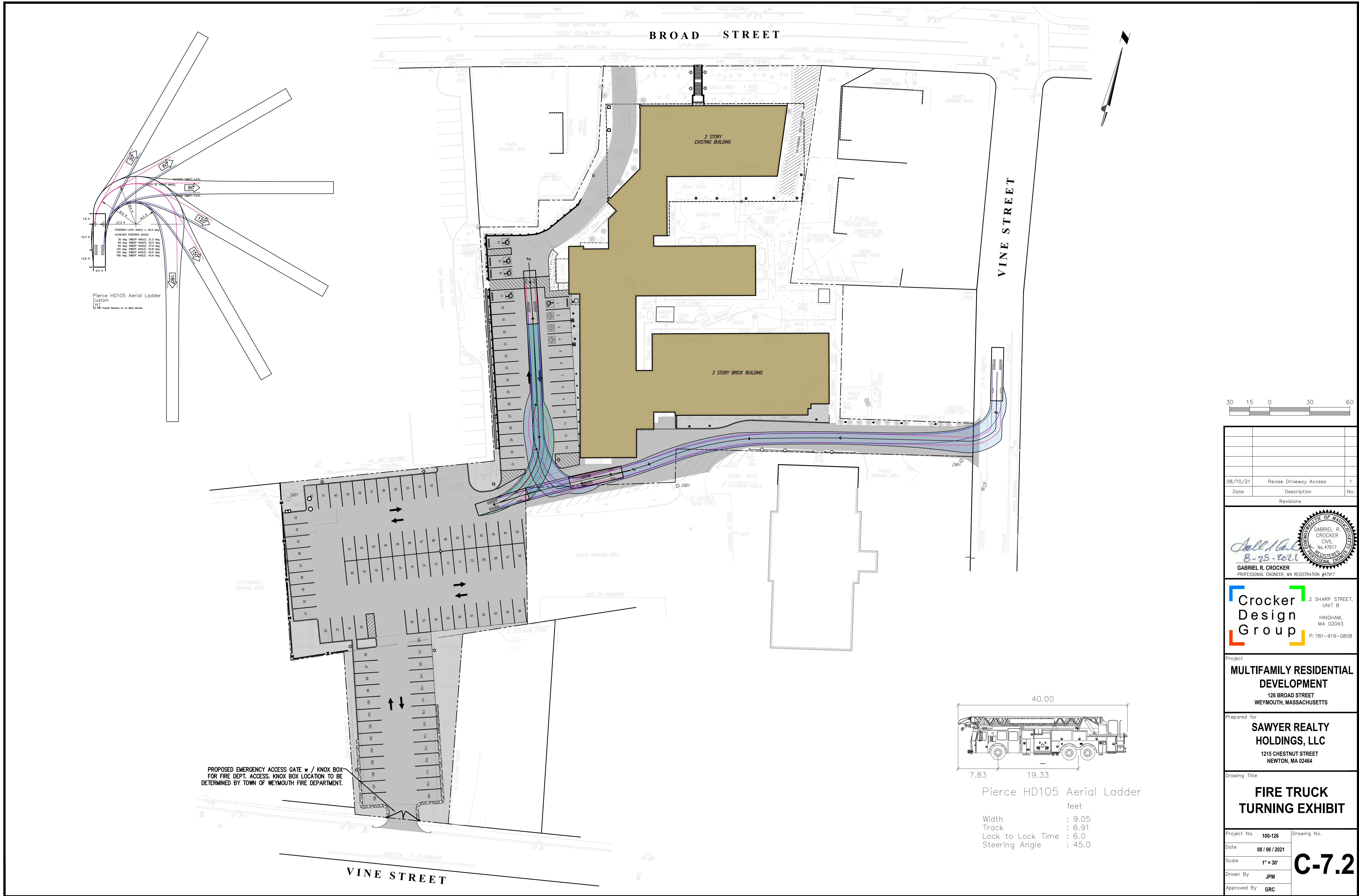
Crocker Design Group
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

MULTIFAMILY RESIDENTIAL DEVELOPMENT
126 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for
SAWYER REALTY HOLDINGS, LLC
1215 CHESTNUT STREET
NEWTON, MA 02464

FIRE TRUCK TURNING EXHIBIT

Project No.	100-126	Drawing No.	C-7.1
Date	08 / 06 / 2021		
Scale	1" = 30'		
Drawn By	JPM		
Approved By	GRC		



Date	Description	No.
08/10/21	Revise Driveway Access	1

Seal
8-25-2021
GABRIEL R. CROCKER
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

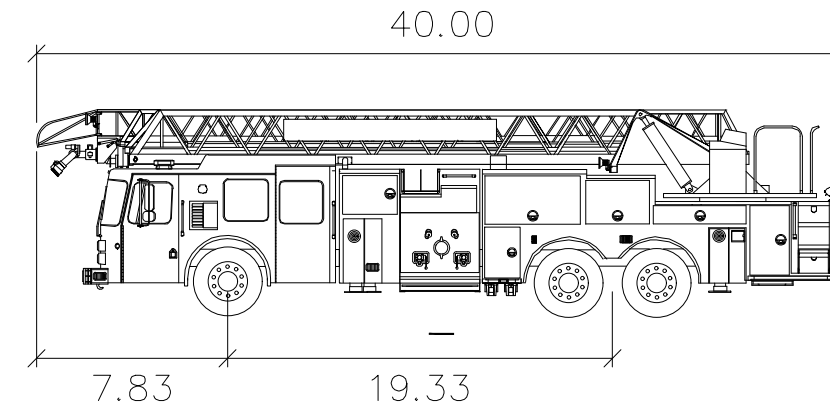
Crocker Design Group
2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

Project
MULTIFAMILY RESIDENTIAL DEVELOPMENT
126 BROAD STREET
WEYMOUTH, MASSACHUSETTS

Prepared for
SAWYER REALTY HOLDINGS, LLC
1215 CHESTNUT STREET
NEWTON, MA 02464

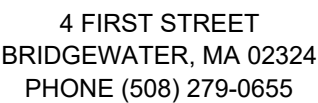
Drawing Title
FIRE TRUCK TURNING EXHIBIT

Project No.	100-126	Drawing No.	C-7.2
Date	08 / 06 / 2021		
Scale	1" = 30'		
Drawn By	JPM		
Approved By	GRC		

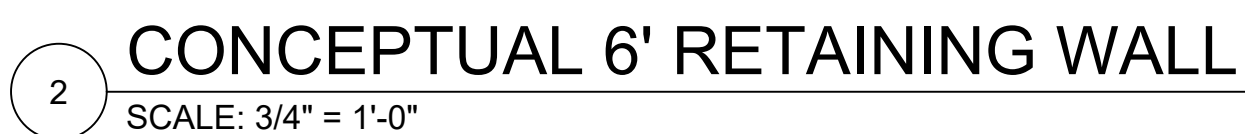
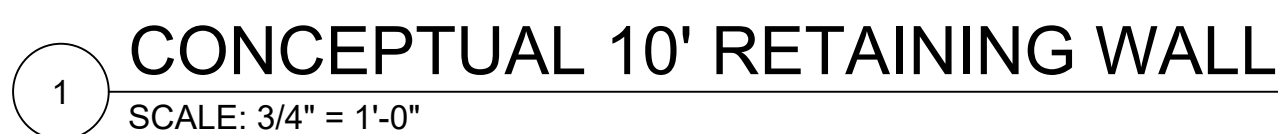


Pierce HD105 Aerial Ladder

Width	: 9.05
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 45.0



CONCEPTUAL
ONLY:
NOT FOR
CONSTRUCTION



PROJECT		SCHEMATIC RETAINING WALL DESIGN SKETCH 125 BROAD STREET WEYMOUTH, MA 02188		OWNER SAWYER REALTY HOLDINGS LLC 1215 CHESTNUT STREET NEWTON, MA 02464	
NO.	NOTE	DESCRIPTION		BY	
PROJECT NO.		21.04.051			
CADD FILE:					
DESIGNED BY:		DAM			
DRAWN BY:		JNL			
CHECKED BY:					
DATE:		6/2/2021			
DRAWING SCALE:		3/4" = 1'-0"			
GRAPHIC SCALE					
SHEET TITLE					
CONCEPTUAL RETAINING WALL DESIGN					
		DRAWING NO.			
		SK-01			
		1 OF 1			