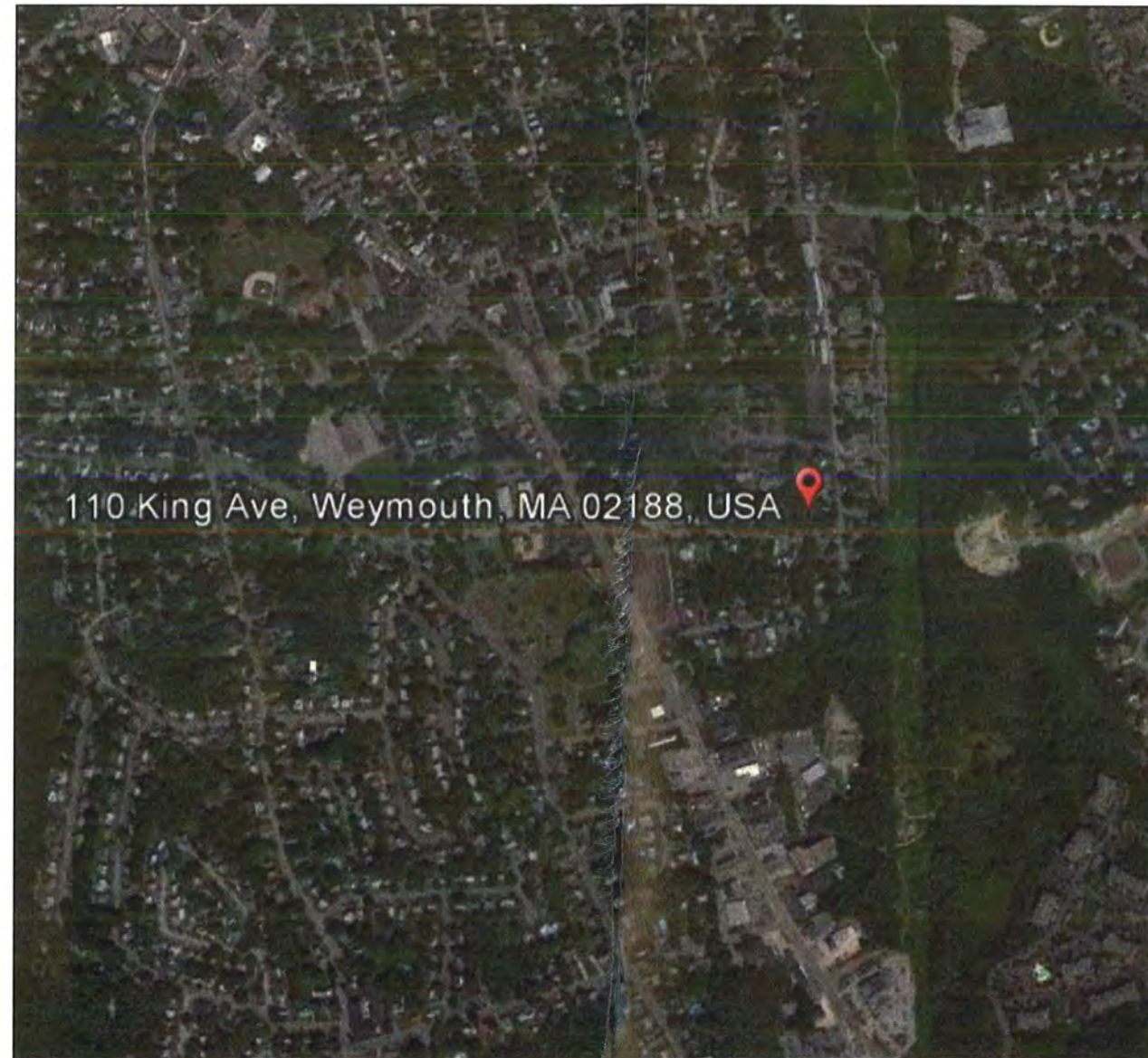
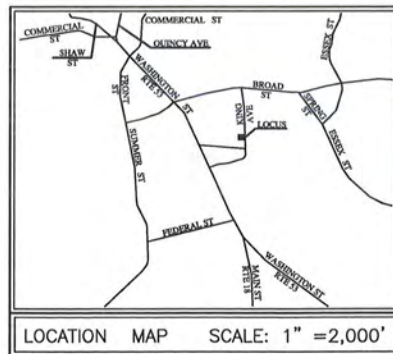


Copyright © by Merrill Corporation. All rights reserved. This drawing is the property of Merrill Corporation and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the express written consent of Merrill Associates, Inc. with the exception of those portions specifically identified as being the property of another entity. Any reproduction or use of this drawing without the express written consent of Merrill Associates, Inc. shall render it unusable.



— VICINITY MAP —
SCALE: 1"=500'



SITE PLAN

110 KING AVENUE
WEYMOUTH, MA
ASSESSORS BLOCK 282 LOT 37

SHEET	DESCRIPTION
C1.1	COVER SHEET
C2.1	EXISTING CONDITIONS
C3.1	LAYOUT & ZONING
C4.1	CONSTRUCTION
C5.1	LIGHTING PLAN
L1.1	LANDSCAPING
C6.1	DETAILS
C6.2	DETAILS
C6.3	DETAILS
C6.4	DETAILS
A1-A4	ARCHITECTURAL PLANS

CIVIL ENGINEER: MERRILL CORPORATION
ARCHITECT: WALLY McKINNON
LANDSCAPE ARCHITECT: CARIN GOSSELIN

REVISIONS	
DRAWN BY: MC/KH	
DESIGNED BY: MC/DA	
CHECKED BY: TAP	
 Merrill Engineers and Land Surveyors 427 Columbia Road, Hanover, MA 02339 Telephone: 781-826-9200 Fax: 781-826-6665	
SITE PLAN #110 KING AVENUE ASSESSORS MAP 20 BLOCK 282 LOT 37 WEYMOUTH, MASSACHUSETTS PREPARED FOR: WILLIAM HERLIHY 110 KING AVENUE WEYMOUTH, MA 02188	
AUGUST 18, 2014	
SCALE: AS NOTED	
JOB No. 14-073	
LATEST REVISION:	
PERMIT SET NOT FOR CONSTRUCTION	
SHEET C1.1	

RECORD OWNER:
ASSESSORS BLOCK 282 LOT 37
110 KING AVENUE

110 KING AVENUE REALTY TRUST
110 KING AVENUE
WEYMOUTH, MA 02188
DEED BOOK 8657 PAGE 295

FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN
ZONE "X" OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON
COMMUNITY PANEL No. 250257 0229E, WHICH BEARS AN
EFFECTIVE DATE OF JULY 17, 2012, AND IS NOT IN A SPECIAL
FLOOD HAZARD AREA.

- NOTES:
- 1.) PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE NORFOLK COUNTY REGISTRY OF DEEDS AND THE TOWN OF WEYMOUTH ASSESSORS DEPARTMENT.
 - 2.) TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY MERRILL CORPORATION ON MAY 28, 2014.
 - 3.) ALL ELEVATIONS ARE BASED ON SEWER INVERT TAKEN FROM MANHOLE SHOWN AT STATION 36+42.13 ON PLAN ENTITLED "SEWER RECORD PLAN, KING AVENUE, PLAN No.69R517" DATED NOVEMBER OF 1977, PREPARED BY THE WEYMOUTH DEPARTMENT OF PUBLIC WORKS.
 - 4.) SUBJECT SITE IS IN THE "RESIDENCE DISTRICT 1" ZONE AS DEPICTED ON THE TOWN OF WEYMOUTH ZONING MAP DATED DECEMBER 1, 2012.
 - 5.) EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE AND AVAILABLE RECORD PLANS AND ARE TO BE CONSIDERED APPROXIMATE. MERRILL CORPORATION DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.

REVISIONS



DRAWN BY: MC/KH

DESIGNED BY: MC/DA

CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
427 Columbia Road, Haverhill, MA 02339
Telephone: 781-826-9200 Fax: 781-826-6665

SITE PLAN
#110 KING AVENUE
ASSESSORS MAP 20 BLOCK 282 LOT 37
WEYMOUTH, MASSACHUSETTS
PREPARED FOR: WILLIAM HERLIHY
110 KING AVENUE
WEYMOUTH, MA 02188

AUGUST 18, 2014

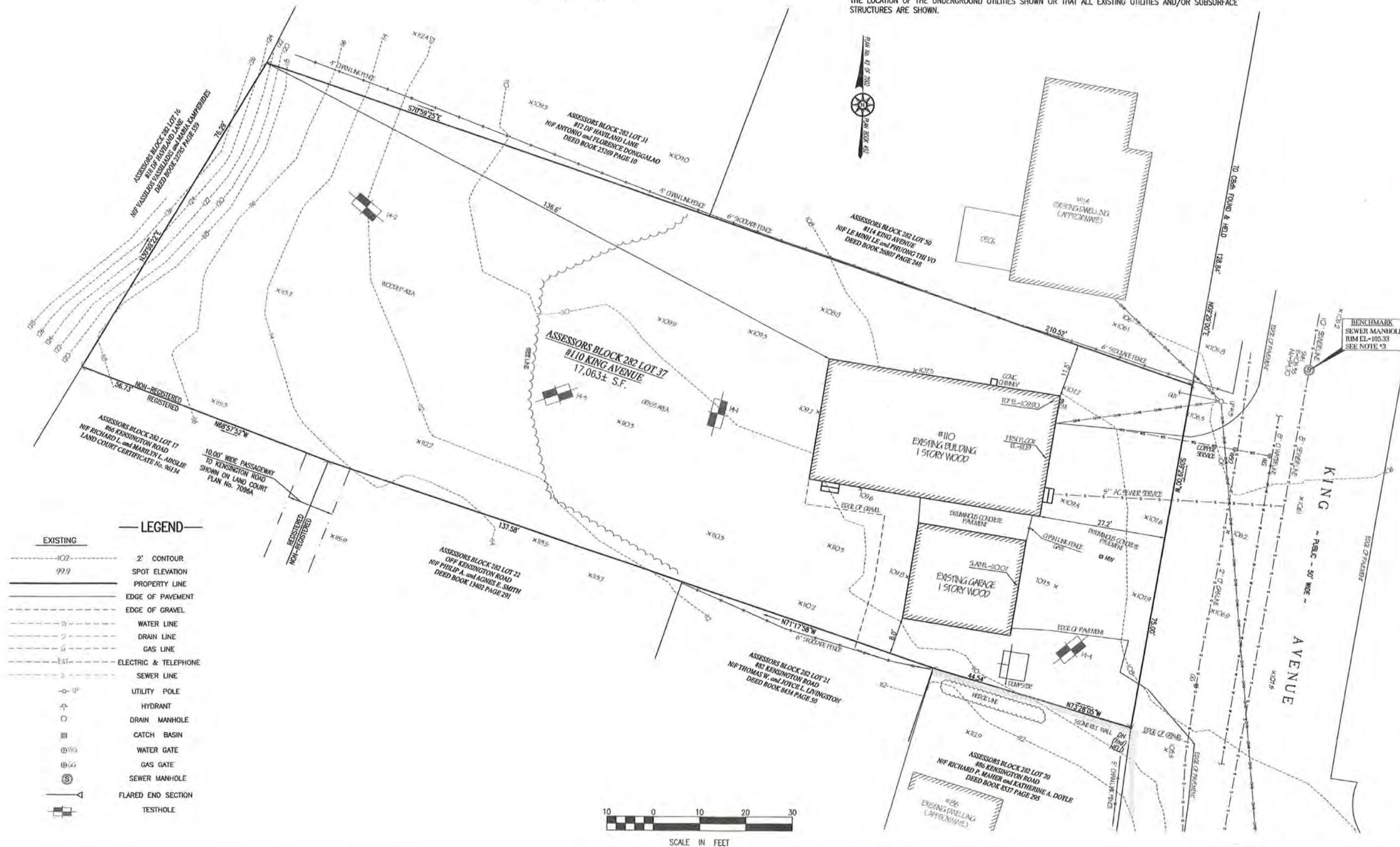
SCALE: 1"=10'

JOB No. 14-073

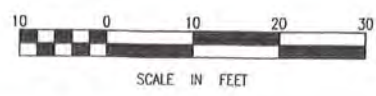
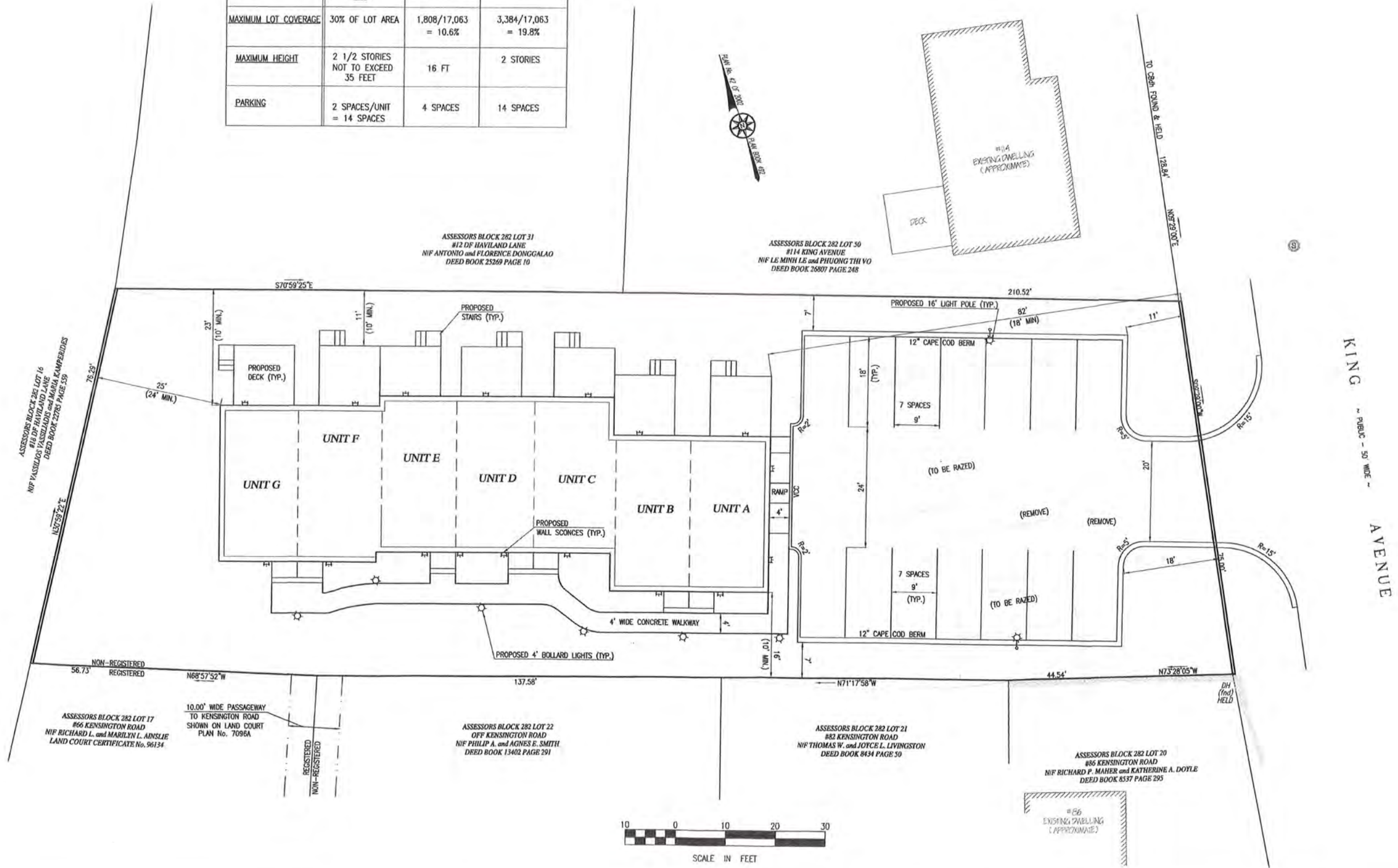
LATEST REVISION:

EXISTING CONDITIONS

SHEET C2.1



ZONING DISTRICT: R-1 TOWN OF WEYMOUTH, MA SCHEDULE OF DISTRICT REGULATIONS			
	REQUIREMENT	EXISTING	PROPOSED
MINIMUM LOT SIZE	25,000 S.F.	17,063± S.F.	17,063± S.F.
MINIMUM LOT AREA (PER DWELLING UNIT)	25,000 S.F.	17,063± S.F.	17,063± S.F.
MINIMUM LOT WIDTH	120 FT	75 FT	75 FT
MINIMUM FRONT YARD DEPTH	18 FT	27.2 FT	82 FT
MINIMUM SIDE YARD DEPTH	10 FT; 20 FT OF ANY DWELLING	8 FT	11 FT
MINIMUM REAR YARD DEPTH	24 FT OR 1/5 OF DEPTH OF LOT, WHICHEVER IS LESS	136 FT	25 FT
MAXIMUM LOT COVERAGE	30% OF LOT AREA	1,808/17,063 = 10.6%	3,384/17,063 = 19.8%
MAXIMUM HEIGHT	2 1/2 STORIES NOT TO EXCEED 35 FEET	16 FT	2 STORIES
PARKING	2 SPACES/UNIT = 14 SPACES	4 SPACES	14 SPACES



REVISIONS

D.M. Altorello 8/20/14

DRAWN BY: MC/KH

DESIGNED BY: MC/DA

CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
427 Columbia Road, Hanover, MA 02339
Telephone: 781-826-9200 Fax: 781-826-6665

SITE PLAN
#110 KING AVENUE
ASSESSORS MAP 20 BLOCK 282 LOT 37
WEYMOUTH, MASSACHUSETTS
PREPARED FOR: WILLIAM HERLIHY
110 KING AVENUE
WEYMOUTH, MA 02188

AUGUST 18, 2014

SCALE: 1"=10'

JOB No. 14-073

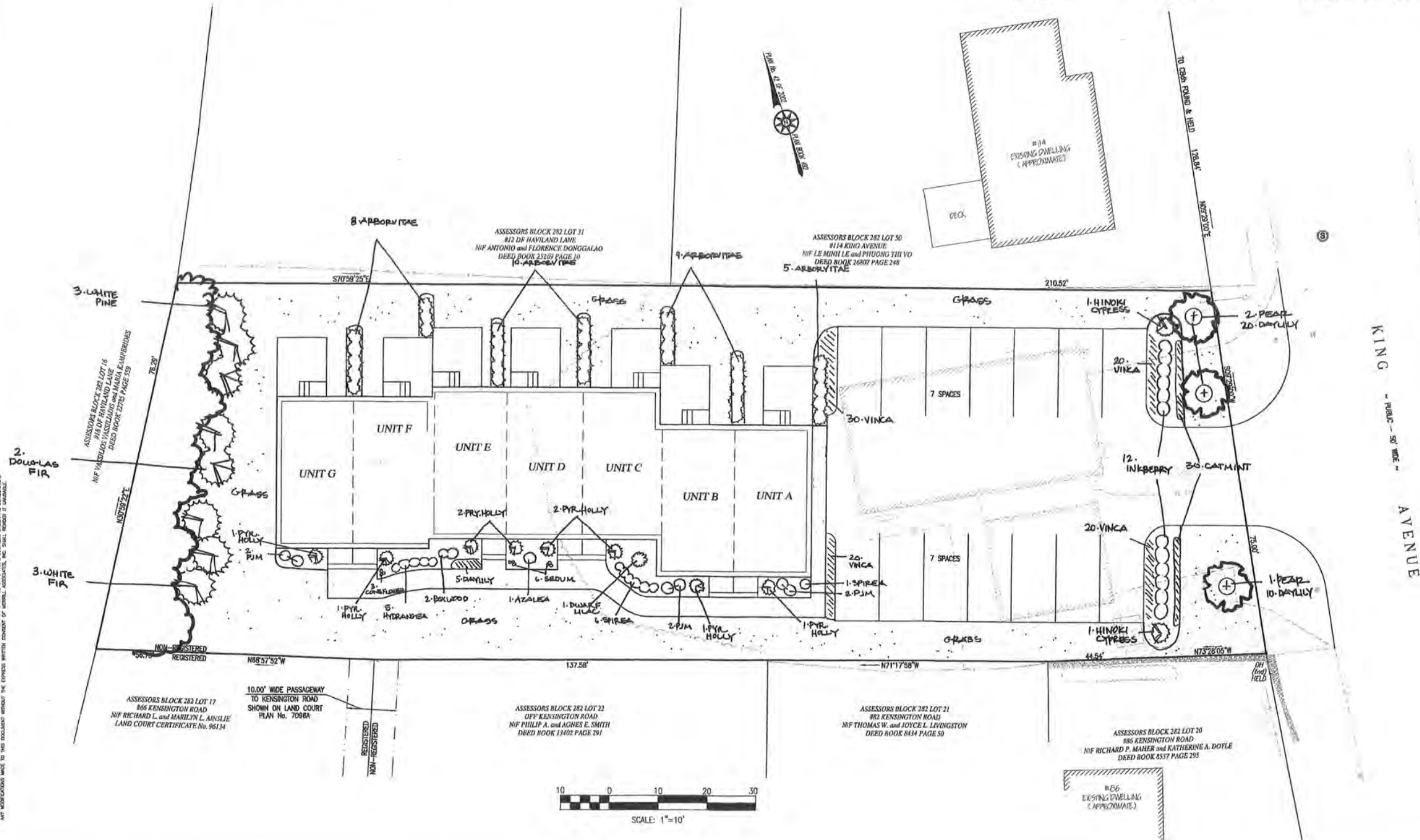
LATEST REVISION:

LAYOUT

SHEET C3.1

- To provide street trees that will keep their shape and tolerate snow, sand, drought, wind.
- To provide areas in the parking lot that snow can be plowed. By planting vinca, they can have snow on top of them in the winter and can tolerate foot traffic better than grass.
- To provide an evergreen hedge between the parking lot and King Avenue to hinder the view to the parking lot from the street.
- To provide privacy in between the back of the units with a narrow, tall, hardy, evergreen hedge. The Emerald Green variety has a single leader and stiff branching so it tends not to fall over during heavier snow storms.
- To provide evergreens and various blooming plants throughout the season for the entrances into the units, through the parking lot, and the from King Avenue.
- The plants provided in the front of the units will not get too large and overgrown provided they are trimmed once per year.
- To provide privacy for the neighbors with large, hardy, dense evergreens in the rear of the property. The line of existing deciduous trees shall remain as well for an added buffer.

Qty.	Latin Name	Common Name	Size	Features
3	<i>Abies concolor</i>	White Fir	6-7'	Whitish green, evergreen, very hardy, very dense
1	<i>Amelax "Glenn's Rose"</i>	Glenn's Rose Azalea	2 Gal.	Mid Season, deep rose color, evergreen
2	<i>Buxus microphylla Green Velvet</i>	Green Velvet Boxwood	24-30"	Hardy evergreen, azalea rounded, slow growing
2	<i>Chamaecyparis obtusa Gracilis</i>	Gracil Cypress	3-4'	Green upright, hardy, dense, no care/evergreen
3	<i>Eduliscon</i>	Eduliscon	1 Gal.	24-30", pendular, semi-leaves, June-August, elegant
5	<i>Hemerocallis Ruby Stella</i>	Ruby Stella	1 Gal.	12", ruby red flowers, 60-90 days, very hardy, summer
35	<i>Hydrangea Macrophylla Endless Summer</i>	Endless Summer Hydrangea	3 Gal.	Color all summer, blooms on old wood and new wood, larvy
12	<i>Gleba compacta</i>	Compact Infibry	3 Gal.	Compact variety staying smaller, hardy evergreen, rounded
8	<i>Ilex monticola Blue Maid</i>	Blue Maid Holly	3-4'	Dark glossy pointed leaves, red winter berries, evergreen
30	<i>Nerpa "Walker's Low"</i>	Car Min.	1 Gal.	12-18", light green May-Sept. semi-leaves, semi-sen
3	<i>Pilea strobus</i>	Flaming White Pine	7-8'	Very hardy, fast growing, wide habit, evergreen tree
2	<i>Pseudotsuga menziesii</i>	Douglas Fir	8-9'	Very dense, very hardy, fast growing, wide habit, dense
3	<i>Pyrus calleryana Cleveland Select</i>	Cleveland Tree Pye	2.5-3"	Rounded habit, white flowers covered in spring, very hardy
8	<i>Rhododendron PIM</i>	PIM Rhododendron	24-30"	Early spring purple flowers, evergreen, small leaves,
6	<i>Sedum Stonecrop "Autumn Fire"</i>	Stonecrop Sedum	1 Gal.	30", late Sept-Oct. flowers, sun loving
3	<i>Spirea Bumalda Goldmound</i>	Goldmound Spirea	3 Gal.	Yellowish coral leaves, dwarf habit, pick summer
1	<i>Syringa patula Miss Kim</i>	Miss Kim Lilac	24-30"	Single purple flowers, compact habit, fragrant
32	<i>Thuja occidentalis Emerald Green</i>	Emerald Green Arborvitae	5-6'	Emerald green color, upright dense evergreen, hardy
90	<i>Vincia vinosa</i>	Common Periwinkle	3 pots	Evergreen groundcover, purple flowers, hardy



CHECKED BY: DA



#110 KING AVENUE
LYMOUTH, MASSACHUSETTS

PO BOX 850546
BRAINTREE, MA 02185

LANDSCAPING

GENERAL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
3. TEST PITS WERE TAKEN FOR THE PURPOSE OF DESIGN ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR UTILITY CONNECTION FEES REQUIRED TO CARRY OUT THE WORK OUTLINED BUT NOT LIMITED TO DEMOLITION.
5. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
6. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. THE CONTRACTOR SHALL AT HIS EXPENSE SURVEY AND MARK OUT IN THE FIELD THE LIMITS OF CLEARING BOUNDARY PRIOR TO INITIATION OF CLEARING.
8. THE CONTRACTOR SHALL NOTIFY THE TOWN'S PLANNING STAFF AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITE WORK.

GRADING AND DRAINAGE NOTES

1. ALL CATCH BASINS SHALL BE EQUIPPED WITH GAS/OIL HOODS AND ALL CATCH BASINS SHALL HAVE 4 FOOT SUMPS.
2. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HDPE PIPE, UNLESS NOTED OTHERWISE.
3. CORRUGATED POLYETHYLENE PIPE AND STRUCTURES SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOH HI 0 PIPE AS MANUFACTURED BY HANCOH, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
4. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
5. COORDINATES REFER TO THE CENTERS OF STRUCTURES UNLESS OTHERWISE NOTED OR DETAILED.
6. ALL DRAINAGE STRUCTURES IN THE PARKING AND DRIVEWAY AREAS WILL BE ABLE TO WITHSTAND AASHTO H-20 WHEEL LOADS.

UTILITY NOTES

1. WATER SERVICE SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 6 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
2. GENERALLY, WATER SERVICE FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
3. ALL WATER SERVICE FITTINGS, TEES, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.
4. DOMESTIC WATER SERVICES 2.5" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE CURB STOP, AND BOX. SUBJECT TO REVIEW BY MUNICIPAL WATER DEPT.
5. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS. AND BE OF THE SIZE & MATERIAL SPECIFIED BY THE MUNICIPAL WATER DEPT. OR COMPANY.
6. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
7. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
8. PRIMARY WATER METER AND BACK FLOW PREVENTER SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS THE BUILDING UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
9. WHERE SANITARY SEWERS CROSS WATER LINES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
10. PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION AND BACK FILL AND COMPACTION FOR THE GAS LINE.
11. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.

EROSION CONTROL NOTES

1. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED WITH AND HAY MULCHED FOR EROSION CONTROL.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS DATED MARCH 1997 AND ALL MUNICIPAL REGULATIONS.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
4. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER SO THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
5. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE TEMPORARILY BEEN SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION PRACTICES SHALL BE IMPLEMENTED WITHIN THREE DAYS.
6. EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE LINE OF EROSION CONTROL MEASURES.
7. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
8. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT.
9. THE LOCATION OF EROSION CONTROL MEASURES SHALL BE FIELD VERIFIED DURING SITE PREPARATION OPERATIONS BY THE DESIGN ENGINEER.
10. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION CONTROL MEASURES FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR TOWN OFFICIALS TO MITIGATE ANY EMERGENCY CONDITION.
11. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT OUTSIDE THE CONSTRUCTION AREA. ALL SEDIMENT, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
12. THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITION, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.
13. THE EROSION CONTROL MEASURES SHOWN ON THE PLANS SHALL ACT AS THE LIMITS OF DISTURBANCE AND THE LIMITS OF CONSTRUCTION.

SOIL LOGS

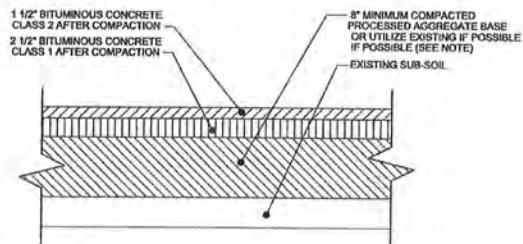
PERFORMED BY: DANA ALTOBELLO ON 5/29/14

T.H. 14-1 EL. 110.0	T.H. 14-2 EL. 112.0	T.H. 14-3 EL. 110.5	T.H. 14-4 EL. 109.0
0" TO 6" A HORIZON SANDY LOAM 10 YR 2/2	0" TO 12" FILL	0" TO 15" A HORIZON SANDY LOAM 10 YR 3/3	0" TO 42" FILL
109.5	111.0	109.3	
6" TO 16" B HORIZON LOOSE SAND 2.5 YR 3/2	12" TO 28" B HORIZON SANDY LOAM 10 YR 3/4	15" TO 28" B HORIZON SANDY LOAM 10 YR 3/4	
108.7	109.7	108.2	
16" TO 102" C LAYER GRAVELLY - COARSE SAND 2.5 YR 3/3	28" TO 84" C LAYER MEDIUM - COARSE SAND 2.5 YR 4/3	28" TO 70" C LAYER MEDIUM - COARSE SAND 2.5 YR 4/3	42" TO 84" C LAYER MEDIUM - COARSE SAND 2.5 YR 4/3
101.5	105.0	104.7	105.5
D=8.5' WATER NOT ENCOUNTERED	84" Cr LAYER	70" Cr LAYER	
NO MOTTLED SHOW ASSUMED EL=101.5	D=10' WATER NOT ENCOUNTERED	D=10' WATER NOT ENCOUNTERED	D=10' WATER NOT ENCOUNTERED
	NO MOTTLED SHOW ASSUMED EL=102.0	NO MOTTLED SHOW ASSUMED EL=109.5	NO MOTTLED SHOW ASSUMED EL=102.0

CONSTRUCTION SEQUENCE

1. INSTALL THE EROSION CONTROL MEASURES ALONG THE LIMITS OF CONSTRUCTION AS SHOWN ON THE PLAN.
2. REMOVE EXISTING BUILDINGS AND PAVEMENT. NONE OF THIS MATERIAL SHALL BE STOCKPILED ON SITE.
3. REMOVE AND STOCKPILE TOPSOIL FROM PROPOSED NEW PAVEMENT AND BUILDING AREAS.
4. CLEAR & GRUB IN PROPOSED NEW AREAS OF CONSTRUCTION.
5. SAWCUT AND REMOVE EXISTING PAVEMENT AS NECESSARY.
6. CONSTRUCT PROPOSED DRAINAGE SYSTEM.
7. CONSTRUCT PROPOSED BUILDING.
8. CONNECT EXISTING UTILITIES TO PROPOSED BUILDING.
9. FINAL GRADE AND PLACE PAVEMENT IN NEW PARKING AREA.
10. PERIODICALLY REMOVE ACCUMULATED SILT FROM EROSION CONTROL.
11. LANDSCAPE, LOAM & SEED ALL EXPOSED AREAS.

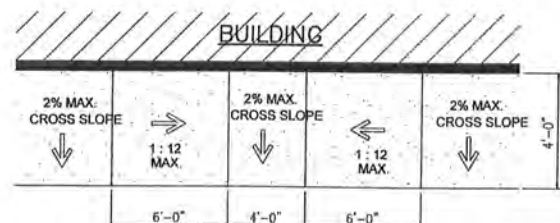
PARKING LOT PAVEMENT DETAIL



NOTE

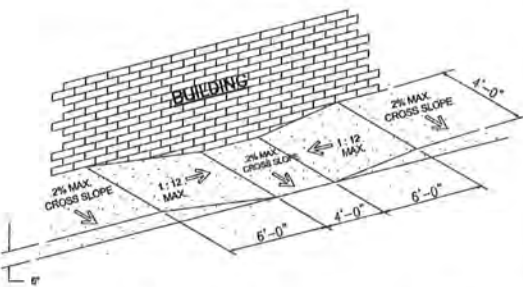
1. THE SOIL MUST HAVE A MOISTURE CONTENT DRY OF OPTIMUM AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D1557.
2. THE SOIL CAN BE COMPACTED TO 90% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE DENSITY RELATIONSHIP TEST METHOD ASTM D998.
3. THE SOIL SHALL NOT BE USED IF THE MATERIAL CONTAINS ORGANIC MATTER, RUBBLE, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL.

HANDICAP RAMP DETAILS



CURB CUT

NOTE: NOT TO SCALE



CURB CUT

NOTE: NOT TO SCALE

NOTE:

1. ALL RAMP TO HAVE DETECTABLE WARNINGS PER CURRENT CODE
2. MAX RAMP SLOPE 1:12
3. ALL HANDICAP PARKING AND ACCESS AREAS WILL FULLY COMPLY WITH ADA/AB REGULATIONS

REVISIONS



DRAWN BY: MC/KH

DESIGNED BY: MC/DA

CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
427 Columbia Road, Hanover, MA 02339
Telephone: 781-826-9200 Fax: 781-826-6665

SITE PLAN
#110 KING AVENUE
ASSESSORS MAP 20 BLOCK 282 LOT 37
WEYMOUTH, MASSACHUSETTS
PREPARED FOR: WILLIAM HERLIHY
110 KING AVENUE
WEYMOUTH, MA 02188

AUGUST 18, 2014

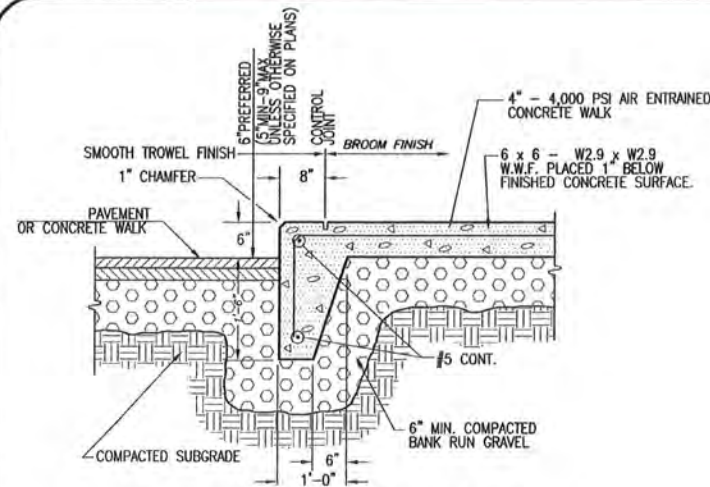
SCALE: AS NOTED

JOB No. 14-073

LATEST REVISION:

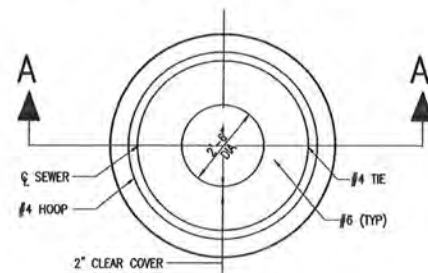
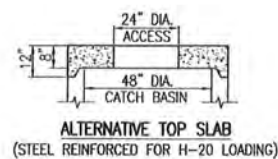
PERMIT SET
NOT FOR
CONSTRUCTION

SHEET C6.1

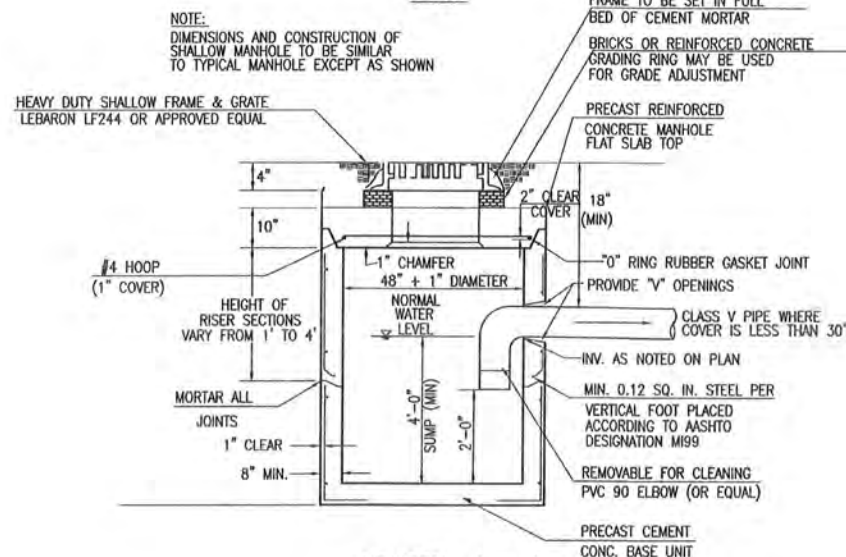


NOTE: PROVIDE CONTROL JOINTS AS SHOWN AND AT 5'-0" O.C. MIN. PROVIDE EXPANSION JOINTS AT 20'-0" O.C. MIN. JOINTS TO BE TRANSVERSE TO DIRECTION OF WALK EXCEPT AS SHOWN.

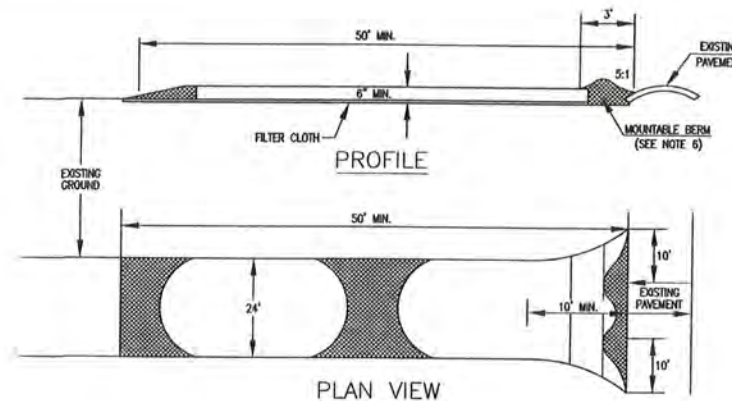
TYP. CONCRETE WALK-CURB DETAIL
(NOT TO SCALE)



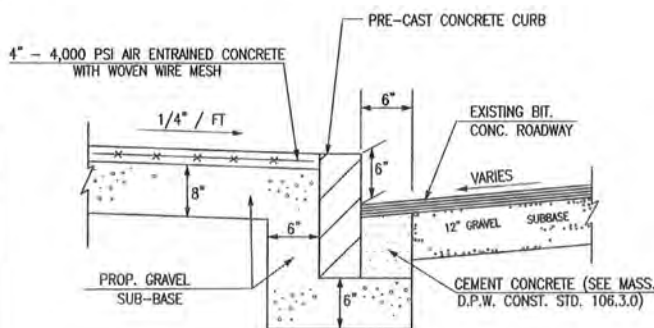
PLAN



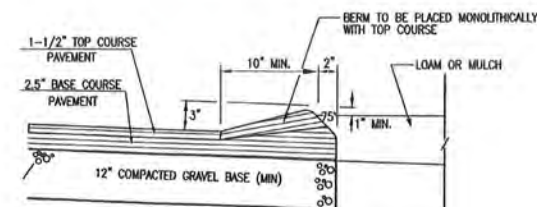
SECTION A - A
FLAT TOP
SHALLOW GAS TRAP CATCH BASIN
(NOT TO SCALE)



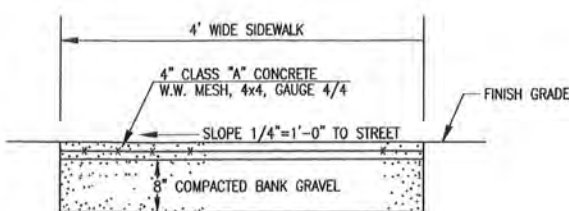
STABILIZED CONSTRUCTION ENTRANCE
(NOT TO SCALE)



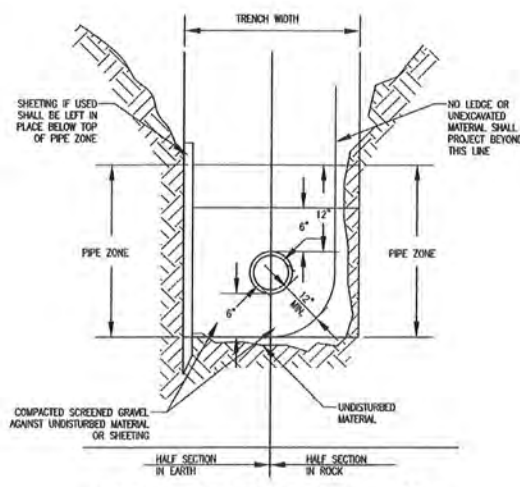
CONCRETE CURB DETAIL
(NOT TO SCALE)



12" CAPE COD BERM DETAIL
(NOT TO SCALE)

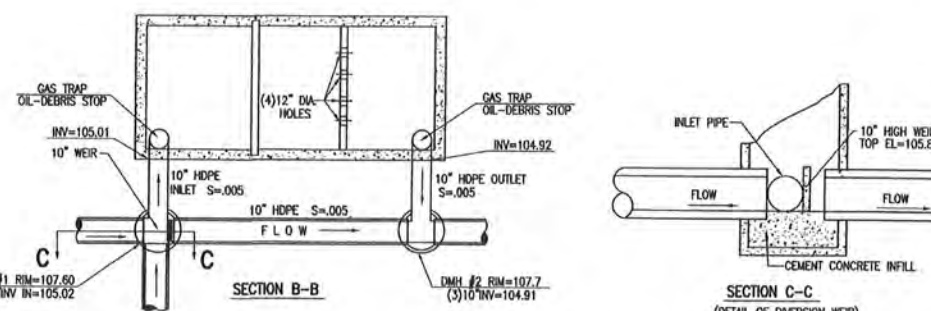


TYPICAL CONCRETE SIDEWALK SECTION
(NOT TO SCALE)

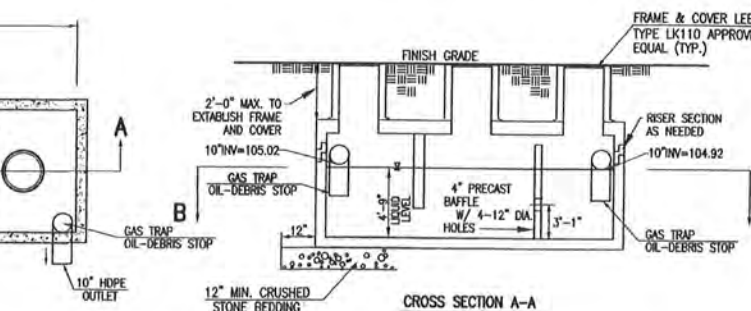


TYPICAL UTILITY TRENCH DETAIL
(NOT TO SCALE)

NOTE: CONSULT WITH EACH UTILITY PROVIDER FOR UTILITY TRENCHING, MATERIALS AND INSTALLATION



DETAIL - 1000 GALLON SEDIMENT TRAP
(H2O LOADING)
(NOT TO SCALE)



REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	8/20/14

DRAWN BY: MC/KH
DESIGNED BY: MC/DA
CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
427 Columbia Road, Haverhill, MA 02339
Telephone: 781-826-9200 Fax: 781-826-6665

SITE PLAN
#110 KING AVENUE
ASSESSORS MAP 20 BLOCK 282 LOT 37
WEYMOUTH, MASSACHUSETTS
PREPARED FOR: WILLIAM HERLIHY
110 KING AVENUE
WEYMOUTH, MA 02188

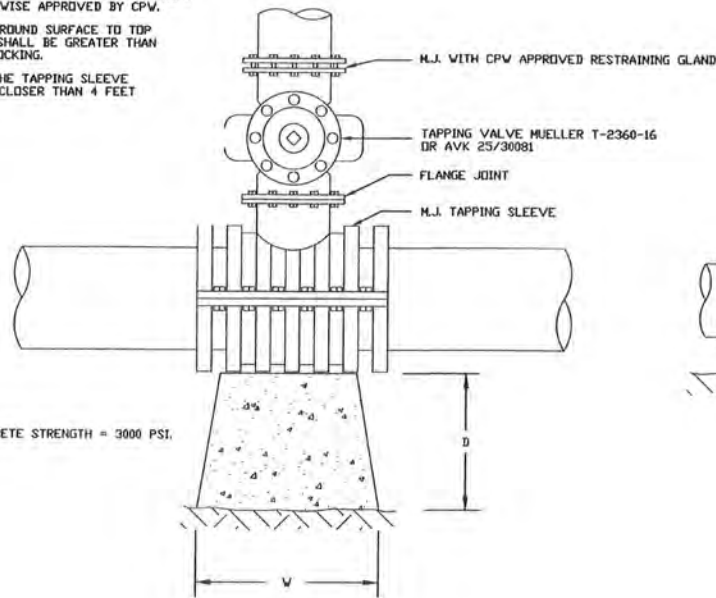
AUGUST 18, 2014
SCALE: AS NOTED
JOB No. 14-073
LATEST REVISION:

PERMIT SET
NOT FOR
CONSTRUCTION

SHEET C6.2

NOTES:

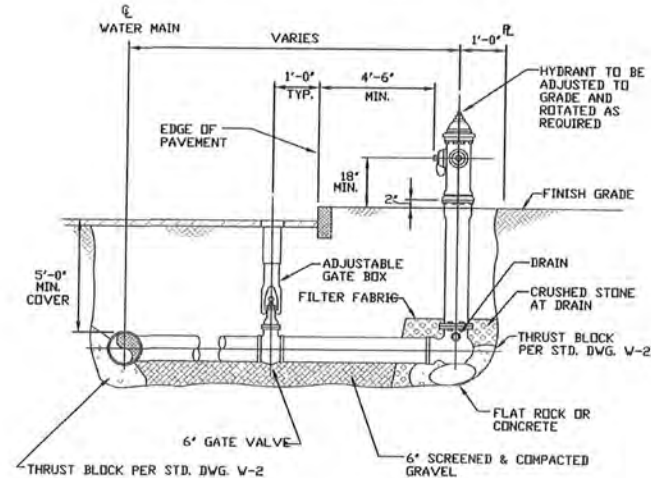
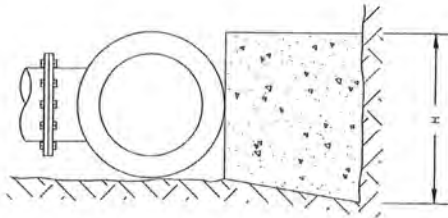
1. TAPPING SADDLES ARE NOT ALLOWED FOR MAIN-ON-MAIN TAPS.
2. USE MUELLER OR AMERICAN DARLING DUCTILE IRON OR 316 STAINLESS STEEL TAPPING SLEEVES FOR TAP SIZES 4" - 24".
3. USE 316 STAINLESS STEEL TAPPING SLEEVES BY DRESSER OR CASCADE FOR TAPS ON MAINS 30" AND GREATER.
4. BOLTS AND NUTS FOR ALL TAPPING SLEEVES SHALL BE 316 SS.
5. USE THRUST BLOCKING ONLY FOR WET TAPS UNLESS OTHERWISE APPROVED BY CPV.
6. DEPTH FROM GROUND SURFACE TO TOP OF BLOCKING SHALL BE GREATER THAN HEIGHT OF BLOCKING.
7. THE END OF THE TAPPING SLEEVE SHALL BE NO CLOSER THAN 4 FEET TO A JOINT.



MINIMUM CONCRETE STRENGTH = 3000 PSI.

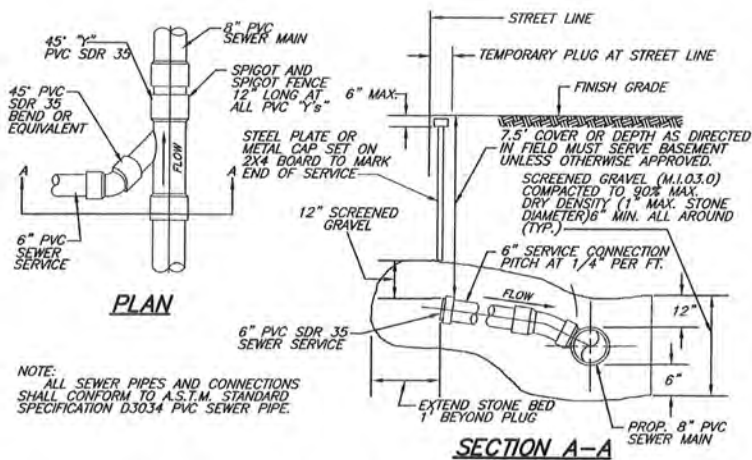
TYPICAL TAPPING SLEEVE
NOT TO SCALE

TAP SIZE	DIMENSIONS IN FEET		
	W	H	D
4" & 6"	2.0	1.4	1.0
8"	3.5	2.0	1.4
10"	4.0	2.5	1.8
12"	5.0	3.0	2.5



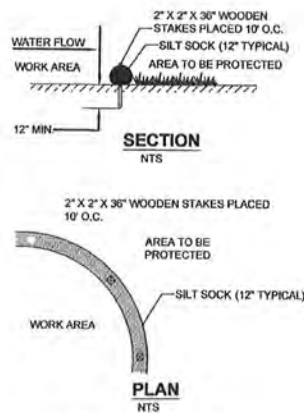
1. HYDRANT TO BE MUELLER CENTURION OR APPROVED EQUAL.
2. ALL HYDRANTS AND GATE VALVES TO OPEN TO THE RIGHT.
3. HYDRANT TO BE LOCATED AT PROPERTY CORNERS.

HYDRANT AND VALVE INSTALLATION DETAIL
NOT TO SCALE

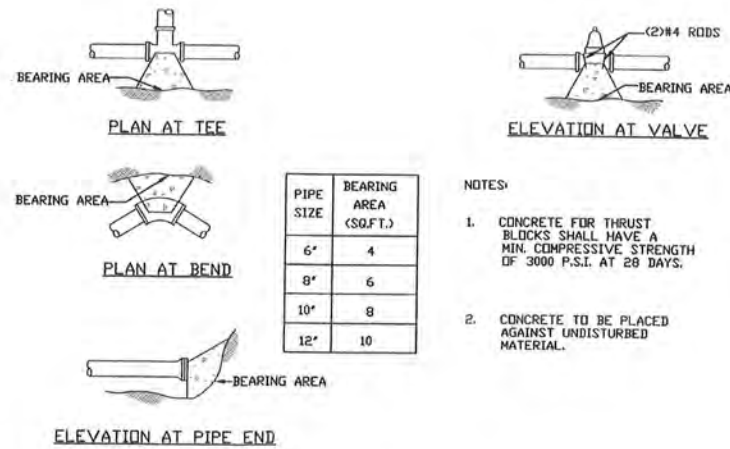


NOTE: ALL SEWER PIPES AND CONNECTIONS SHALL CONFORM TO A.S.T.M. STANDARD SPECIFICATION D3034 PVC SEWER PIPE.

SEWER SERVICE CONNECTION
NOT TO SCALE



SILT SOCK DETAIL
NOT TO SCALE



PIPE SIZE	BEARING AREA (SQ.FT.)
6"	4
8"	6
10"	8
12"	10

- NOTES:
1. CONCRETE FOR THRUST BLOCKS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
 2. CONCRETE TO BE PLACED AGAINST UNDISTURBED MATERIAL.

SITE PLAN
#110 KING AVENUE
ASSESSORS MAP 20 BLOCK 282 LOT 37
WEYMOUTH, MASSACHUSETTS
PREPARED FOR: WILLIAM HERLIHY
110 KING AVENUE
WEYMOUTH, MA 02188

AUGUST 18, 2014
SCALE: AS NOTED
JOB NO. 14-073
LATEST REVISION:

PERMIT SET
NOT FOR
CONSTRUCTION

SHEET C6.4

REVISIONS

DANA M. ALTORIELLO
No. 46237
CPV
REGISTERED
MASSACHUSETTS

DRAWN BY: MC/KH

DESIGNED BY: MC/DA

CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
427 Columbia Road, Hanover, MA 02339
Telephone: 781-826-9200 Fax: 781-826-6665