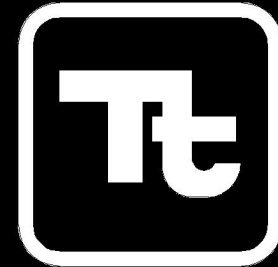


90 Libbey Parkway, Weymouth, MA  
Loading Dock Site Plans  
FOXROCK LIBBEY REALTY, LLC

20 Cabot Blvd. Suite 305  
Mansfield, MA 02048  
Phone: 508-786-2200

www.tetratech.com



TETRA TECH

DEVELOPER:  
FOXROCK LIBBEY REALTY, LLC  
350 Granite Street, Suite 2205  
BRAINTREE, MA 02169



Architect  
HELICON DESIGN GROUP, INC.  
76 Summer Street, Suite 510  
Boston, MA 02110  
Tel 617-357-4437  
www.HELICONDESIGN.com

Civil Engineer  
Tetra Tech INC  
20 Cabot Boulevard, Suite 305  
Mansfield, MA 02048  
Tel 508-786-2200  
www.tetratech.com



Landscape Architect  
Terraink Landscape Architecture  
7 Central Street, Suite 150  
Arlington, MA 02476  
Tel 781 316 1595  
www.terraink.com

terraink

DRAWING LIST

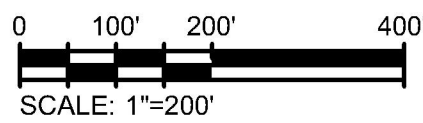
- C-1 COVER SHEET  
C-2 EXISTING CONDITIONS PLAN  
C-3 SITE LAYOUT PLAN  
C-4 GRADING, DRAINAGE AND UTILITY PLAN  
C-5 DETAIL SHEET  
C-6 DETAIL SHEET  
L3.01 SCREEN - PLANTING  
SL.101 SITE LIGHTING PLAN

ISSUED:

MAY 5, 2023 LOADING DOCK SITE PLANS



SITE CONTEXT MAP



EXISTING  
210X23

- 136  
CB  
SB  
DH  
WV  
ST  
SS  
G  
W  
OE  
CB  
DMH  
SMH  
GG  
MW  
VGC  
CC

LEGEND

- SPOT GRADE  
TOP OF WALL ELEVATION  
BOTTOM OF WALL ELEVATION  
CONTOUR  
CONCRETE BOUND  
STONE BOUND  
DRILL HOLE  
LIGHT POLE  
UTILITY POLE  
WATER VALVE  
DRAIN LINE  
SEWER LINE  
GAS LINE  
UNDERGROUND ELECTRIC  
WATER LINE  
OVERHEAD WIRES  
CATCH BASIN  
FLARED END OUTLET  
DRAIN MANHOLE  
SEWER MANHOLE  
HYDRANT  
GAS GATE  
MONITORING WELL  
TEST PIT  
BOLLARD  
VERTICAL GRANITE CURB  
CONCRETE CURB

PROPOSED

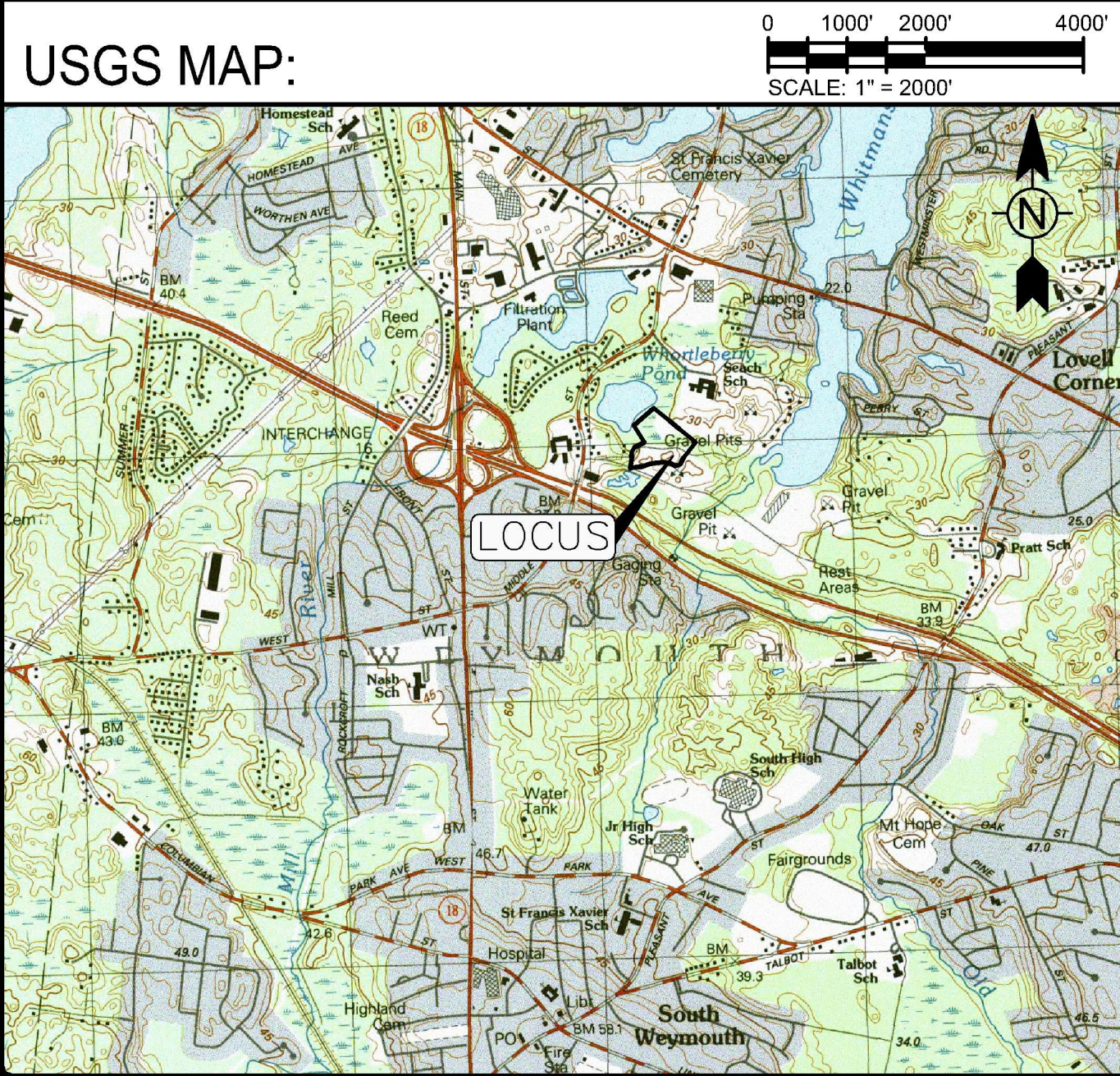
- 140X50  
123.5TW  
120.0BW  
136  
SD  
SS  
CC

ZONING ANALYSIS TABLE: District - Planned Office Park (POP)			
ITEM	REQUIRED	EXISTING	PROVIDED
MINIMUM LOT AREA	43,560 S.F. (1.0 Ac.)	369,141 S.F. (8.47 Ac.)	NO CHANGE
MINIMUM LOT WIDTH	150'	>150'	NO CHANGE
MINIMUM FRONTAGE	NO REQ'T.	998±'	NO CHANGE
FRONT SETBACK	40'	39.0'	NO CHANGE
SIDE SETBACK	25'	41.2'	NO CHANGE
REAR SETBACK	25'	253±'	NO CHANGE
BUILDING LOT COVERAGE (1)	NO REQ'T.	15.9%	NO CHANGE
MAX LOT IMPERVIOUS COVERAGE (2)	60%	54.7%	56.1%
MAXIMUM STORIES	3	2	NO CHANGE
MAXIMUM HEIGHT	35'	<35'	NO CHANGE

(1) WEYMOUTH ZONING ORDINANCE DEFINES LOT COVERAGE AS: "THE FIXED RELATION BETWEEN THE LOT AREA AND THE AREA OF GROUND COVERAGE OF ALL BUILDINGS, INCLUDING ACCESSORY BUILDINGS, AND EXPRESSED AS A PERCENTAGE".

(2) LOT IMPERVIOUS COVERAGE : THE FIXED RELATION BETWEEN THE LOT AREA AND THE AREA OF IMPERVIOUS COVERAGE OF ALL BUILDINGS AND PAVEMENT EXPRESSED AS A PERCENTAGE.

USGS MAP:



90 LIBBEY PARKWAY, WEYMOUTH, MA  
LOADING DOCK SITE PLANS

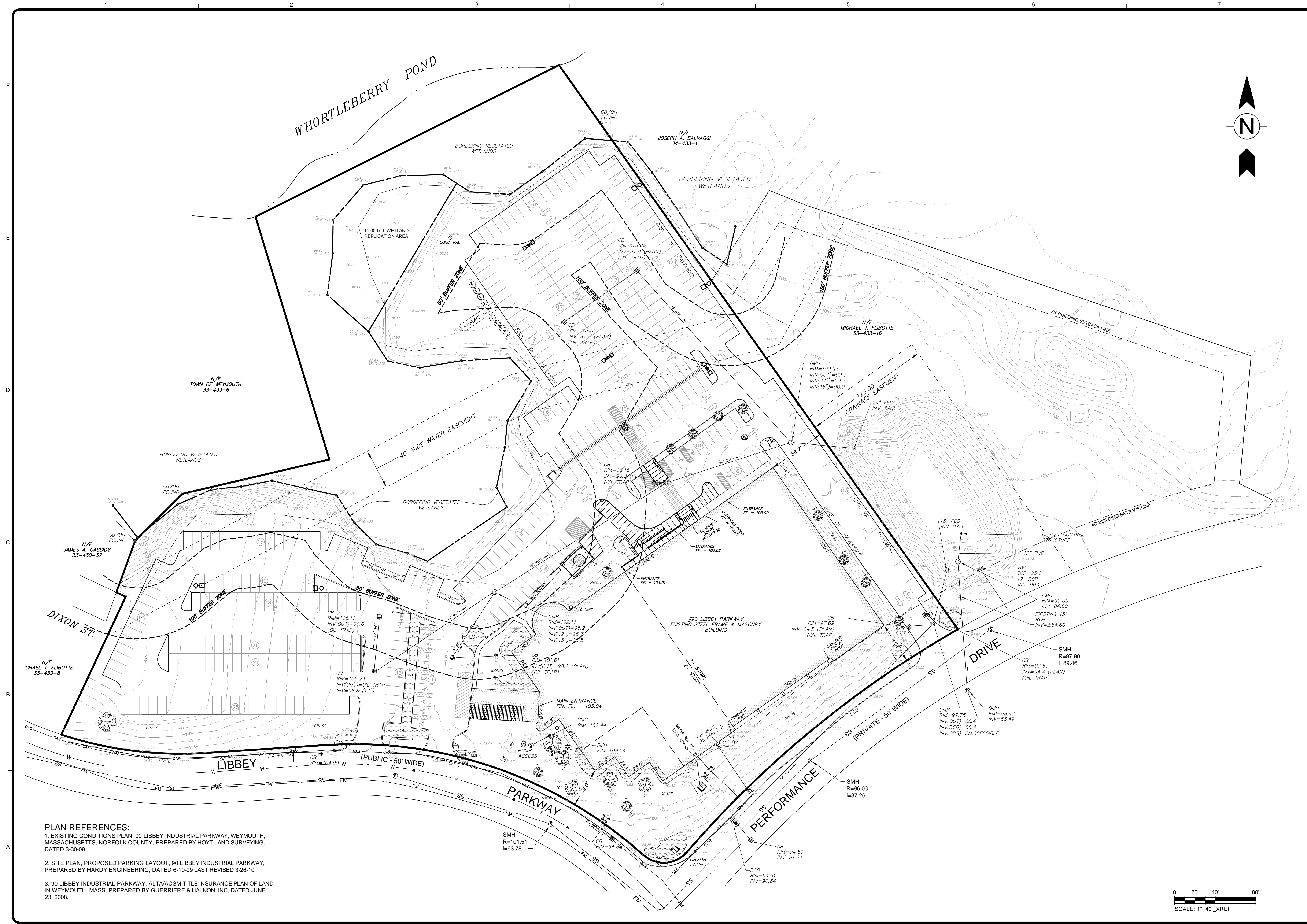
Cover Sheet

Project No.: 143-42892-23004  
Designed By: G.K.D.  
Drawn By: J.L.P.  
Checked By: G.K.D.

C-1

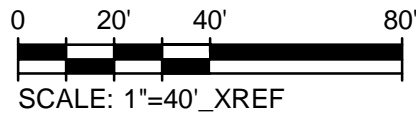



5/3/2023 9:10:49 AM - P:142892\143-42892-23004\CAD\SHEETFILES\C-2 LOADING DOCK EXISTING CONDITIONS.DWG - PAPPAS, JUD



PLAN REFERENCES:

1. EXISTING CONDITIONS PLAN, 90 LIBBEY INDUSTRIAL PARKWAY, WEYMOUTH, MASSACHUSETTS, NORFOLK COUNTY, PREPARED BY HOYT LAND SURVEYING, DATED 3-30-09.
2. SITE PLAN, PROPOSED PARKING LAYOUT, 90 LIBBEY INDUSTRIAL PARKWAY, PREPARED BY HARDY ENGINEERING, DATED 6-10-09 LAST REVISED 3-26-10.
3. 90 LIBBEY INDUSTRIAL PARKWAY, ALTA/ACSM TITLE INSURANCE PLAN OF LAND IN WEYMOUTH, MASS, PREPARED BY GUERRIERE & HALNON, INC, DATED JUNE 23, 2008.



**TETRA TECH**

www.tetratech.com  
20 Cabot Blvd  
Mansfield, MA 02048  
PHONE: (508) 903-2000 FAX: (508) 903-2001

MARK	DATE	DESCRIPTION	BY
1	5-5-23	LOADING DOCK SITE PLANS	

Client: Foxrock Libbey Realty, LLC  
Proj. Loc.: Weymouth MA

Project No.: 143-42892-13003  
Designed By: G.K.D.  
Drawn By: J.L.P.  
Checked By:

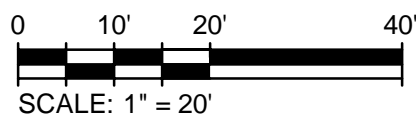
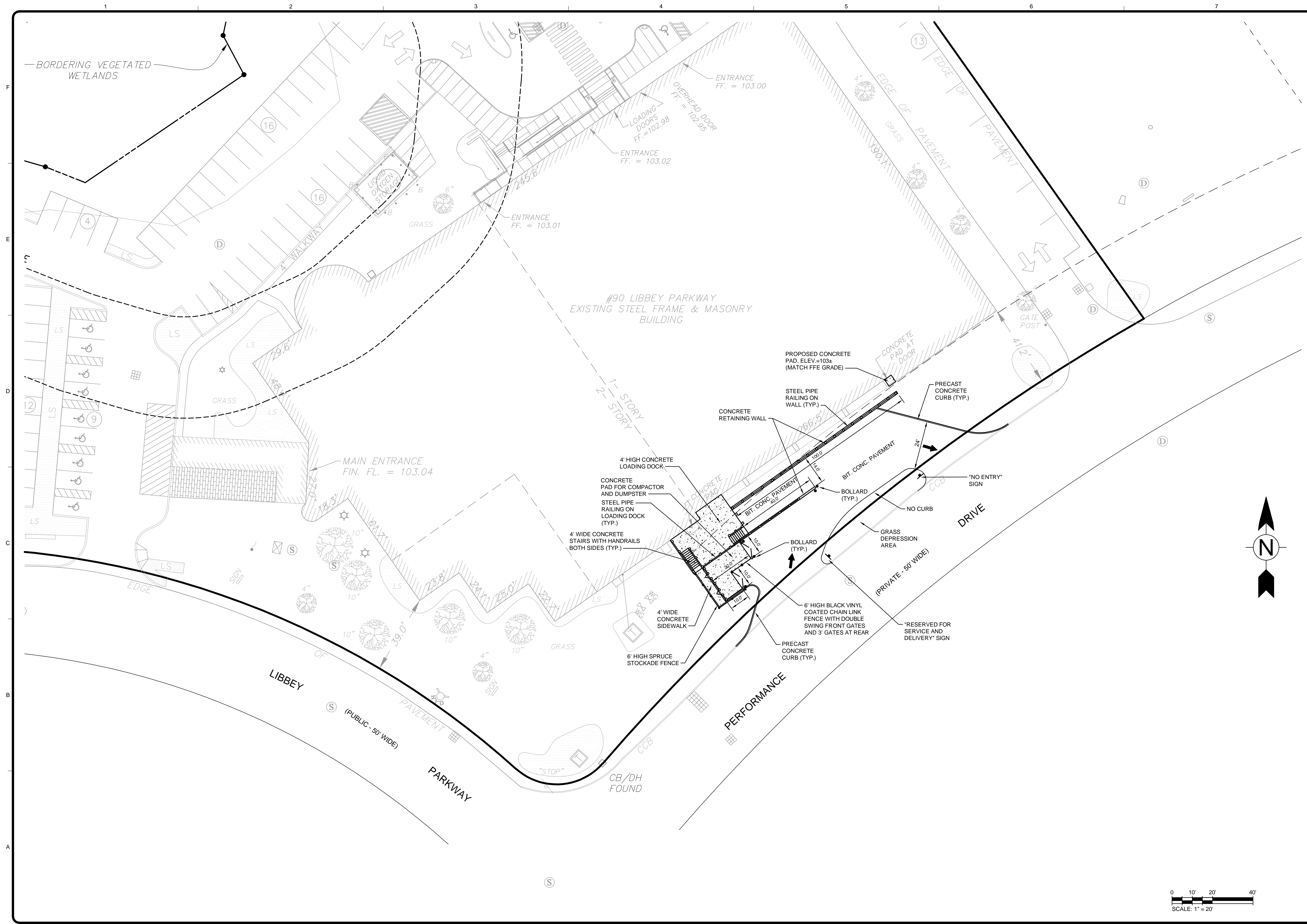
Existing Conditions Plan  
Loading Dock Site Plans  
90 Libbey Parkway

C-2

Copyright: Tetra Tech  
Bar Measures 1 inch



5/3/2023 9:08:35 AM - P:\42892\143-42892-23004\CAD\SHEETFILES\C-3 LOADING DOCK LAYOUT.DWG - PAPPAS, JUD



**TETRA TECH**

www.tetratech.com  
20 Cabot Blvd  
Mansfield, MA 02048  
PHONE: (508) 903-2000 FAX: (508) 903-2001



MARK	DATE	DESCRIPTION	BY
1	5-5-23	LOADING DOCK SITE PLANS	

Client: Foxrock Libbey Realty, LLC  
Proj. Loc.: Weymouth MA

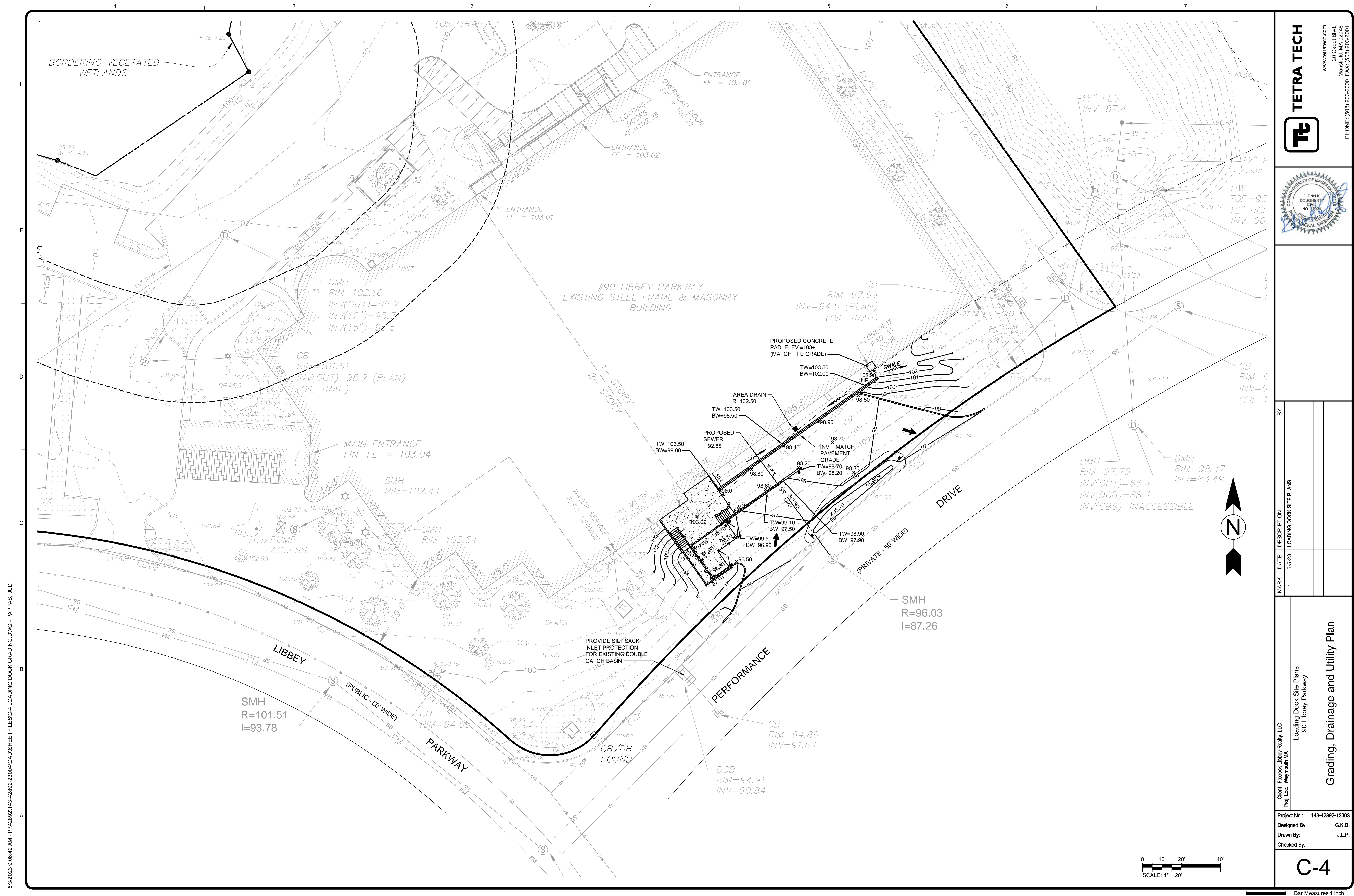
Project No.: 143-42892-13003  
Designed By: G.K.D.  
Drawn By: J.L.P.  
Checked By:

Loading Dock Site Plans  
90 Libbey Parkway  
Layout Plan

**C-3**

Copyright: Tetra Tech





20 Cabot Blvd.  
Mansfield, MA 02048  
PHONE: (508) 903-2000 FAX: (508) 903-2001  
www.tetratech.com

[illegible]

Client: Foxrock Libbey Realty, LLC  
Proj. Loc.: Weymouth MA

---

Loading Dock Site Plans  
90 Libbey Parkway

# Grading, Drainage and Utility Plan

Project No.:	143-42892-13003
Designed By:	G.K.D.
Drawn By:	J.L.P.
Checked By:	

C-4

Copyright: Tetra Tech



1) THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION."

3) THE MATERIAL OF PARKING PAVEMENT CONSTRUCTION AND CONSTRUCTION METHODOLOGIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF WEYMOUTH AS STIPULATED IN THE RULES AND REGULATIONS RELATING TO THE SUBDIVISION OF LAND.

4) THE SEQUENCE OF ALL EXCAVATION OPERATIONS SHALL BE SUCH AS TO INSURE THE MOST EFFICIENT UTILIZATION OF EXISTING LEDGE EMBANKMENTS AND THE USE OF A MINIMUM AMOUNT OF BORROW. PRIOR TO ANY LEDGE REMOVAL, THE LEDGE AREA SHALL BE PARTIALLY OR COMPLETELY STRIPPED OF OVERBURDEN AS DIRECTED BY THE ENGINEER.

5) ALL SLOPES WHICH ARE 3 FT HORIZONTAL TO 1 FT VERTICAL OR FLATTER MAY BE GRASSED SLOPES. ALL SLOPES STEEPER THAN 3 FT HORIZONTAL TO 1 FT VERTICAL SHALL RECEIVE A SLOPE STABILIZATION GEOTEXTILE FABRIC (2:1) OR A RIP-RAP SLOPE TREATMENT (1:1) UNLESS OTHERWISE NOTED ON THE GRADING PLANS.

6) THE TOWN AND ALL UTILITY COMPANIES MUST BE NOTIFIED BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION. ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND AREA APPROXIMATE ONLY. THE OWNER & TETRA TECH ASSUME NO RESPONSIBILITY FOR DAMAGE INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.

7) WHILE WORKING IN THE VICINITY OF AN EXISTING UTILITY, REFER TO THE FOLLOWING: ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. SEE CHAPTER 3, ACTS OF 1963, MASSACHUSETTS GENERAL LAWS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCUATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE APPROPRIATE PUBLIC ENGINEERING DEPARTMENT SHALL BE CONTACTED AND THE PROPOSED UTILITY WORK SHALL BE COORDINATED. DIG SAFE NUMBER: 1-888-344-7233.

9) ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO EQUAL OR BETTER CONDITION. (SEE PLANTING AND EROSION CONTROL PLANS). ALL FINISHED SURFACES SHALL BE GRADED SMOOTHLY AND EVENLY.

10) AT THE COMPLETION OF THE CONTRACTOR'S OPERATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL DRAINAGE FACILITIES (NEW AND/OR EXISTING) OF DEBRIS. DRAINAGE SWALES AND STORMWATER BASINS SHALL BE CLEANED FOLLOWING CONSTRUCTION.

12) FILL CONTAINING HAZARDOUS MATERIALS SHALL NOT BE USED.

14) THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF LOCATION AND ELEVATION OF ALL WORK INSTALLED.

16) IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE ELECTRONIC FILE FROM TETRA TECH FOR PROPER COORDINATION OF SURVEY LAYOUT.

17) THE CONTRACTOR MUST VERIFY EXISTING UTILITY LOCATIONS AS SHOWN ON THE DRAWINGS. REPORT DISCREPANCIES TO TETRA TECH AT (508) 903-2000.

19) ALL STORM DRAINS ARE 12" CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH SMOOTH INTERIORS UNLESS OTHERWISE NOTED.

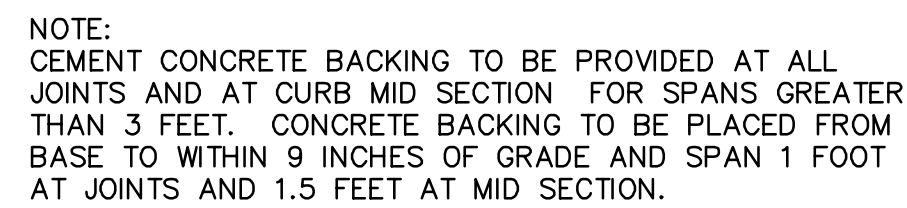
20) PROTECT ALL NEW AND EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION.

21) CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY COMPANIES.

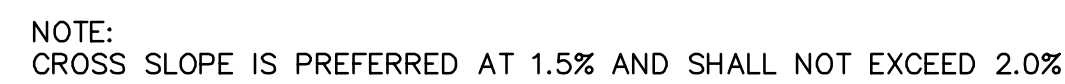
22) THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AND "DIGSAFE" (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. NOTIFY THE ENGINEER OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION.

23) THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT.

24) THE CONTRACTOR MUST CLEAN ALL NEW & EXISTING DRAINAGE STRUCTURES PRIOR TO PROJECT CLOSEOUT.



NOT TO SCALE



NOT TO SCALE



PIPE SIZE (IN.)	'A' (FT.)
8-12	0.7
15-18	0.8
24-30	1.0
36-48	1.5
48-72	2.0

1. SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.

2. WHEN APPROVED BY THE ENGINEER FOR PIPES OTHER THAN PVC SELECTED GRAVEL FILL MATERIAL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF PIPE. NO STONES LARGER THAN 2 INCHES IN ANY DIMENSION WILL BE PERMITTED IN THIS AREA - MASSACHUSETTS STATE MATERIAL STANDARD ML 03.0 TO TYPE C.
3. TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE MADE THE SAME SETBACK FOR PAVING.
4. PROVIDE AT LEAST ONE IMPERVIOUS DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE WHERE DIRECTED, OR EVERY 300 FEET, WHICHEVER IS LESS.
5. BEDDING MATERIAL FOR PVC PIPE SHALL MEET THE REQUIREMENTS OF ASTM D2321 CLASS I OR CLASS II EMBEDMENT MATERIALS.

NOT TO SCALE







NOTE: LINE POSTS TO BE SPACED 10'-0" CENTER TO CENTER MAXIMUM EXCEPT ON CURVES WHERE THEY SHALL BE SPACED AS FOLLOWS:

<u>RADIUS OF CURVE</u>	<u>MAXIMUM SPACING</u>
100' OR LESS	5'-0" C. TO C.
100' TO 200'	6'-0" C. TO C.
200' TO 500'	8'-0" C. TO C.

[illegible]

Client: Foxrock Libbey Realty, LLC  
Proj. Loc.: Weymouth MA

Project No.:	143-42892-1300
Designed By:	G.K.D.
Drawn By:	J.L.F.
Checked By:	

C-6



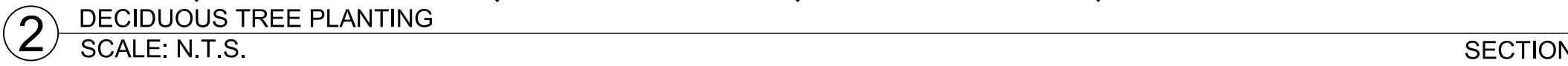
## DECIDUOUS TREES

## DECIDUOUS SHRUBS

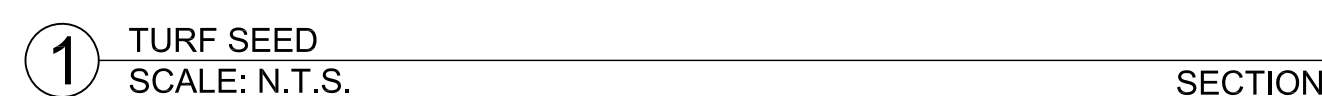
## PERENNIALS

TURF

O.C. = ON-CENTER SPACING  
(N) = NATIVE SPECIES



- NOTE:  
ALL DISTURBED AREAS SHALL BE LOAMED  
AND SEEDING UNLESS NOTED OTHERWISE.



1. ALL PLANTING SOILS SHALL BE (1) PART TOPSOIL, (1) PART COMPOSTED ORGANIC MATTER, (1) PART NATIVE SOIL MIXED PRIOR TO PLANTING INSTALLATION.
2. THE CONTRACTOR SHALL CONFIRM THE ACTUAL DEPTH OF ALL PLANTING AREAS PRIOR TO ANY PLANT MATERIAL BEING SECURED. REPORT ANY LEDGE OR SUBSTANDARD SOIL/SUBSURFACE CONDITIONS TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL CONSIDER THE DISPLACEMENT OF PLANTING SOIL FOR THE PLANT MATERIAL ROOT BALLS IN THE OVERALL PLANTING BED FINISHED GRADE. ALLOW ENOUGH ROOM IN THE PLANTING BED ELEVATION TO SPREAD DISPLACED SOIL AND STILL MEET THE INDICATED FINISHED GRADE INCLUDING THE 2" OF HARDWOOD MULCH.
4. ANY MATERIALS ACCUMULATED OVER THE ROOT FLARE OF A TREE OR SHRUB MUST BE REMOVED COMPLETELY UNTIL THE ROOT FLARE IS EXPOSED AND ALL GIRDLING ROOTS REMOVED PRIOR TO PLANTING.
5. THE CONTRACTOR SHALL LOCATE AND VERIFY WITH THE OWNER'S REPRESENTATIVE ALL TREES, SHRUBS, PERENNIALS, AND/OR GROUNDCOVER TO REMAIN, TO BE REMOVED, OR TO BE TRANSPLANTED. PROTECT IN PLACE ALL EXISTING TREES, SHRUBS, AND GROUNDCOVER TO REMAIN.
6. ALL NEW PLANTING MATERIAL SHALL CONFORM TO MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (AAN), IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY AND THE PLANT HEIGHT SHALL BE MEASURED FROM THE ROOT FLARE, NOT THE BOTTOM OF POT OR BURLAP BALL.
7. STAKE THE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
8. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR BETWEEN THE PLANT MATERIALS LIST AND THE DRAWINGS, THE HIGHER NUMBER OF PLANTS SHALL GOVERN. THE CONTRACTOR SHALL REPORT DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
9. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, FRUIT, COLOR, AND CULTURE MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
10. ALL LAWN AREAS DISTURBED BY CONSTRUCTION OPERATIONS INSIDE AND OUTSIDE THE LIMIT OF WORK SHALL BE LOADED AND SEEDED.

[illegible]

Project Title:

90 LIBBEY PARKWAY  
WEYMOUTH, MA

Sheet Title:

# SCREEN - PLANTING

Date: 05 MAY 2023	Project #: 23007
Scale: 1" = 20'-0"	Drawn By: AR Checked By: JC   KAC
Sheet Number:	

## L3.01

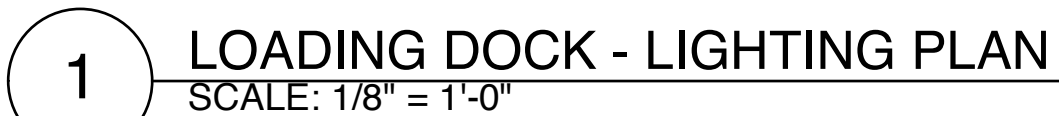




**NOTES:**

-INSTALL ALL FIXTURES PER. MANUFACTURES SPECIFICATIONS.

1 SITE LIGHTING - S1  
SCALE: NOT TO SCALE



**HELICON DESIGN GROUP, INC.**  
**ARCHITECTS**  
76 SUMMER STREET, SUITE 510  
BOSTON, MA 02110  
T: 617-357-4437  
[INFO@HELICONDESIGN.COM](mailto:INFO@HELICONDESIGN.COM)

**project**

**LIBBEY WELLNESS  
CENTER  
LOADING DOCK**

90 Libbey Industrial Pkwy, Weymouth, MA

CAD FILE:

client

 FOXROCK PROPERTIES

 350 GRANITE STREET, SUITE 2205  
BRAINTREE, MA 02184

contractor

CONTRACTOR  
ADDRESS  
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER  
ADDRESS  
CITY, STATE ZIP

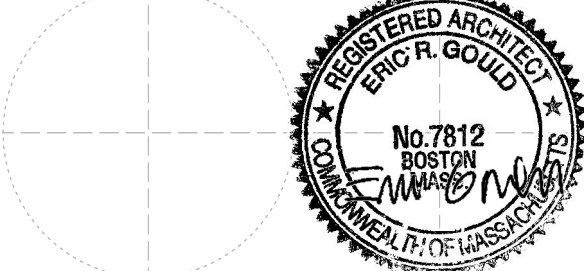
MEP

MEP ENGINEER  
ADDRESS  
CITY, STATE ZIP

11 CITY, STATE ZIP

[illegible]

stamp



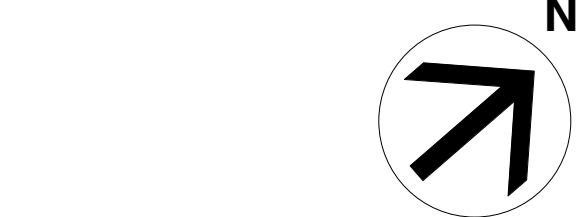
date

05.04.23

phase

## PLANNING

north



sheet title

## SITE LIGHTING PLAN

DRWN / CHCKD

sheet number

SL.101

OF

scale

AS NOTED

AS NOTED

\_\_\_\_\_