

ZONING SETBACKS: R-1 & B-2

RECORD OWNER:

LORRAINE K. TSE
CERT.#208266

PLAN REFERENCE:

L.C. PLAN No. 26315A

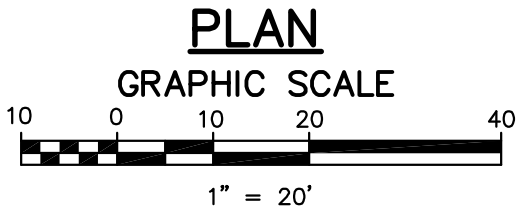
I HEREBY CERTIFY THAT THIS PLAN IS BASED
ON AN ACTUAL INSTRUMENT SURVEY MADE ON THE
GROUND IN NOVEMBER 2023 AND THE STRUCTURES
DEPICTED HEREON IS LOCATED AS SHOWN.

12-13-23
DATE

Scott M. Cerrato
SIGNATURE



NECK STREET
(PUBLIC - 48' WIDE)



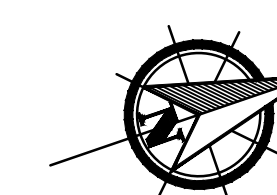
SCOTT M. CERRATO
Professional Land Surveyor

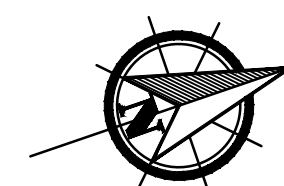
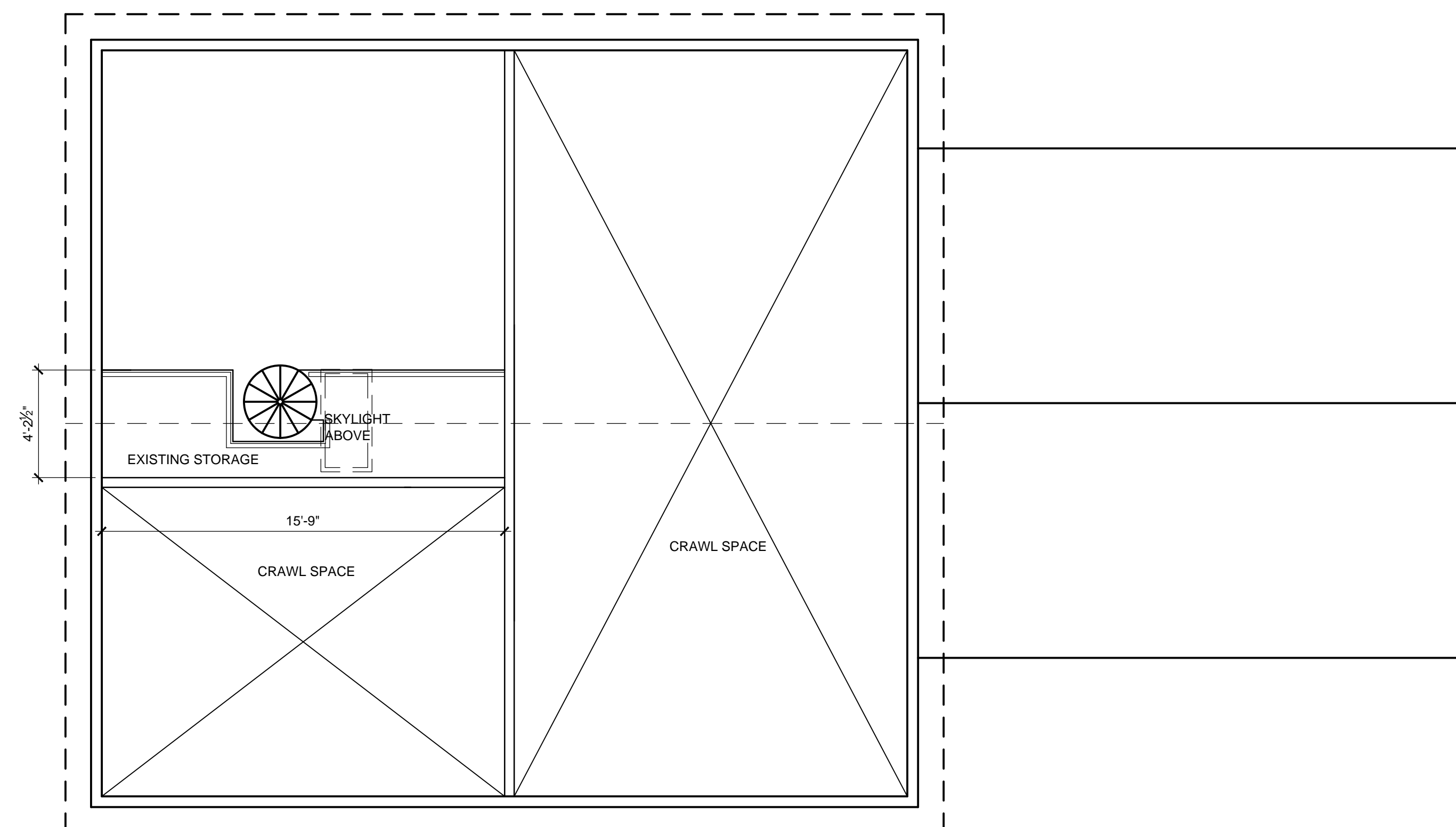
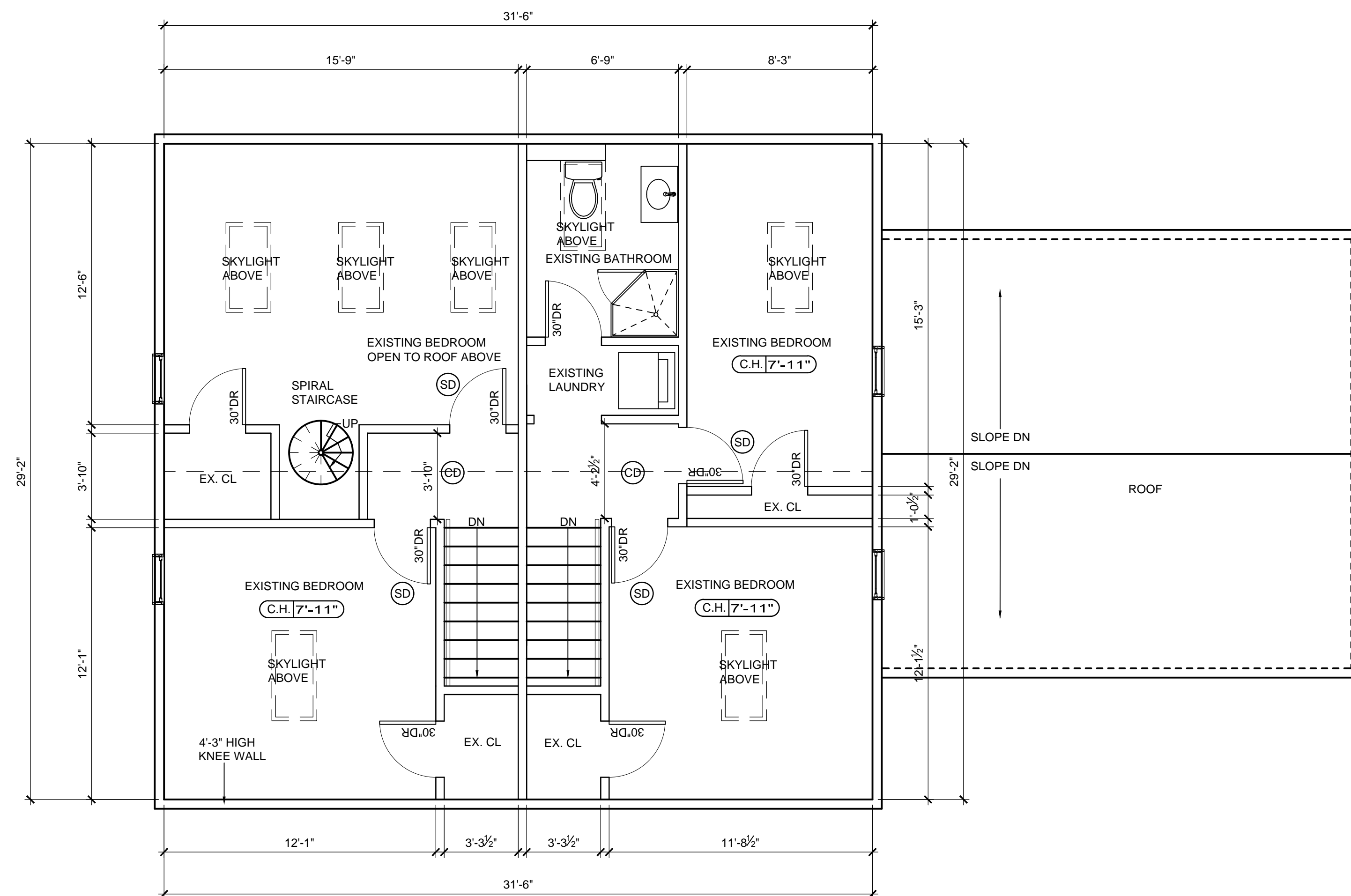
24 Pleasant View Drive • Exeter, NH 03833 • 781-775-3724

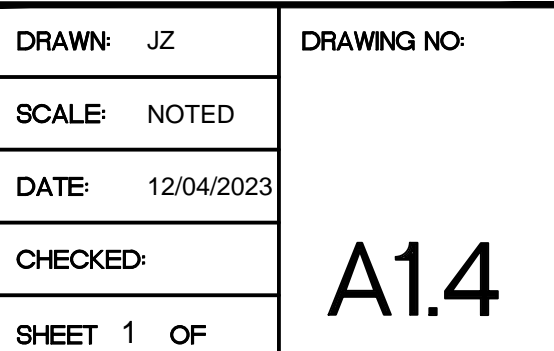
PLOT PLAN

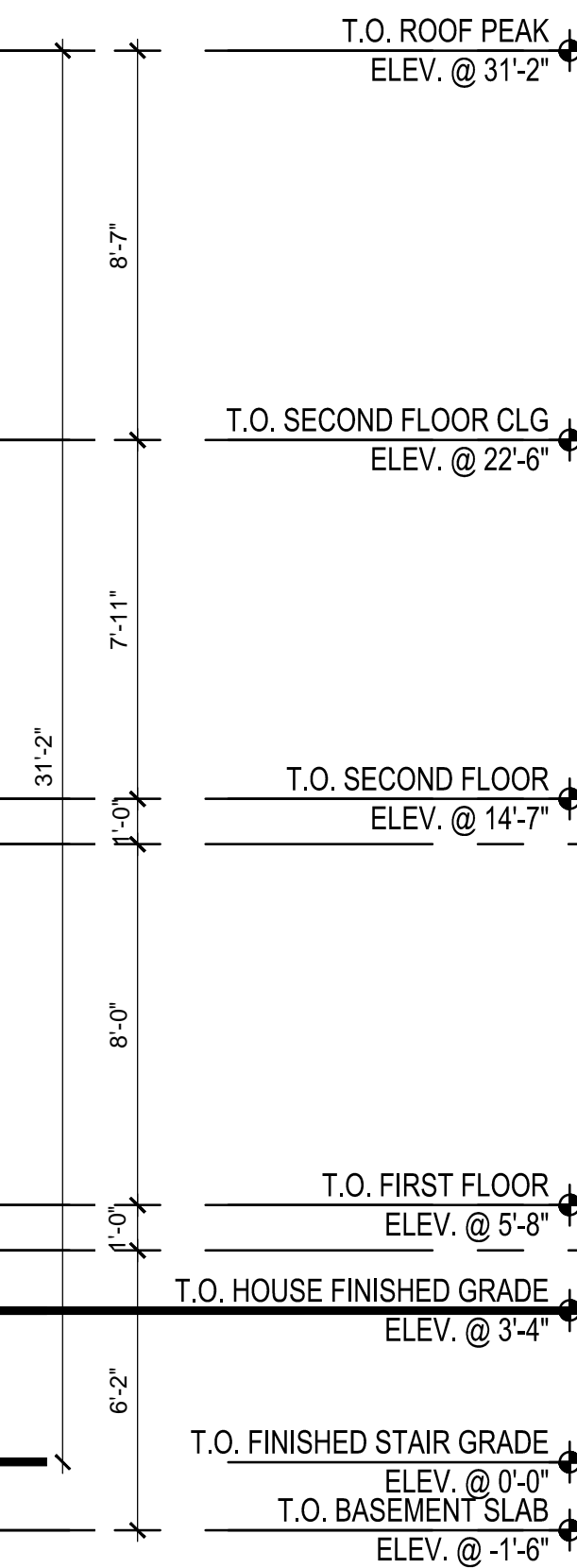
168 & 170 NECK STREET
WEYMOUTH, MASSACHUSETTS
MAP ID: 8-108-11-0

DECEMBER 13, 2023

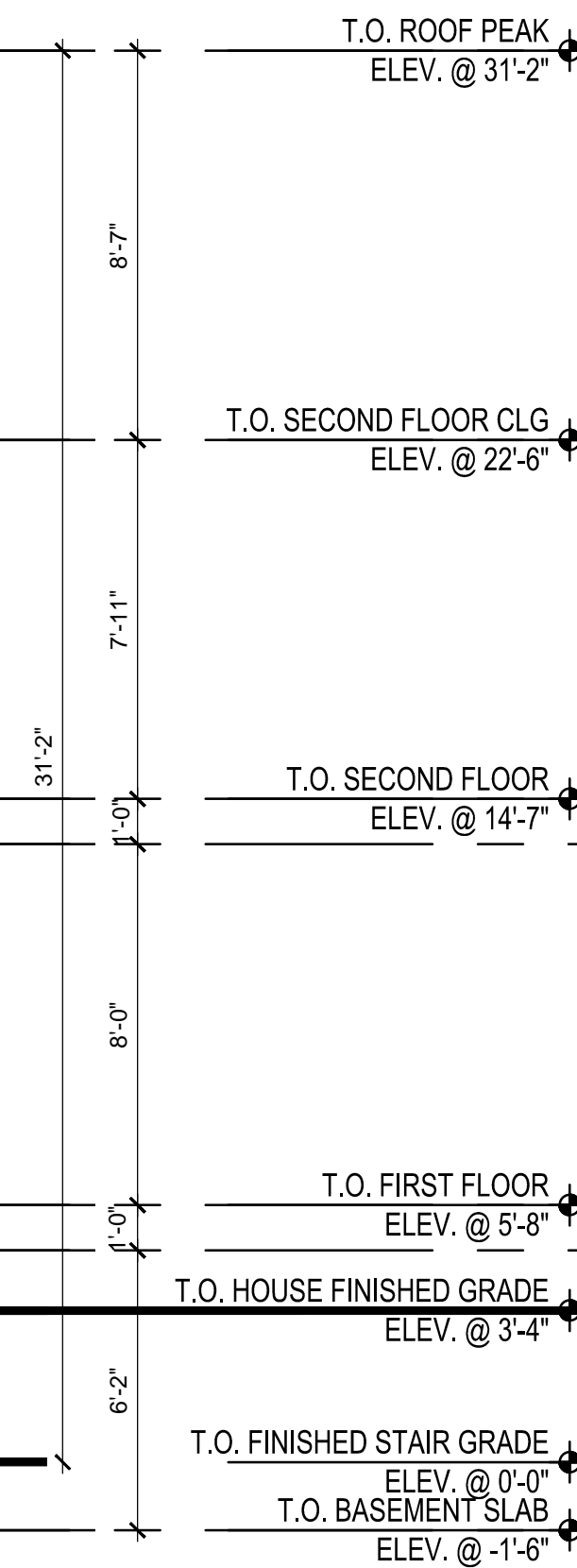
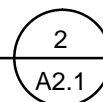


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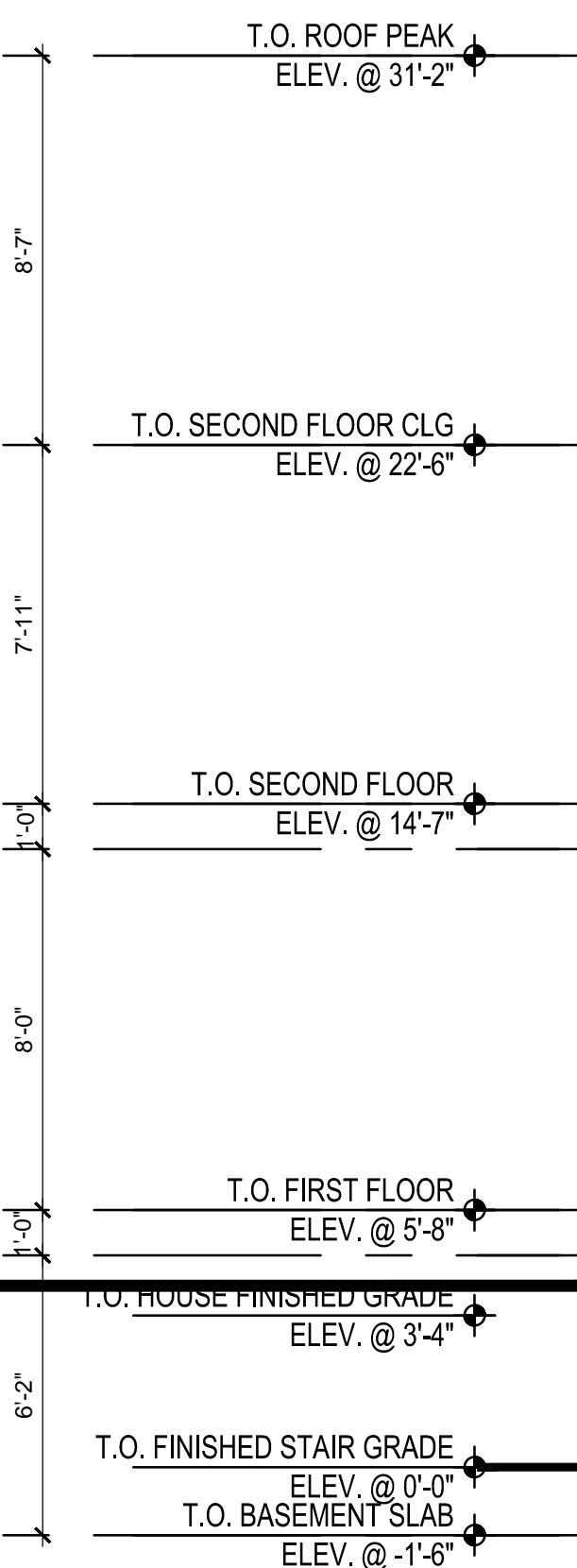
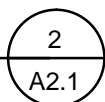




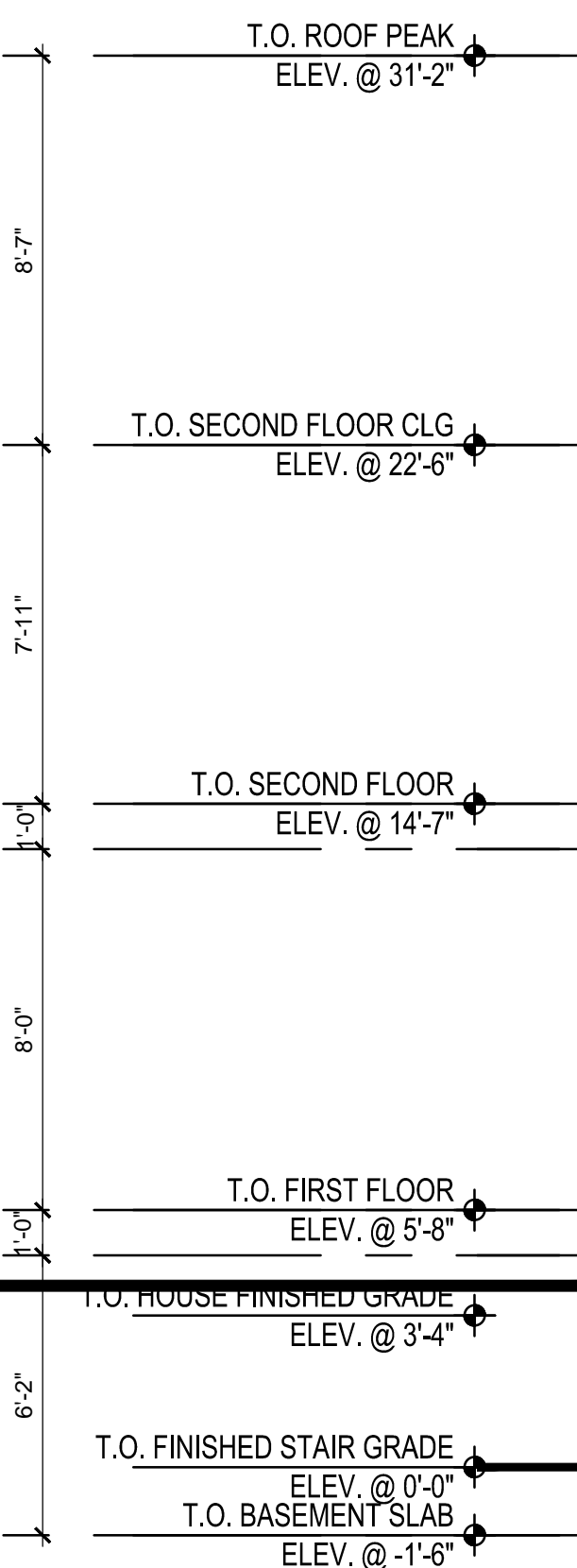
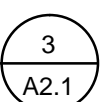
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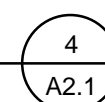
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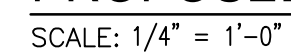
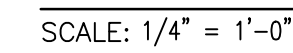
ARCHITECT
585 WASHINGTON STREET, QUINCY, MA 02169
ADMIN@JCBArchitect.COM
TEL: (617) 404-8182

A red circular professional seal for a Registered Architect in the Commonwealth of Massachusetts. The seal features a serrated outer edge. Inside the circle, the text "REGISTERED ARCHITECT" is at the top, "COMMONWEALTH OF MASSACHUSETTS" is at the bottom, and "JIM CHEN" is in the center. Below the name, the number "No. 51071" and the location "QUINCY, MA" are printed. A blue ink signature is written across the seal, and the word "Original" is handwritten in blue ink below the seal.

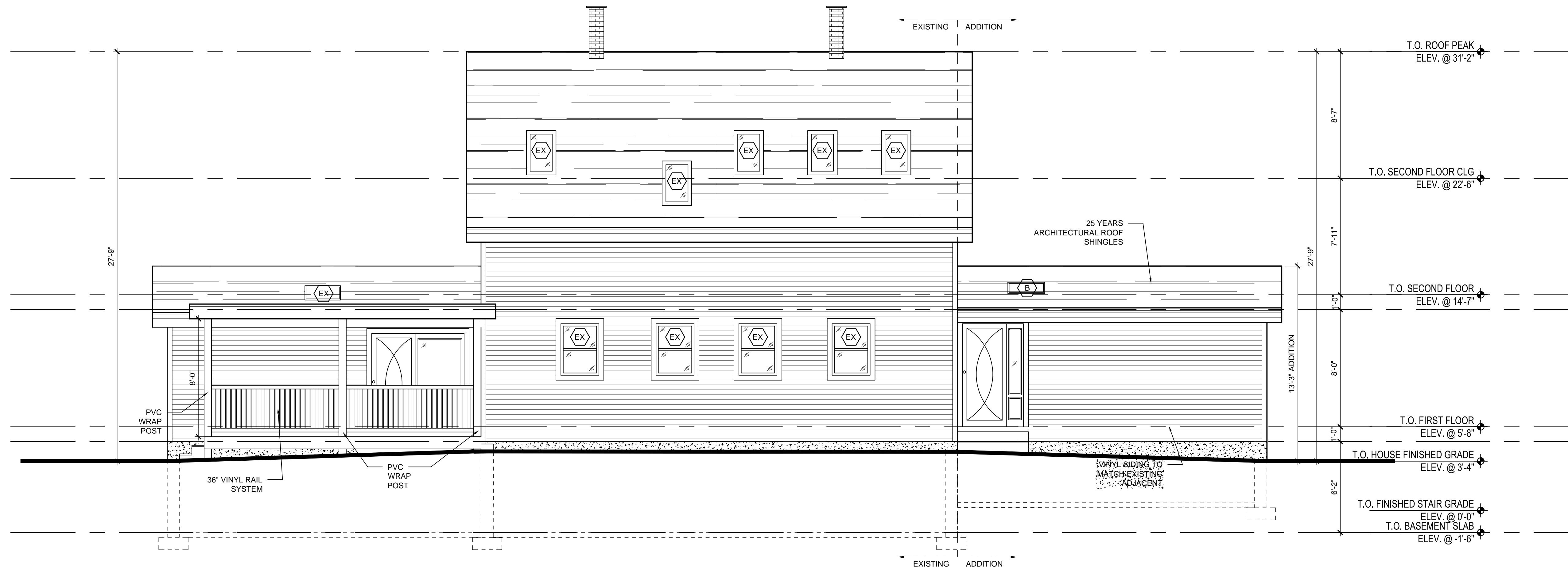
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DRAWN: JZ	DRAWING NO: <h1>A2.1</h1>
SCALE: NOTED	
DATE: 10/19/23	
CHECKED:	
SHEET 1 OF	

A2.1

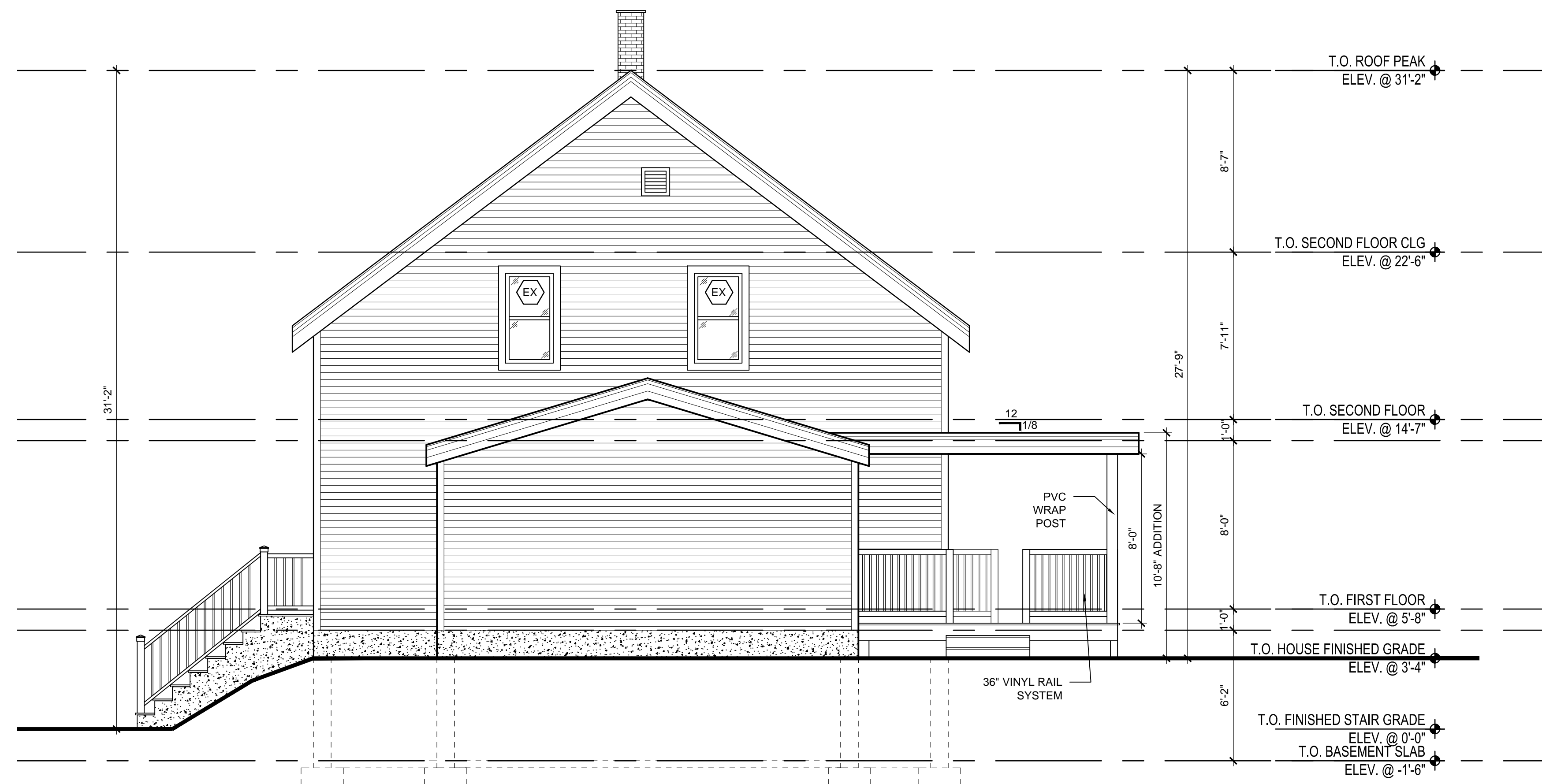


A2.2



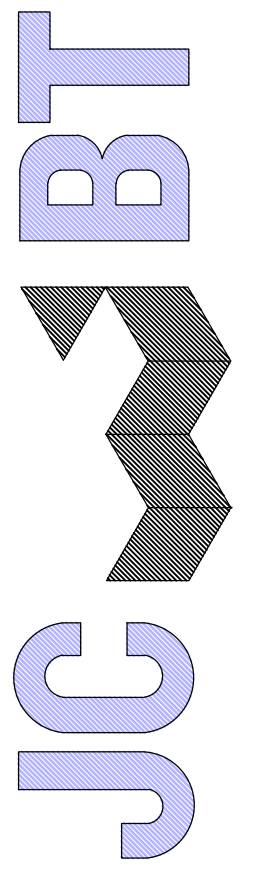
PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"

1
A2.3



PROPOSED SOUTH RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

2
A2.3



ARCHITECT
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CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

2-FAMILY ALTERATION

168-170 NECK ST,
WEYMOUTH, MA

PROJECT NO. 23158

SHEET TITLE

PROPOSED
ELEVATIONS

DRAWN: JZ

SCALE: NOTED

DATE: 12/6/2023

CHECKED:

SHEET 1 OF

DRAWING NO:

A2.3

1. ALL CONCRETE SHALL BE CONTROLLED CONCRETE, MIXED AND PLACED UNDER THE SUPERVISION OF AN APPROVED CONTROL ENGINEER.
2. MAXIMUM WATER/CEMENT RATIO SHALL NOT EXCEED 5.60.
3. MAXIMUM SLUMP SHALL NOT EXCEED 3".
4. MAXIMUM COARSE AGGREGATE DIAMETER SHALL NOT EXCEED 3/4" DIAMETER.
5. ALL SLABS ON GRADE SHALL BE POURED IN ALTERNATING PANELS NOT EXCEEDING 900 SQUARE FEET, OTHERWISE, THE SLAB SHALL BE SAW-CUT WHILE THE CONCRETE IS STILL GREEN, IN PANELS NOT TO EXCEED 900 SQUARE FEET.
6. ALL CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL JOINTS, EXCEPT WHERE SPECIFICALLY LOCATED ON DRAWINGS.
7. VERTICAL CONSTRUCTION JOINTS AND STOPS IN THE CONCRETE WORK SHALL BE MADE AT MID-SPANS.
8. PROVIDE DOWELS OF AN AREA EQUAL TO 0.002 X GROSS CONCRETE AREA, AT CONSTRUCTION JOINTS. THE DOWELS SHALL BE 3'-0" LONG, PLACED AT THE OPPOSITE FACE OF THE SECTION FROM THE MAIN REINFORCING; OR, WHERE THERE ARE NO MAIN REINFORCING, PLACE AT THE CENTER OF THE CONCRETE SECTION.
9. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT THE END OF 28 DAYS:
 - A. ALL CONCRETE, EXCEPT AS NOTED 3,000 PSI.
 - B. EXTERIOR CONCRETE: SLABS, PADDS, WALKS, ETC. 4,000 PSI.

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 - A. FOOTINGS 3 INCHES
 - B. SIDES OF FOUNDATIONS WALLS.
EXPOSED FACES OF FOUNDATIONS.
SIDES OF COLUMNS/PIERS, SLABS
ON GRADE FROM TOP SURFACE 2 INCHES
 - C. INTERIOR FACES OF FOUNDATIONS,
TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
 - D. TOP STEEL OF INTERIOR SLABS 1 INCHES
5. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

1. ALL FOOTINGS, SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE CARRIED DOWN TO ELEVATIONS AS INDICATED ON THE DRAWINGS, OR DEEPER, AS NECESSARY TO OBTAIN THE SOIL BEARING PRESSURE AS REQUIRED.
3. ALL CONCRETE SHALL BE POURED IN THE DRY ONLY.
4. NO CONCRETE SHALL BE POURED ON FROZEN GROUND.
5. THE BOTTOM OF ALL EXTERIOR GRADE BEAMS SHALL NOT BE LESS THAN 4'-0" BELOW THE FINISH EXTERIOR GRADE.
6. POURED, OTHERWISE, WALLS AND GRADE BEAMS MUST BE ADEQUATELY SHORED FROM OVERTURNING.
7. THE MINIMUM REINFORCING FOR ALL GRADE BEAMS AND FOUNDATION WALLS SHALL BE 2-#6 CONTINUOUS AT TOP AND 2 - #6 CONTINUOUS AT BOTTOM.
8. LAP ALL BARS 36 DIAMETERS AND AS PER REINFORCING SPECIFICATIONS.
9. PROVIDE CORNER BARS AT CORNERS AND INTERSECTIONS.

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM: FB=1,200 PSI, Fv=70 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM: AND NOT MORE THAN 8'-0" O.C.
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT 45°, SIMPSON TYPE "CWB", OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" DIAMETER BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

CEMENT SHALL BE AN AMERICAN PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE II OR TYPE III FOR COLD WEATHER CONSTRUCTION (GRAY OR WHITE AS APPROPRIATE).

THE MORTAR USED TO TUCK POINT THE JOINTS SHALL
CONSIST OF ONE PART PORTLAND CEMENT, ONE PART
TYPE S HYDRATED LIME, AND SIX PARTS SAND,
PROPORTIONED BY VOLUME.

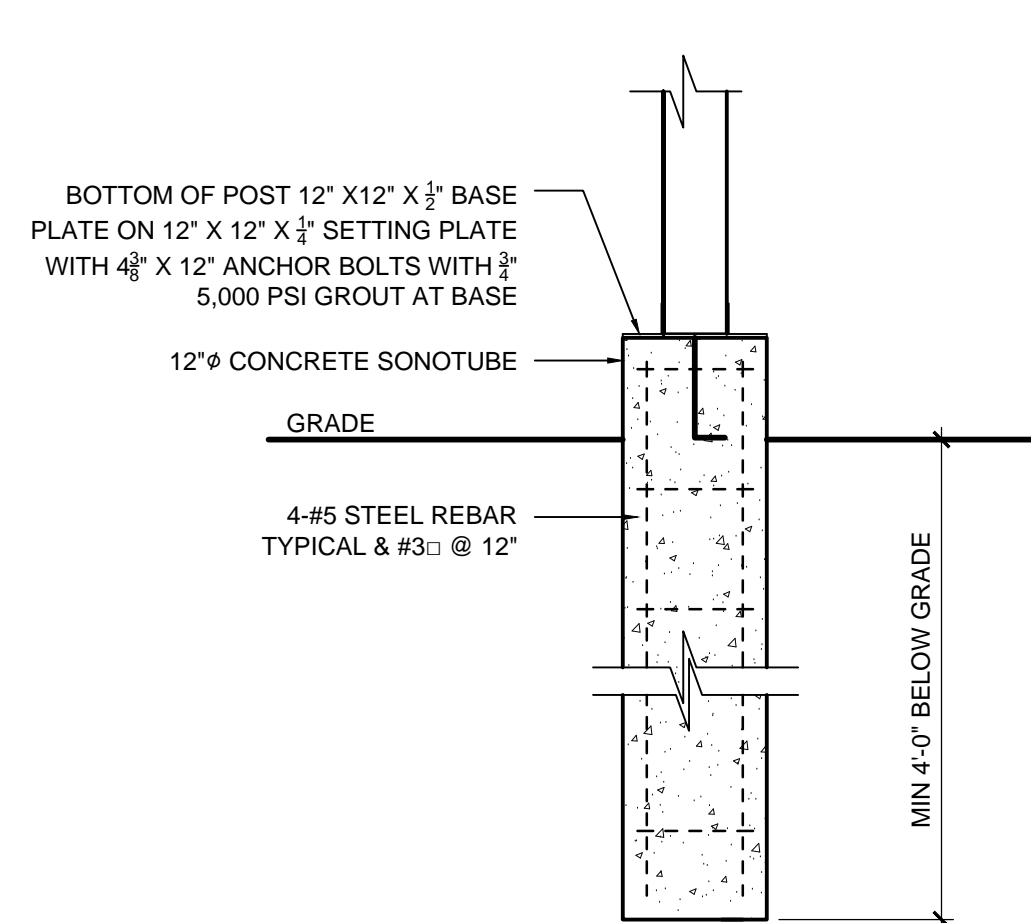
- A. A SECTION OF WALL SHALL BE POINTED FOR THE PURPOSE OF CHOOSING A DESIRED MORTAR COLOR, WHICH MATCHES THE EXISTING COLOR AND TO DEMONSTRATE THE SPECIFIED WORKMANSHIP. DEPTH AND TOOLING OF THE JOINTS REQUIRED FOR USE ON THE JOB. CONTRACTOR SHALL CUT JOINTS AND LEAVE SECTION UNPOINTED UNTIL THE AUTHORITY CAN CHECK DEPTH OF CUT.
- B. TWO OR MORE SAMPLE AREAS MAY BE REQUIRED BEFORE ONE IS APPROVED. AFTER APPROVAL OF ONE, THE OTHERS SHALL BE BROUGHT UP TO COLOR CONFORMANCE BY BRUSH GROUTING.

- A. CARBON AND DIRT SHALL BE REMOVED WITH
DETERGENT AND STIFF BRUSHES. MOSS OR FUNGUS
SHALL BE REMOVED WITH A SOLUTION OF BLEACH AND
WATER.
- B. ALL MORTAR THAT IS LOOSENED BY HAND TOOLS IS
REQUIRED TO BE REMOVED.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
REMOVAL AND REPLACEMENT OF ALL BRICKS MISSING,
BROKEN, OR CRACKED AS PART OF THE CONTRACT
WORK. BUILDING MATERIALS DESIGNATED FOR
POINTING, BRICKS REPLACED SHALL BE HARD-BURNED
OF A TYPE AND SIZE TO MATCH EXISTING AS CLOSELY
AS POSSIBLE.
- D. THE JOINTS SHALL BE THOROUGHLY VACUUMED,
BLOWN CLEAN, OR BRUSHED TO REMOVE ALL LOOSE
MATERIALS, AND CLEANED WITH A HIGH PRESSURE
HOSE STREAM. IF THE OPEN JOINTS CANNOT RECEIVE
MORTAR FOR AN REPAIR WITHIN A TWELVE (12)
HOUR PERIOD AFTER REMOVAL OF EXISTING MORTAR,
OR INCLEMENT WEATHER IS FORECAST WHICH MAY
CAUSE A DELAY IN COMPLETING THE REPOINTING IN
ANY ONE OR SEVERAL AREAS, THE CONTRACTOR
SHALL COVER THE OPEN JOINTS WITH POLYETHYLENE
COVERINGS OR OTHER SUITABLE MATERIAL IN ORDER
TO PREVENT WATER PENETRATION INTO THE BUILDING
AND POSSIBLE WATER DAMAGE. THE CONTRACTOR
SHALL SECURE THE PROTECTIVE COVERING WITH TAPE
OR OTHER ACCEPTABLE METHODS, AND MAINTAIN THE
COVERING UNTIL THE WORK CAN CONTINUE UNDER
FAVORABLE WEATHER CONDITIONS. CUT OUT MORTAR
AND BRICK REPAIRS SHALL BE MADE BY THE
ARCHITECT. EXISTING MORTAR NOT REMOVED
THOROUGHLY AS REQUIRED SHALL BE REASON FOR
REJECTION BY THE ARCHITECT.

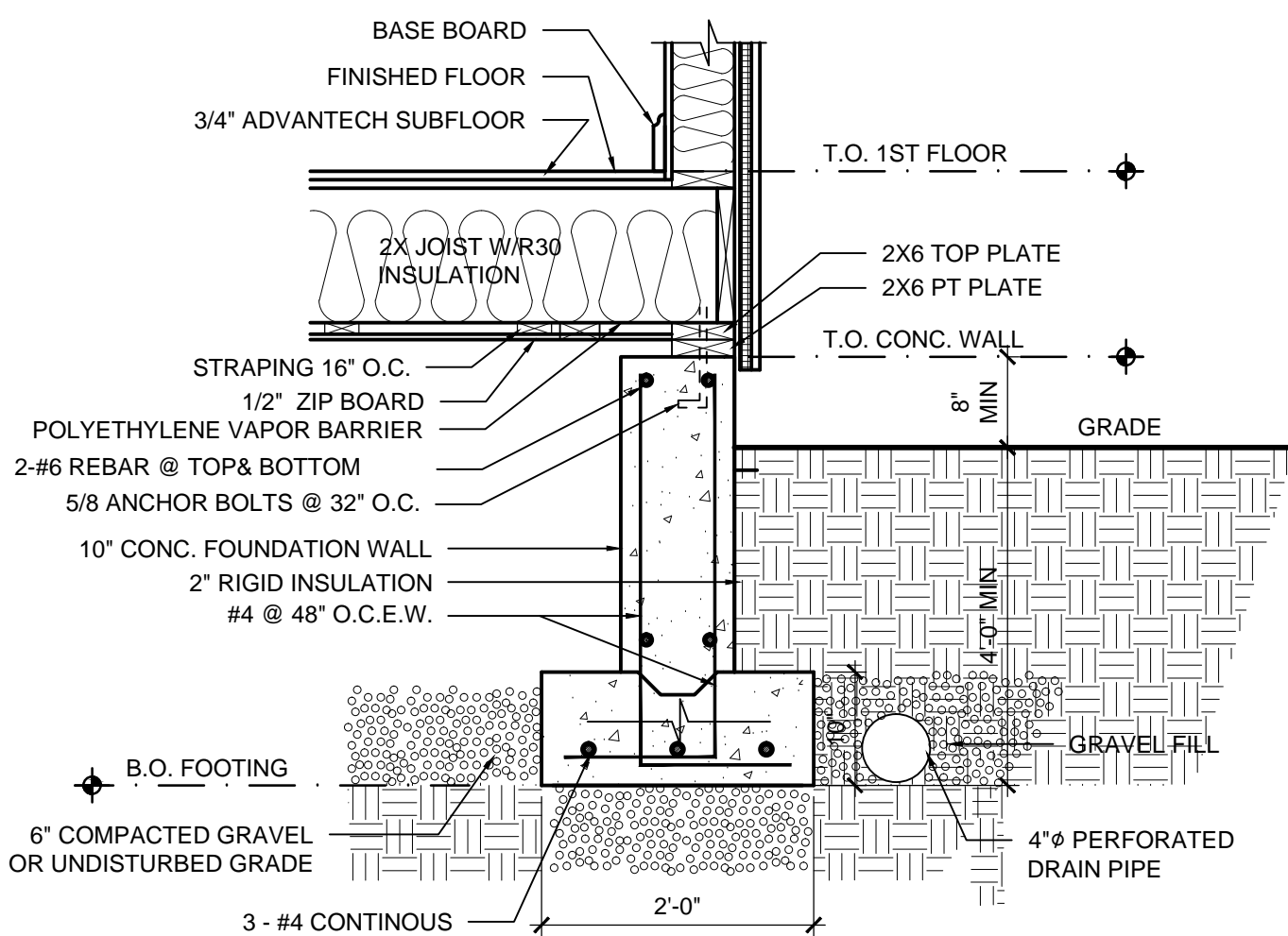
- A. TO AVOID SHRINKAGE AND IMPROVE WORKABILITY, POINTING MORTAR SHALL BE PRE-HYDRATED. THOROUGHLY MIX ALL MORTAR INGREDIENTS DRY. WHEN READY FOR USE, MIX INGREDIENTS AGAIN AND ADD WATER UNTIL MORTAR IS NEARLY DAMP WORKABLE MIX WHICH WILL RETAIN ITS FORM WHEN PRESSED INTO A BALL. THE MORTAR SHALL BE KEPT IN THIS MOIST CONDITION FOR ONE TO TWO HOURS, AND THEN SUFFICIENT WATER ADDED TO BRING IT TO THE PROPER CONSISTENCY; THAT IS, SOMEWHAT DRIER THAN CONVENTIONAL MASONRY MORTAR.
- B. TO INSURE A GOOD BOND TO THE EXISTING MORTAR, BRICK AND STONEWORK, WET THE EXISTING JOINTS THOROUGHLY BEFORE APPLYING FRESH MORTAR. THE JOINTS SHALL NOT RECEIVE MORTAR IF THERE IS ANY REMAINING FRESH MORTAR IN PREVIOUS CASES, ALLOW WATER TO SOAK INTO THE WALL. THE NEW MORTAR SHALL BE POAKED TIGHTLY IN 1/4" LAYERS UNTIL THE JOINT IS FILLED, THEN TOOLED TO A SMOOTH, CONCAVE SURFACE. NOTE CAREFULLY: FLUSH JOINTS WILL NOT BE ACCEPTABLE.
- C. THE CONTRACTOR SHALL PROTECT EXISTING ROOFING, WINDOWS, DOORS, STONEWORK, FLASHING, CAULKING TRIM AND OTHER MATERIALS DURING THE COURSE OF OPERATIONS. ALL DAMAGES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT THEIR EXPENSE AND TO THE COMPLETE SATISFACTION OF THE ARCHITECT.
- D. AFTER NEW MORTAR IS THOROUGHLY SET AND CURED REMOVE LARGE PARTICLES OF MORTAR WITH WOOD PADDLES AND SCRAPERS PRIOR TO WETTING THE WALL. USE CHISELS OR WIRE BRUSHES AS NECESSARY WITH CARE TO PREVENT INJURY TO EXISTING BRICK AND STONEWORK. THE WALL AREAS WHERE POINTING HAS TAKE PLACE SHALL BE CLEANED WITH WATER TO FLUSH OFF ALL LOOSE MORTAR AND DIRT. THESE AREAS ARE THEN TO BE CLEANED WITH A SOLUTION OF ONE HALF CUP TRISODIUM PHOSPHATE AND ONE HALF CUP OF HOUSEHOLD DETERGENT DISSOLVED IN ONE GALLON OF CLEAN WATER.

THE CONTRACTOR SHALL GUARANTEE HIS WORK, LABOR, AND MATERIALS IN WRITING FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE BASE BID CONTRACT. SHOULD THE POINTED JOINTS EXECUTED UNDER THIS CONTRACT FAIL WITHIN THE GUARANTEED PERIOD AS DETERMINED BY THE ARCHITECT, THE CONTRACTOR SHALL MAKE SUITABLE REPAIRS INCLUDING AN ADDITIONAL APPLICATION OF THE LIQUID REPELLENT COATING AT HIS OWN EXPENSE.

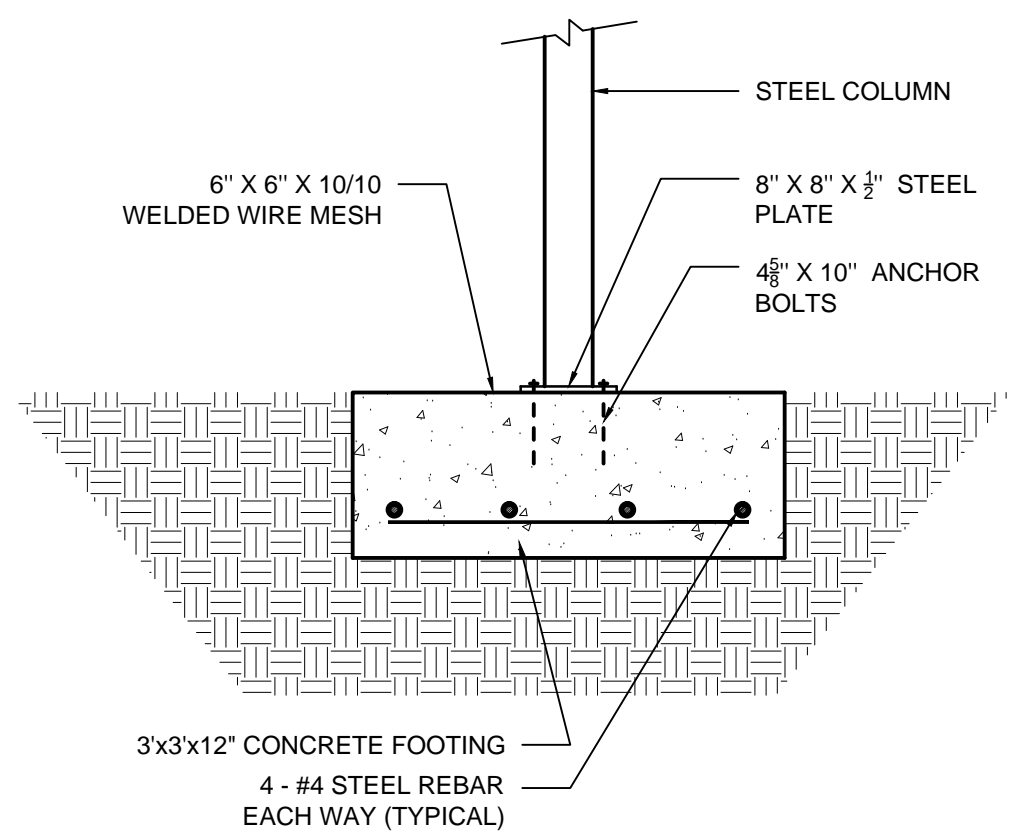
AT COMPLETION, REMOVE ALL EXCESS MATERIAL, DEBRIS, AND RUBBISH RESULTING FROM THE WORK OF THIS SECTION FROM THE JOB SITE. THE GROUNDS SHALL BE LEFT CLEAN.



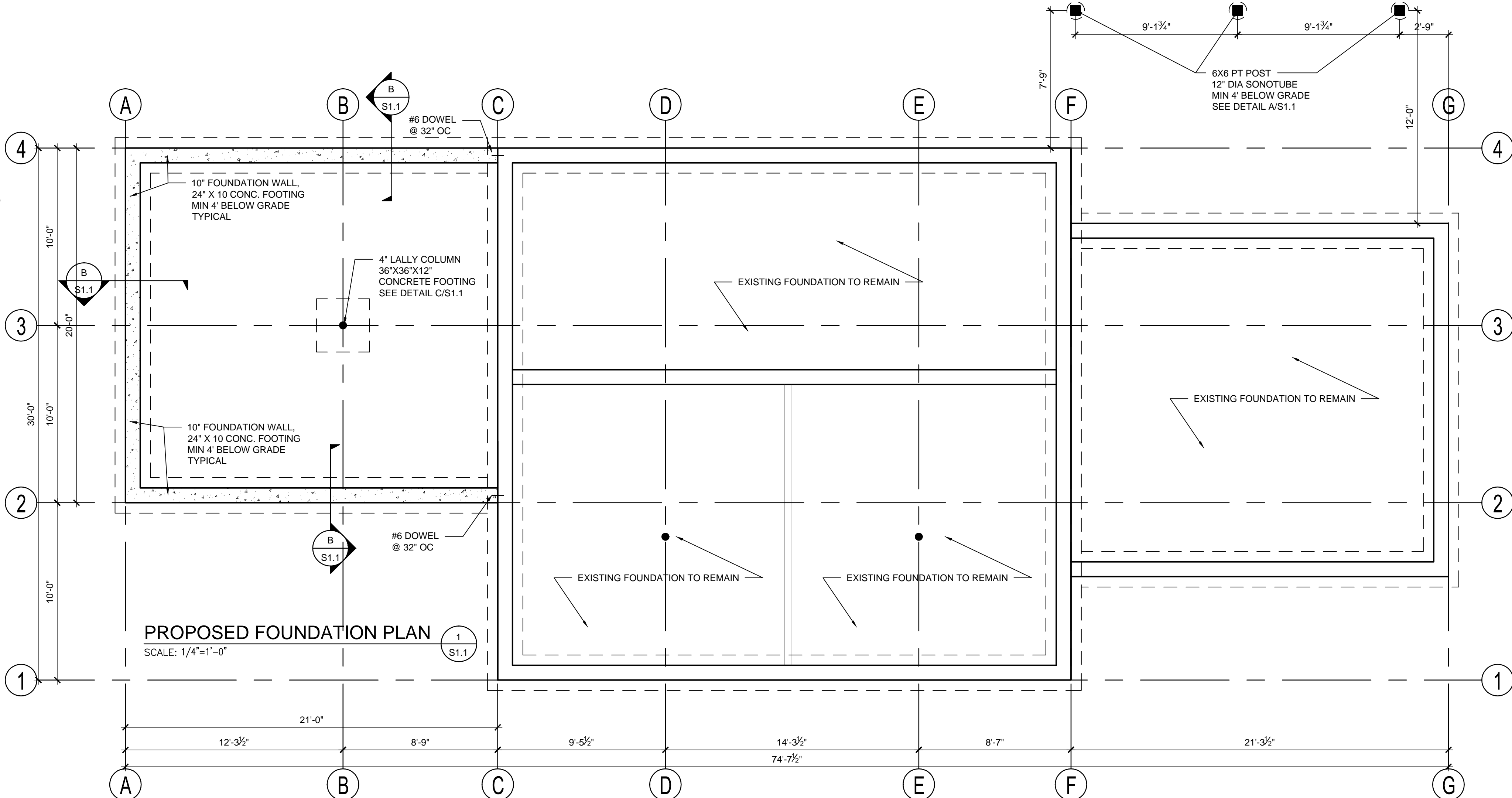
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SCALE: $3/4"=1'-0"$



SCALE: $3/4"=1'-0"$



DESIGN LOAD		
	LIVE LOAD	DEAD LOAD
ROOF	40 P.S.F. SNOW LOAD	20 P.S.F.
ATTIC (STORAGE ONLY)	20 P.S.F.	10 P.S.F.
2ND FLOOR	40 P.S.F.	20 P.S.F.
1ST FLOOR	40 P.S.F.	20 P.S.F.
DECK	40 P.S.F.	10 P.S.F.
GUARDS & HANDRAIL	200 P.S.F.	

WOOD LINTEL SCHEDULE		
SPAN OF OPENING	SIZE: 2X6 STUDS	SIZE: 2X4 STUDS
LESS THAN 4'-0"	3 - 2X8	2 - 2X8
UP TO 6'-0"	3 - 2X10	2 - 2X10
UP TO 8'-0"	3 - 2X12	2 - 2X12

CONSULTANT

REGISTRATION



REVISIONS

[illegible]

PROJECT

2- FAMILY ALTERATION

168-170 NECK ST,
WEYMOUTH, MA

PROJECT NO. 23158

SHEET TITLE

STRUCTURAL DETAILS

DRAWN: J.Z	DRAWING NO: <div style="font-size: 48pt; font-weight: bold; text-align: center;">S1.1</div>
SCALE: NOTED	
DATE: 12/4/2023	
CHECKED:	
SHEET 1 OF	

