

**TOWN OF WEYMOUTH
BOARD OF ZONING APPEALS APPLICATION**

TO BE COMPLETED BY STAFF

Case Number: 3299 Town Clerk Stamp
Submittal Accepted: _____ Date _____
Signature of Planning Dept. Staff for minimal requirements
Determined to be complete and may now be filed with Town Clerk: _____
Signature of Principal Planner or Director

PROPERTY INFORMATION - TO BE COMPLETED BY APPLICANT

PROJECT / PROPERTY STREET ADDRESS: 328 North Street, Building D

Assessor's Map Sheet, Block, & Lot: Sheet 10, Block 103, Lot 1

Zoning District: R-1 Overlay District: _____

OWNER OF RECORD (S) (print & sign): Dawn and Charles Struzzieri, Debra and Richard Freeman
(The owner of record is the person or entity who owns title to the property as of today's date)

Address of owner of record: 328 North Street, Weymouth, MA 02191

Norfolk County Registry of Deeds Book and Page No. 24906/596

Or registered in Land Registration Office under Certificate No. _____

NAME OF APPLICANT (S) (print & sign): Debra and Richard Freeman

Applicant's Address: 328 North Street, Weymouth, MA 02191

Contact Information: Email rik50@verizon.net Phone 617-201-1857

Check if you are an: owner(s) ☒ lessee(s) ☐ optionee (s) ☐

NAME & AFFILIATION OF REPRESENTATIVE: _____


Address: _____

Contact Information: Email _____ Phone _____

NAME OF ENGINEER AND / OR ARCHITECT: Patricia J Fisher, Fisher Associates Architects

Prior to submitting your application you must review this entire package and the Board Rules and Regulations outlining the Board's policies and procedures. Your signature signifies that you have read the required material and you will be expected to adhere to them.

I (we) hereby certify that I (we) have read the Board of Zoning Appeals Rules and Regulations and that the statements within my (our) application are true and accurate to the best of my (our) knowledge.

 7/11/16 RICHARD FREEMAN
Applicant / Petitioner - Date (sign & print)

NATURE OF REQUEST

Application is for: ☒ Special Permit ☐ Variance Other: _____

Applicable Section of Zoning Ordinance (specify Section (s) of the Zoning Ordinance from which relief is sought):

Chapter 120-40

The above relief and Ordinance sections will be further reviewed after a complete package is submitted. This may be amended by the Planning or Building staff during the application review process after having the benefit of plan to accurately advertise the application before the Board.

PETITIONER'S DESCRIPTION AND NARRATIVE

To be completed by all Board of Appeals Applicants. Attach additional sheets as necessary.

1. Describe what is presently located on the property (use as much detail as possible including all uses and square footage of each use):

The lot consists of 8 acres of land. The first building was built in 1790. There are 6 buildings on the property. Two barns, three houses and a pool and pool house. The three houses are occupied by members of the same family.

2. The applicant seeks to (describe what you want to do on the property in as much detail as possible):

Add a one story 16' x 16' addition at the rear of the house occupied by Debra and Richard Freeman.

3. Such a use is permitted by the Town of Weymouth Zoning Ordinance under Article (insert Article, Section of the Zoning Ordinance which permits the proposed use of the property).

120-11

4. Are you aware if this property has been previously granted approvals from any Town Board or Commission? If so, please list (provide dates of previous approvals, book and page numbers or any recorded decisions and copies of past decisions).

A special permit was granted for this building in November 5, 2009 for an addition to this home.

5. Any other additional information as relevant to the Variance or Special Permit:

ZONING COMPUTATION WORKSHEET

(To be attached with all Board of Zoning Appeals Applications)

The Zoning Computation Worksheet must be completed by the Applicant / Petitioner. All information should be measured and calculated in accordance with the Weymouth Zoning Ordinance (Section 120-51 Table 1 "Schedule District Regulations" and other applicable sections of the Zoning Ordinance). The information should be based on engineer/surveyor/architectural prepared plans and or calculations. Further guidance can also be provided by the Board's step-by-step application instructions and by contacting the Planning or Building Department while completing this section.

Data	Required	Existing	Proposed
Use		R-1	R-1
Lot Area / Size (Sq. Ft.)	25,000 SF	348,970 SF	348,970 SF
Dwelling Units	1	3	3
Frontage (ft.)	120	73'	73'
Lot Width (ft.)	120	342.27'	342.27'
Front Yard Setback (ft.)	18	105'	105'
Front Yard Setback (ft.) - corner lots			
Side Yard Setback (ft.)	10	260'	260'
Side Yard Setback (ft.)	10	310'	304'
Rear Yard Setback (ft.)	24	450'	434'
Height (ft.) & # of Stories	2 1/2 35'	1 1/2 23'-3"	1 1/2 23'-3"
Lot Coverage	30%	2%	2%
Off-Street Parking Spaces	6	10	10
Off-Street Loading Spaces			
Parking Setback			
Accessory Structure Setback			
Landscaping			
Floor Area Ratio			
Signage			
Other:			

SPECIAL PERMIT APPLICATION

To be completed for Special Permit Applications only.

SPECIAL PERMIT FINDINGS OF FACT

In the spaces below explain how the adverse effects of the proposal will not outweigh its beneficial impacts to the Town with respect to each of the following considerations per Article XXV, Section 120-122 of the Zoning Ordinance. The Special Permit Granting Authority may approve any such application for a special permit **only** if it finds that, in its judgment, all of the following conditions are met. (Attach additional supporting documentation as necessary).

1. Is the specific site an appropriate location for such a use? Please explain.

Yes, this is a very large lot (8 acres) and the houses are established on this lot and exist prior to the zoning ordinance.

2. Will the proposed use / structure be detrimental or adversely affect the character of the neighborhood or town? Please explain.

No the addition will not adversely affect the character of the neighborhood. There will be no change to the neighborhood and no access changes.

3. Is there potential for nuisance or serious hazard to vehicles or pedestrians? Please explain.

No. The addition will not add residents to the neighborhood. The home will continue to be occupied by the same family.

4. Will adequate and appropriate facilities, utilities and other public services be provided for the proper operation of the proposed use? Please explain.

Yes, adequate and appropriate facilities will be provided for the proper operation of the proposed use, the property is tied into sewer.

5. Will the public convenience and welfare be substantially serviced with this proposal? Please explain.

There will be no change to the public convenience and welfare. This addition will allow the family, long term residents of Weymouth to continue to live in this house and their sons to continue to attend the schools of Weymouth.

SUPPLEMENTARY QUESTIONS - SECTION 120-40 SPECIAL PERMITS

Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Structure or Use (Article XIII "Nonconforming Uses" Section 120-40 "Extension or Change")

To be completed by Applicants applying for a Special Permit under Section 120-40 Only.

EXTENSION OR CHANGE FINDINGS OF FACT:

Any lawful structure or use in existences at the time the Zoning Ordinance was adopted or amended may be extended or altered, provided that no such extension or alteration shall be permitted unless there is a finding by the Board of Zoning Appeals that such change, extension or alteration shall not be substantially more detrimental than the existing nonconforming use or structure to the neighborhood.

1. Describe what is currently nonconforming about this structure (list specific dimensional nonconformities):

Six buildings exist on one lot.

2. Indicate how long the nonconforming aspects of the structure have been in existence:

The houses were built in 1790, 1938 and 1940. The ages of the barns is unknown.

3. At the time the nonconformity was created (the structure or use initiated) was it compliant with the current zoning requirements? Past zoning ordinances are available for research at the Town Clerk's office and Planning Department. Past zoning maps are available at the Planning Department.

THE THREE HOUSES WERE BUILT IN 1790, 1938 AND 1940

4. Explain how the extension, alteration, or change itself complies with the current Zoning Ordinance requirements:

The lot is very large, 8 acres, and the house in question is in the center of the property and not near the property lines.

5. Indicate the number of off-street parking spaces currently provided and to be provided for the proposed structure as extended, altered or changed:

There is an unlimited number of off-street parking spaces

6. Explain how the use or structure as extended, altered or changed will not be substantially more detrimental to the neighborhood than the existing structure:

The addition will be placed on the rear of the house. This house is not visible from the street or the neighbors. There will not be additional residents added to the neighborhood or vehicles.

DEMOLITION NOTES:

- Contractor is responsible to obtain all necessary permits for demolition work.
- Remove all structure shown dashed.
- Debris shall be removed from the building on a daily basis.
- Coordinate openings for sub-contractors.
- Firestop all openings made during demolition in fire rated walls/floors and ceilings.
- By careful study of the contract documents and site conditions, plan a selective demolition sequence for approval by structural engineer and or city official.
- Shore and brace existing conditions as required for the removal of existing construction or installation of new work to ensure the structural integrity of the building.
- Cease operations if public safety or remaining structures are endangered. Perform temporary corrective measures until operations can be continued properly.
- Structural integrity during construction – comply with ASCE 37, Section 1.3.2

GENERAL NOTES:

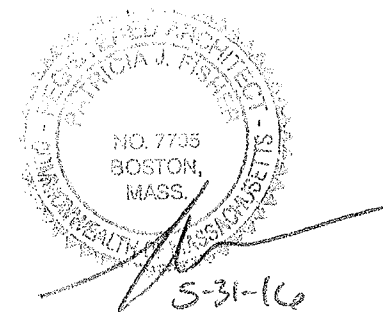
- Contractor is responsible to follow all local, state, and applicable national codes and regulations.
- Contractor is responsible to obtain all necessary building permits and approvals for construction work and to pay all applicable fees.
- Contractor is responsible to visit the site to review all existing conditions and report any variations on the drawings to the architect for clarification.
- Contractor is required to verify all dimensions in the field and report any discrepancies to the architect for clarification. Do not scale off the drawings, use dimension notes. Notes such as "align" or "clear" take precedence over dimension notes. Do not scale when ordering materials manufactured either on or off site, such as millwork, casework, fixtures, etc. that cannot be trimmed to fit on site - measure actual conditions in field.
- Unless indicated on the drawings as Not In Contract (N.I.C.) or as existing, all items, materials and installations of same are a part of the contract defined by the construction documents. The contractor shall provide and install all accessories, components and assemblies required for the work shown.
- Contractor is responsible for performing all work in a safe and satisfactory manner.
- Contractor is responsible for the stability of the structure during demolition, erection and construction.

ENGINEERING NOTES:

- Electrical, plumbing, and hvac sub-contractors shall be responsible for the design-build of the electrical, plumbing and heating, cooling and ventilation work required for this project.

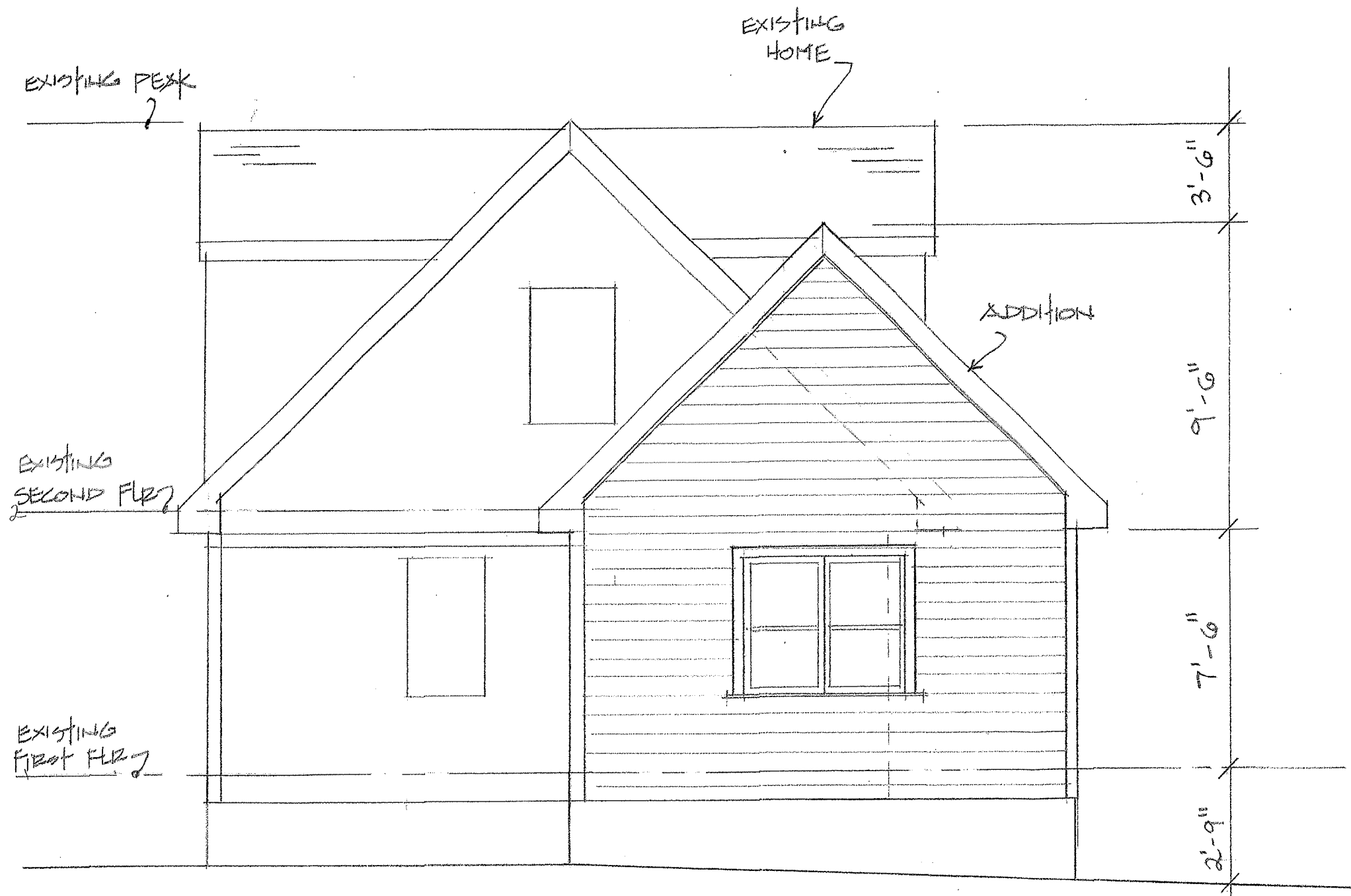
Freeman Family Renovation

**328 North Street, Building D
Weymouth, MA**

**FISHER ASSOCIATES ARCHITECTS**

Architects / Engineers / Planners
35 Fisher Road
Weymouth, Massachusetts 02190
781-337-3409 / 617-733-8404
fisherassociates@comcast.net

An SDO Certified Firm



REAR ELEVATION

LEGEND Existing Partitions

Demolition

New partitions

Three way light switch w/dimmer S

Light Switch w/dimmer S

Electrical Outlet O

Cable outlet C

Ground Fault Int. O

Carriage light C

Recessed Light Fixture R

Vanity lights V

Pendant Light Fixture P

Security Light

Ducted exhaust fan

Hose Bibb HB

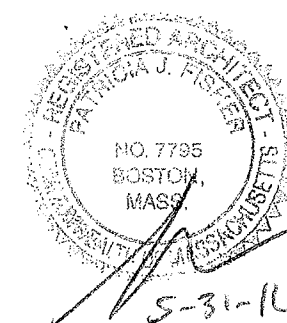
Hard Wired Smoke/Carbon Monoxide Detector S

Window Type Indicator A
See window schedule

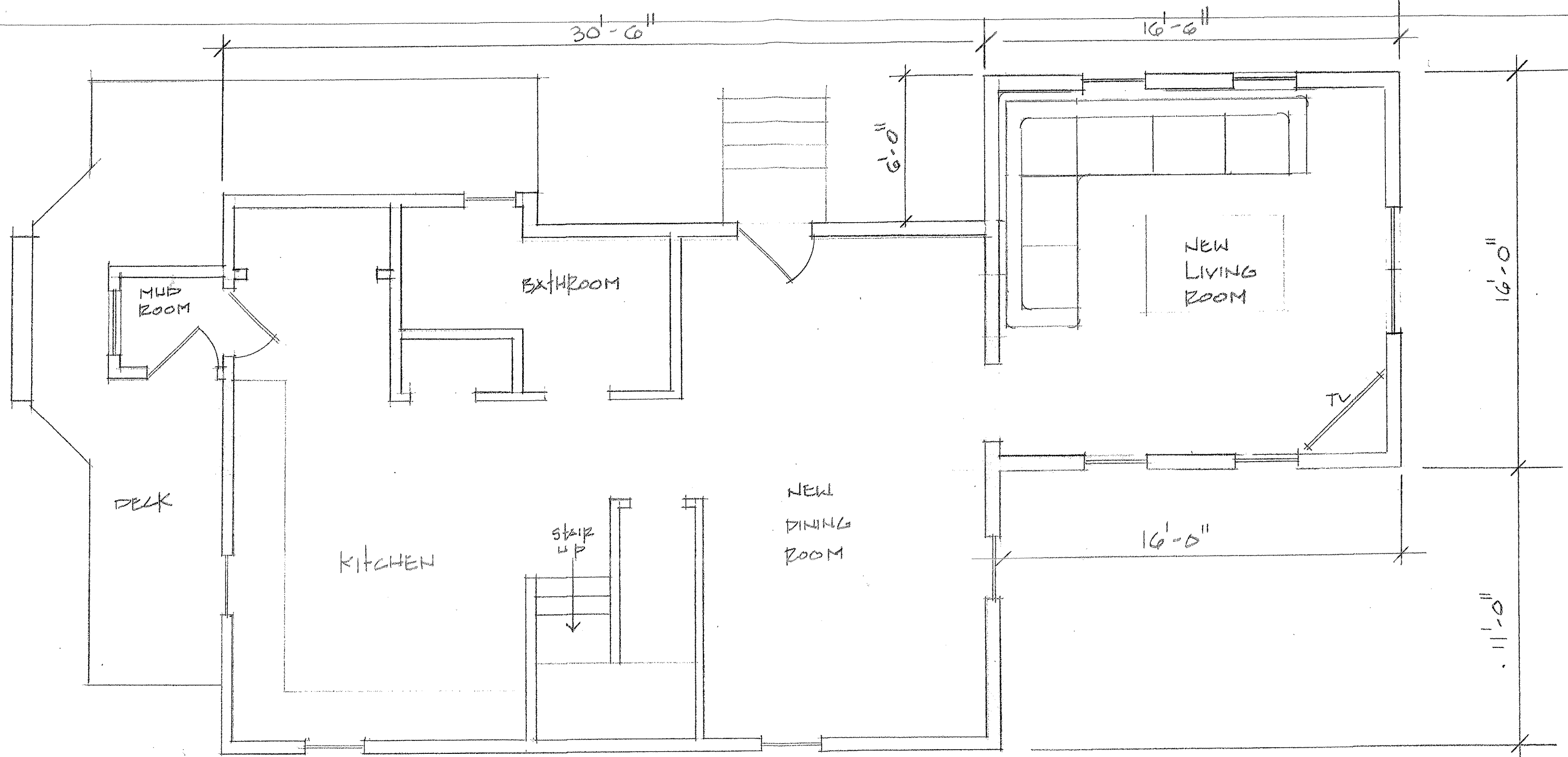
Freeman Family Addition
328 North Street, Building D
Weymouth, MA

April 26, 2016
1/4" = 1'-0"

FISHER ASSOCIATES ARCHITECTS
35 Fisher Road
Weymouth, Massachusetts 02190
781-337-3409 / 617-733-8404
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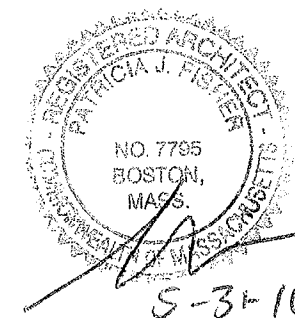
First Floor Plan

EXISTING HOME ADDITION

Freeman Family Addition
328 North Street, Building D
Weymouth, MA

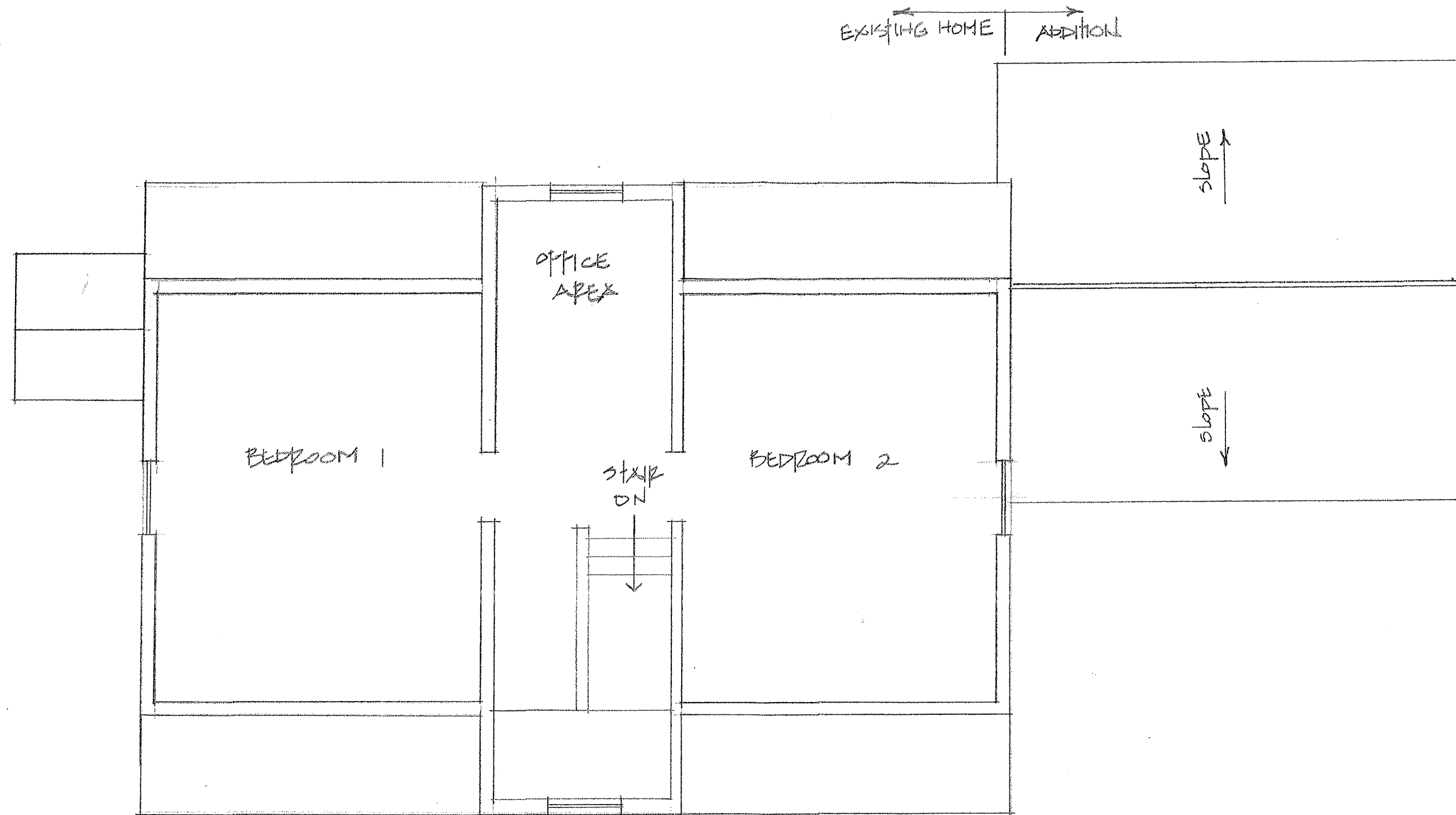
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A-2

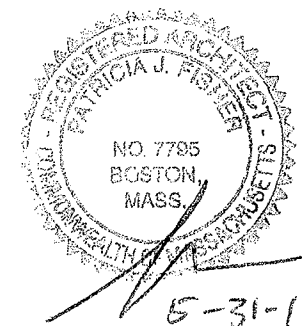


SECOND FLOOR PLAN

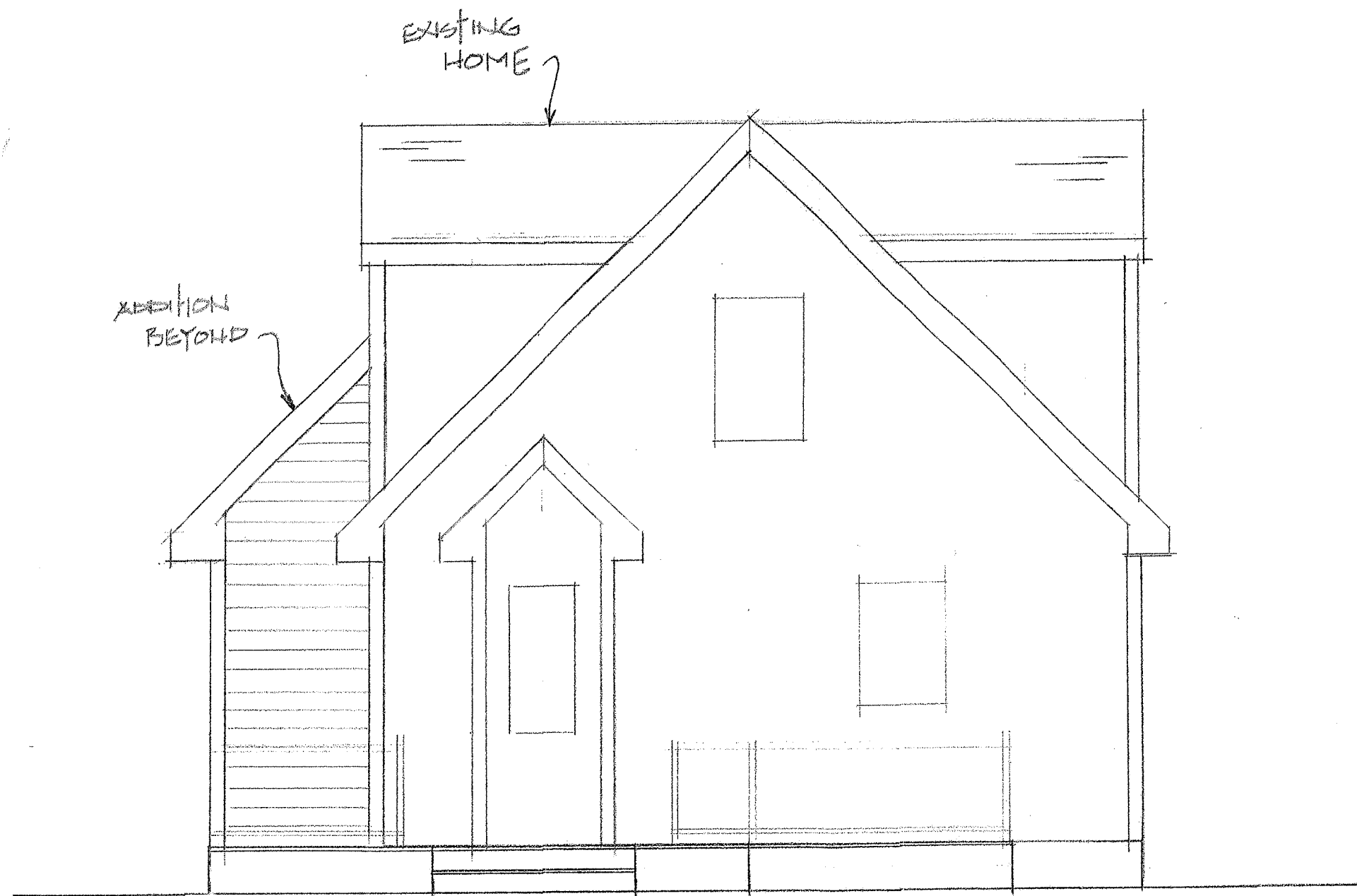
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April 26, 2016
 3/4" = 1'-0"

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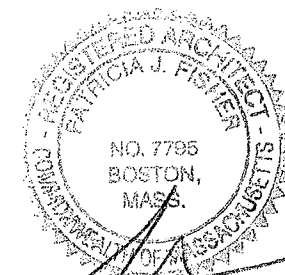


FRONT ELEVATION

Freeman Family Addition
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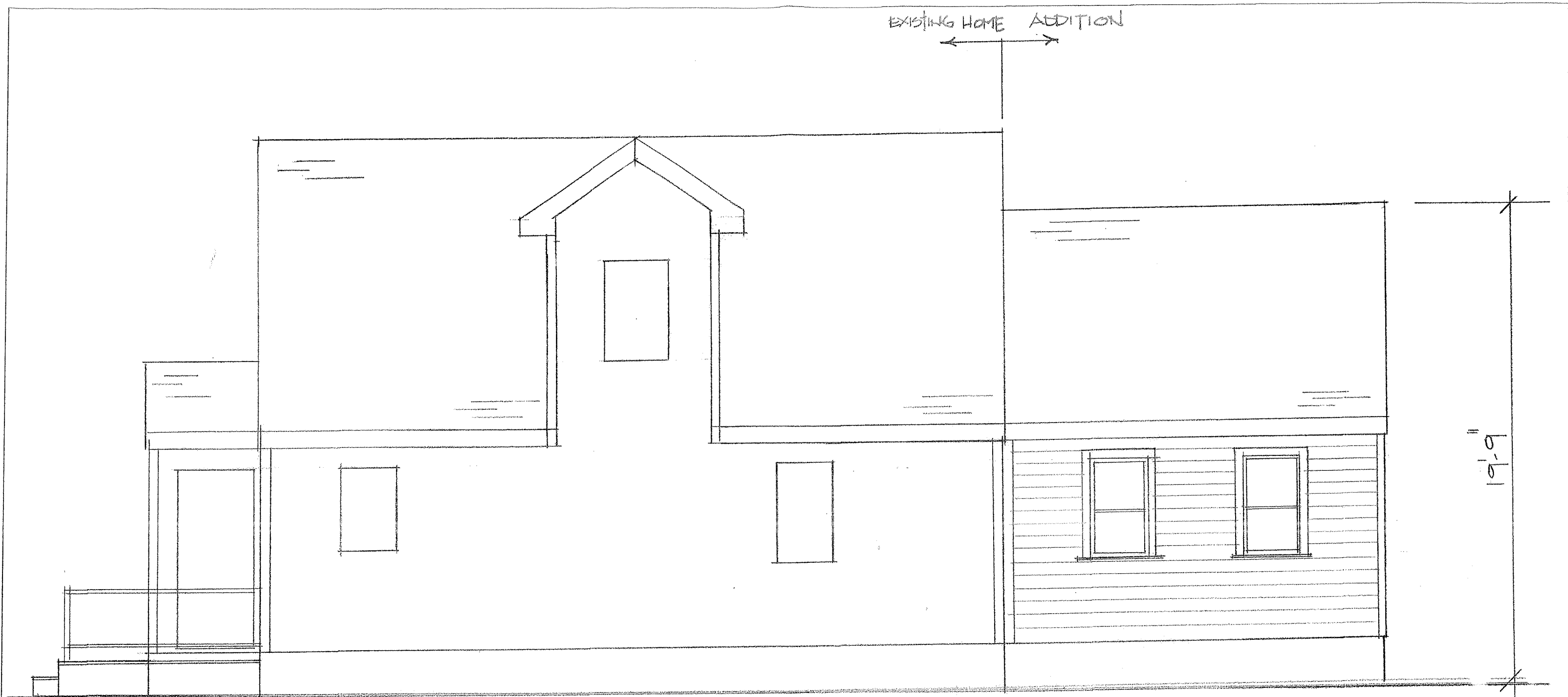
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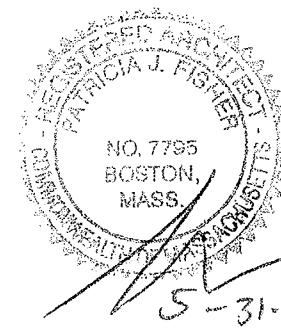


RIGHT SIDE ELEVATION

**Freeman Family Addition
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Weymouth, MA**

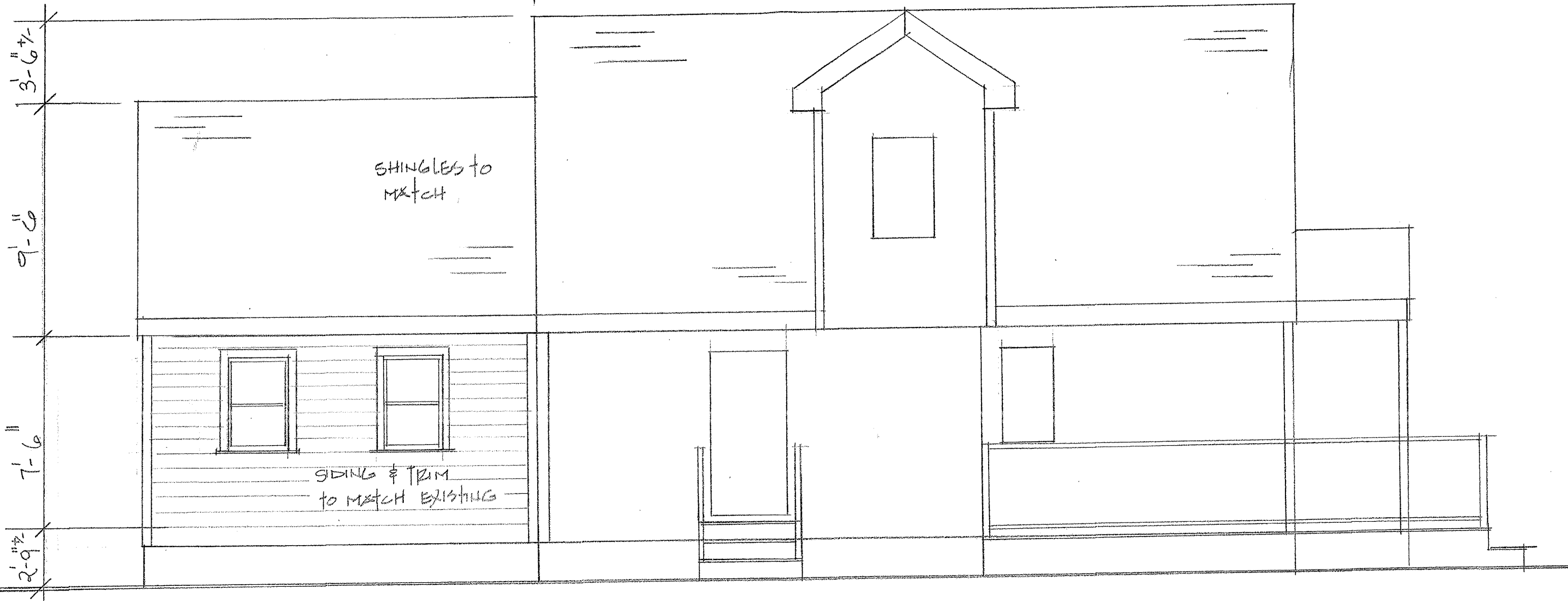
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ADDITION ← → EXISTING

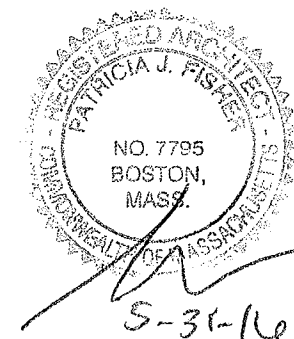


LEFT SIDE ELEVATION

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April 26, 2016
1/4" = 1'-0"

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