

| Rev: | Date: | Description: | NAM |
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| 02 | 9/21-23 | FLOOR PLAN UPDATES | TM |
| 01 | 7/10/23 | REVIEW | TM |

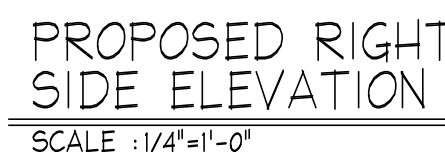
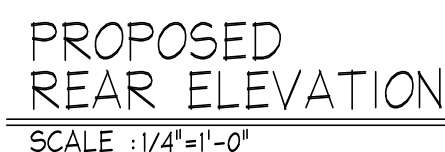
EXISTING HOME
RENOVATIONS

64 DEANNA ROAD
BROCKTON, MA

PROPOSED
FRONT & SIDE
ELEVATIONS

| | |
|-------------|--------------|
| SCALE: | 1/4" = 1'-0" |
| DRAWN by: | TMN |
| CHK'D by: | MKS |
| PROJECT No: | 2023-242 |

A-C



ALL CONSTRUCTION SHALL CONFORM TO THE 2005 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY THE STATE OF MASSACHUSETTS (AND/OR LOCAL JURISDICTION) AND BE IN ACCORDANCE WITH MASSACHUSETTS STATE LAWS AND REGULATIONS

DRAWING NOTES: DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED ON THE DRAWINGS. DIMENSIONS ON THE DRAWINGS ARE TO FRAMING ELEMENTS OR ON THE CENTERLINE OF COLUMNS AND INTERIOR WALLS UNLESS NOTED OTHERWISE. DOORS AND CASED OPENINGS WITHOUT DIMENSIONS ARE TO BE 4" FROM THE FACE OF THE ADJACENT WALL OR CENTERED BETWEEN THE WALLS, UNLESS NOTED OTHERWISE. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.

CONTRACTOR'S RESPONSIBILITY: CONTRACTOR VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO THE CONSTRUCTION. CONTRACTOR IN INFORM ENGINEER OF ANY DISCREPANCIES IN THE DOCUMENTS OR IN CONFLICT WITH THE CODES. CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE OWNER AND ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. PROVIDE ADEQUATE TIME (10 WORKING DAYS MINIMUM) FOR OWNER AND ENGINEER TO REVIEW PROPOSED CHANGE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK. ALL STRUCTURAL SYSTEMS SUCH AS WOOD PRESSED-PLATE TRUSSES WHICH HAVE COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE, AND ERECTION IN ACCORDANCE WITH THE SUPPLIER'S PRINTED INSTRUCTIONS. CONTRACTOR TO COORDINATE STRUCTURAL FRAMING WITH ELECTRICAL, PLUMBING AND MECHANICAL WORK. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OPERATION OF ALL SYSTEMS AND THE COORDINATION OF ALL SYSTEMS AND TRADES. CONTRACTOR TO NOTIFY ENGINEER FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

CRAWL SPACE: CRAWL SPACE SHALL BE VENTILATED WITH AN APPROVED MECHANICAL MEANS OR BY OPENINGS IN THE EXTERIOR FOUNDATION WALLS. OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. ONE OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER IF POSSIBLE. THE OPENING SIZE SHALL BE EQUALLY DISTRIBUTED ALONG THE LENGTH OF TWO OPPOSITE SIDES PER IRC R408.2

GARAGES: DOORS BETWEEN DWELLING AND GARAGE SHALL BE SOLID CORE WOOD 1-3/8" MINIMUM THICKNESS OR 20-MINUTE FIRE RATED PER IRC R302.5.1. THERE SHALL BE NO OPENINGS BETWEEN ROOMS USED FOR SLEEPING PURPOSES AND THE GARAGE. SEPARATE THE RESIDENTIAL SPACES INCLUDING ATTIC SPACES FROM THE GARAGE OR SHOP WITH NOT LESS THAN 1/2" GMB APPLIED AT THE GARAGE SIDE. AND, GARAGES BELOW HABITABLE SPACES SHALL BE SEPARATED WITH 5/8" TYPE "X" GMB PER IRC R302.6. HEATING/COOLING SWITCHES AT LEAST 18" ABOVE THE FLOOR LEVEL PER IRC G2408.2. PROVIDED AUTOMATIC GARAGE OPENERS SHALL BE LISTED IN ACCORDANCE WITH UL 325.

FIREPLACES: FACTORY BUILT FIREPLACES AND CHIMNEYS SHALL BE LISTED AND INSULATED PER THE MANUFACTURERS SPECIFICATIONS, IRC R1004.1 AND TESTED IN ACCORDANCE WITH UL 127. MASONRY FIREPLACES, BARBECUES, SMOKE CHAMBERS, AND CHIMNEYS SHALL BE CONSTRUCTED OF MASONRY OR REINFORCED CONCRETE. FOUNDATIONS SHALL BE MINIMUM 12" THICK AND EXTEND 6" BEYOND FACE OF MASONRY. WALLS MINIMUM 8" THICK EXCEPT IN FIREBOX TO BE MINIMUM 10" THICK. COMBUSTIBLE MATERIALS SHALL NOT BE PLACED WITHIN 6" OF THE FIREPLACE OPENING. HEARTH TO BE MINIMUM 4" THICK NON-COMBUSTIBLE MATERIAL EXTENDING 16" IN FRONT AND 8" TO THE SIDE OF THE FIREPLACE OPENING. COMBUSTIBLE MATERIAL WITHIN 12" OF THE FIREPLACE OPENING SHALL NO PROJECT MORE THAN $\frac{1}{4}$ " FOR EACH 1" DISTANCE FROM SUCH OPENING. REFER TO IRC R1001.

CEILING HEIGHTS: HABITABLE SPACES SHALL HAVE A CLEAR CEILING HEIGHT OF NOT LESS THAN 7'-0". NOT MORE THAN 50% OF REQUIRED FLOOR AREA OF A SPACE IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN 7'-0" WITH NO PORTION LESS THAN 5'-0". BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT WITH NO PORTION BEING LOWER THAN 6'-8" ABOVE THE FIXTURES AND ITS FRONT CLEARANCE AREA. IRC R305.

ROOFING: APPLY ROOFING IN CONFORMANCE WITH IRC R905. BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO THE WEATHER SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF $\frac{1}{4}$ " PER FOOT (2%) FOR DRAINAGE.

ATTIC: PROVIDE VENTILATION AS INDICATED ON THE DRAWINGS. THE NET FREE VENTING AREA SHALL BE NOT LESS THAN 1/150TH OF THE SPACE, EXCEPT THAT THE AREA MAY BE 1/300TH PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED WITH VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVES OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS (IRC R806.2). ATTIC ACCESS SHALL BE A MINIMUM 22" X 30" OPENING WITH A MINIMUM 30" CLEARANCE HEADROOM ABOVE, UNOBSTRUCTED, AND READILY ACCESSIBLE FROM BELOW. PROVIDE FOR ALL ATTIC SPACES OVER 30 SF AND OVER 30" HIGH (IRC R807).

GLAZING: ALL GLAZING TO BE IN COMPLIANCE WITH IRC R308 AND MASSACHUSETTS AMENDMENTS. GLAZING IN HAZARDOUS LOCATIONS SUCH AS GLASS IN DOORS, GLASS WITHIN 24" EACH SIDE OF A DOOR OPENING, AREAS WITH 60" VERTICALLY AND 60" HORIZONTALLY FROM THE BOTTOM LANDING OF A STAIRWAY, STORM DOORS, RAILINGS, SHOWER DOORS, SLIDING GLASS DOORS, AND THE ENCLOSURES AROUND TUB/SHOWER ENCLOSURES SHALL BE SAFE GLAZING MATERIALS (IRC R308.4). ALL EXTERIOR GLAZING SHALL COMPLY WITH THE 2015 IEEC.

EGRESS: EACH SLEEPING ROOM SHALL BE PROVIDED WITH AN ESCAPE OPENING: NET CLEAR OPENING OF 5.7 S NET CLEAR OPENING SHALL BE 24" BY 20" IN EITHER DIRECTION. THE SILL HEIGHT SHALL BE NO HIGHER THAN 44" ABOVE THE FINISHED FLOOR. REFER TO IRC R310.1. A MINIMUM OF ONE BUILDING EXIT DOOR IS REQUIRED THE MINIMUM SIZE IS 3'-0" WIDE X 6'-8" HIGH. PROVIDE DIRECT ACCESS TO THE EXTERIOR.

STAIRWAYS: MINIMUM HEADROOM IS 6'-8" MEASURED VERTICALLY FROM A SLOPED PLANE CONNECTING THE TREAD NOSING OR FROM THE FLOOR SURFACE OR PLATFORM. MINIMUM WIDTH IS 36". REFER TO IRC 311.7. MINIMUM TREAD: 10" MAXIMUM RISER IS 7-3/4". HANDRAIL: 34" TO 38" ABOVE STAIR NOSING. HANDRAIL TO BE 1-1/4" TO 2" CROSS SECTION AND 1-1/2" AWAY FROM WALL. IRC 311.7. INSTALL FIRE BLOCKING AT MID STRINGER SPAN AND AT WALL ALONG STRINGER. COVER WALLS AND SOFFITS OF USABLE SPACE UNDER STAIR WITH 3/4" IRC R302.7. GUARDRAILS: ANY EXTERIOR WALKING SURFACE 30" OR MORE ABOVE GRADE OR ADJACENT SURFACE SHALL HAVE MINIMUM 36" HIGH GUARDRAIL. IRC 312.1. AT STAIRS MORE THAN 30 INCHES ABOVE FLOOR OR GRADE PROVIDE A 34" MINIMUM HEIGHT GUARDRAIL. PROVIDE INTERMEDIATE RAILS THAT TO NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.

FIRE PROTECTION SYSTEMS: ALL SMOKE DETECTORS TO BE PHOTOELECTRIC TYPE LISTED IN ACCORDANCE WITH UL217 OR UL268 AND COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH 217 AND UL 2034. ALL SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH NFPA 72 AND IRC 314.3 REFLECTING THE MASSACHUSETTS AMENDMENTS. ALL ALARM DEVICES TO BE INTERCONNECTED PER IRC R314.4. FRAMING TO HAVE FIREBLOCKING PER IRC 602.8. PROVIDE DRAFTSTOPPING AT CONCEALED SPACES OVER 1000 SF PER IRC R502.12.

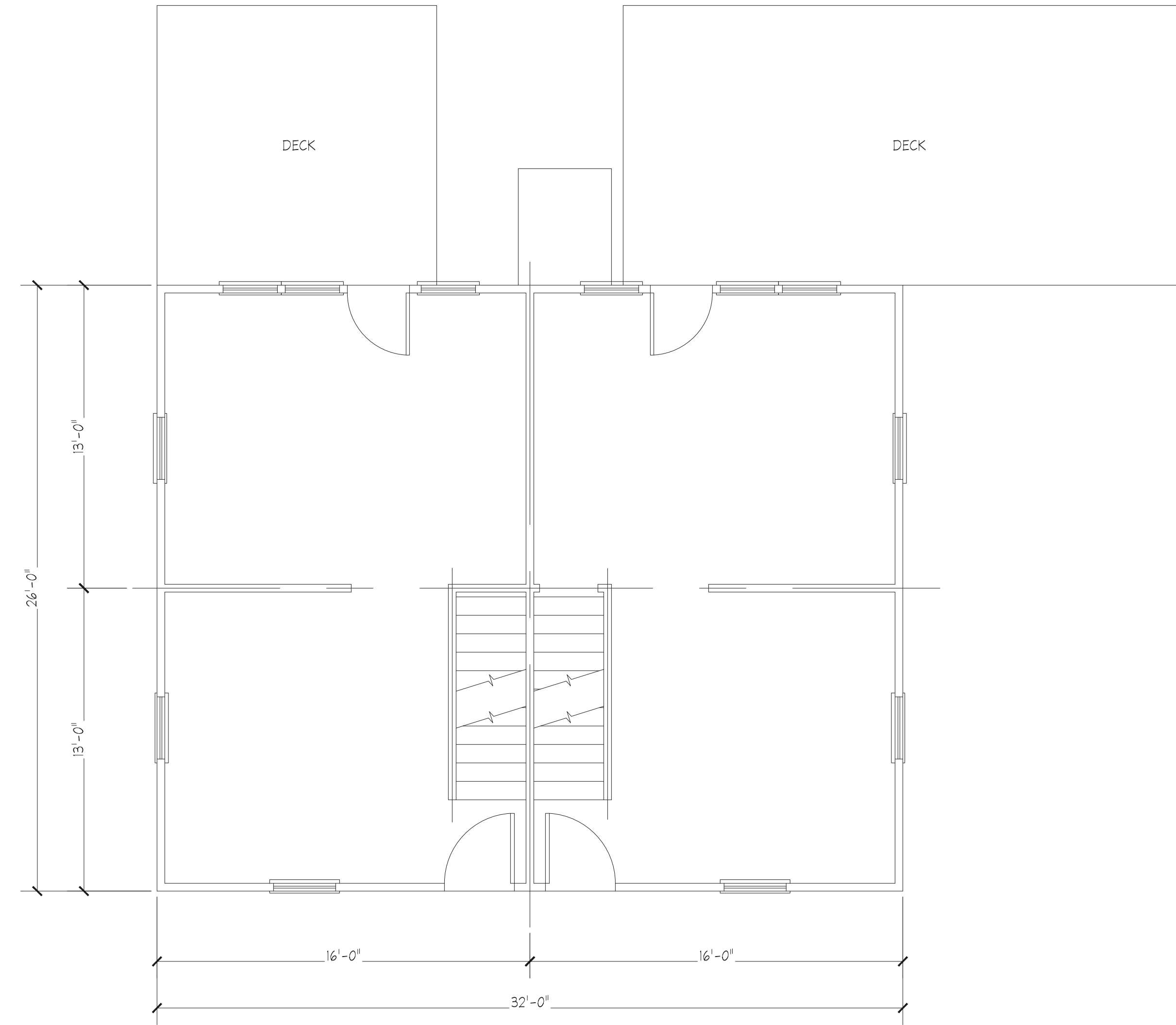
VENTILATION SYSTEMS: IN HABITABLE ROOMS NOT PROVIDED WITH AN OPENABLE EXTERIOR OPENING OF AT LEAST 4% OF THE FLOOR AREA A MECHANICAL VENTILATION SYSTEM MUST BE PROVIDED THAT PROVIDES A MINIMUM 0.35 AIR CHANGES PER HOUR PER IRC R303.1.DRYER AND BATHROOM FANS SHALL BE CFM, AND RANGE FANS SHALL BE 100 CFM MINIMUM WITH VENTING TO THE EXTERIOR. REFER TO IRC R303 AND MASS AMENDMENTS.

NATURAL LIGHTING: ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 OF THE FLOOR AREA OF THE ROOM PER IRC R303. GLAZED AREAS ARE NOT REQUIRED WHERE ARTIFICIAL LIGHTING PROVIDED.

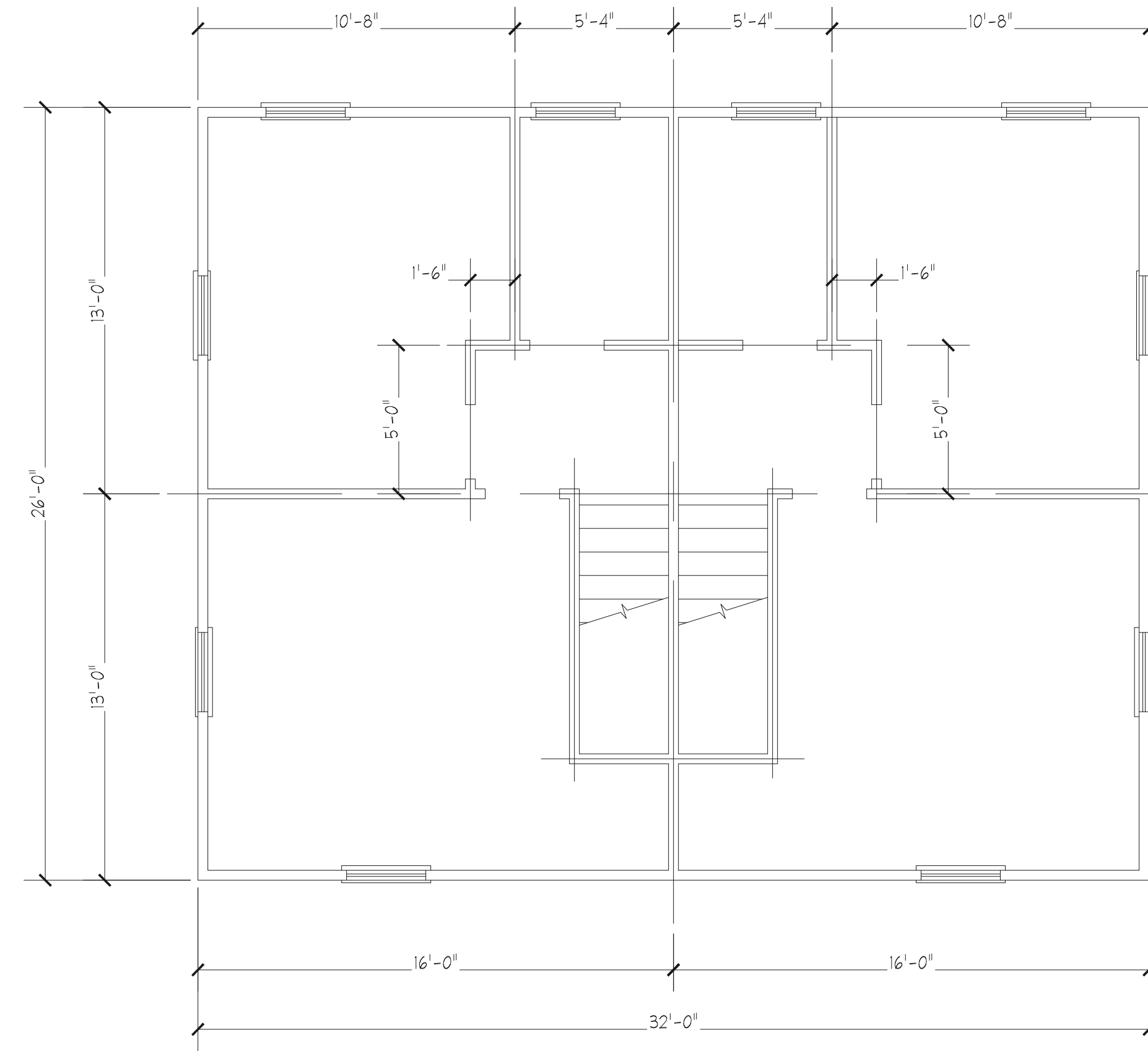
BATHROOMS: ALL STUD WALLS AT TUB AND SHOWER STALLS SHALL HAVE FIREBLOCKING BETWEEN STUDS. ALL GLAZING IN DOORS OR ENCLOSURES IN BATHROOMS SHALL BE SAFETY GLAZING. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE THE STANDING SURFACE AND DRAIN OUTLET SHALL BE SAFETY GLAZING (IRC R308.4). SHOWER STALL WAINSCOT SHALL BE MINIMUM OF 72" ABOVE THE FLOOR (IRC R307.2). WATERCLOSETS SHALL HAVE A MIN. 15" TO SIDE WALLS FROM CENTER OF FIXTURE, AND A MINIMUM 21" CLEARANCE IN FRONT OF THE FIXTURE (IRC R307.1).

DRAINAGE: DRAINS SHALL BE PROVIDED AROUND CONCRETE FOUNDATION TO RETAIN EARTH AND ENCLOSURE HABITABLE OR USEABLE SPACES LOCATED BELOW GRADE. DRAINAGE TIES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPE OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND NOT LESS THAN ONE FOOT BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 6" ABOVE THE TOP OF FOOTING AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE TOP SHALL BE SURROUNDED WITH AN APPROVED FILTER MEMBRANE OR THE FILTER MEMBRANE SHALL COVER THE WASHED GRAVEL OR CRUSHED ROCK COVERING THE DRAIN. DRAINAGE TILES OR PERFORATED PIPE SHALL BE PLACED ON A MINIMUM OF 2" OF WASHED GRAVEL OR CRUSHED ROCK NOT LESS THAN ONE SIEVE LARGER THAN THE TILE JOINT OPENING OF PERFORATION AND COVERED WITH NOT LESS THAN 6" OF THE SAME MATERIAL.

EXCEPTION: A DRAINAGE SYSTEM IS NOT REQUIRED WHERE THE FOUNDATION IS INSTALLED ON WELL- DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS AS DETAILED IN TABLE R405.1.



EXISTING
1st FLOOR PLAN
SCALE : 1/4"=1'-0"



EXISTING
2nd FLOOR PLAN
SCALE : 1/4"=1'-0"



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SCAN QR CODE FOR DIGITAL FILE

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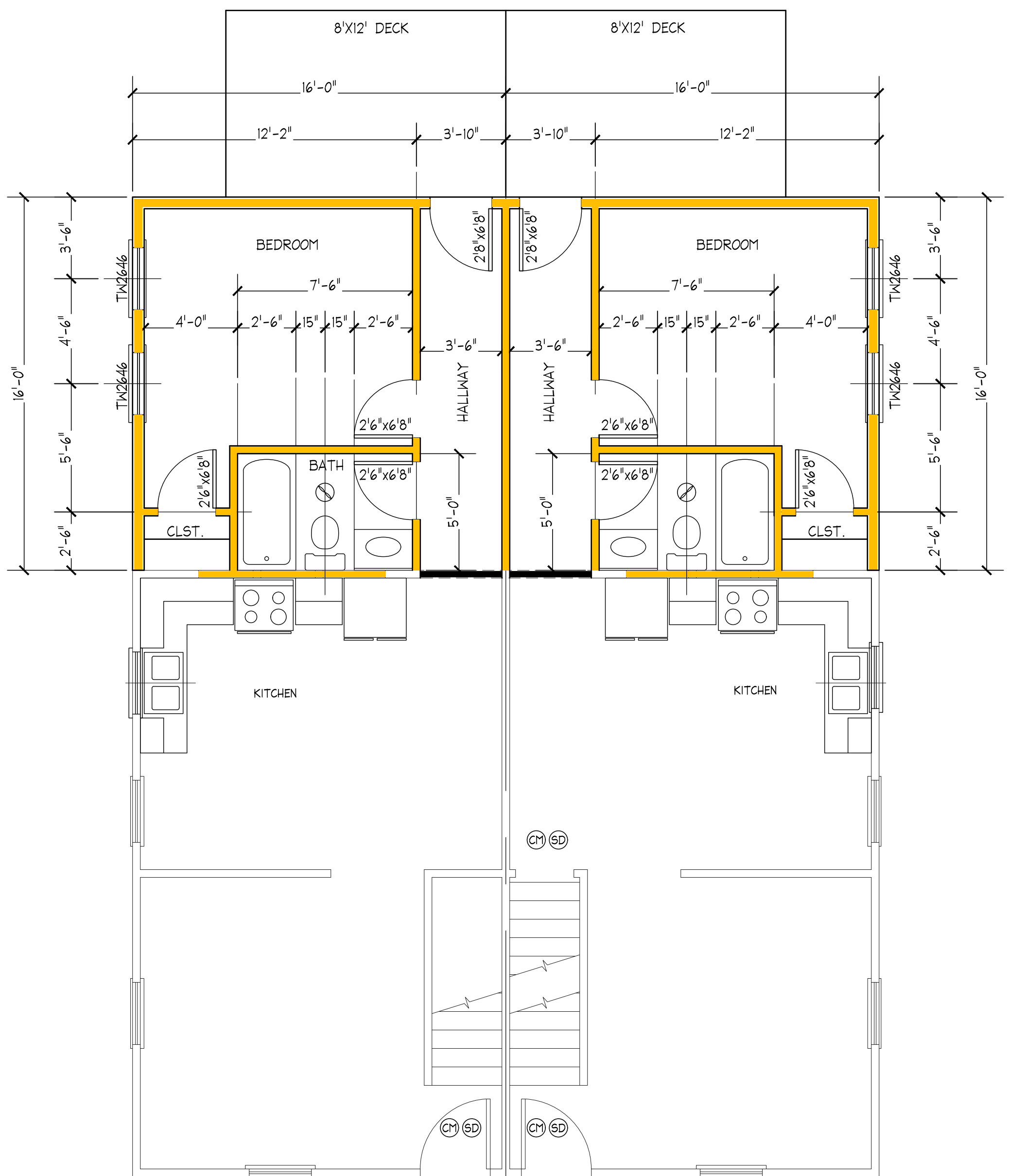
EXISTING HOME
RENOVATIONS

64 DEANNA ROAD
BROCKTON, MA

EXISTING
FLOOR PLANS

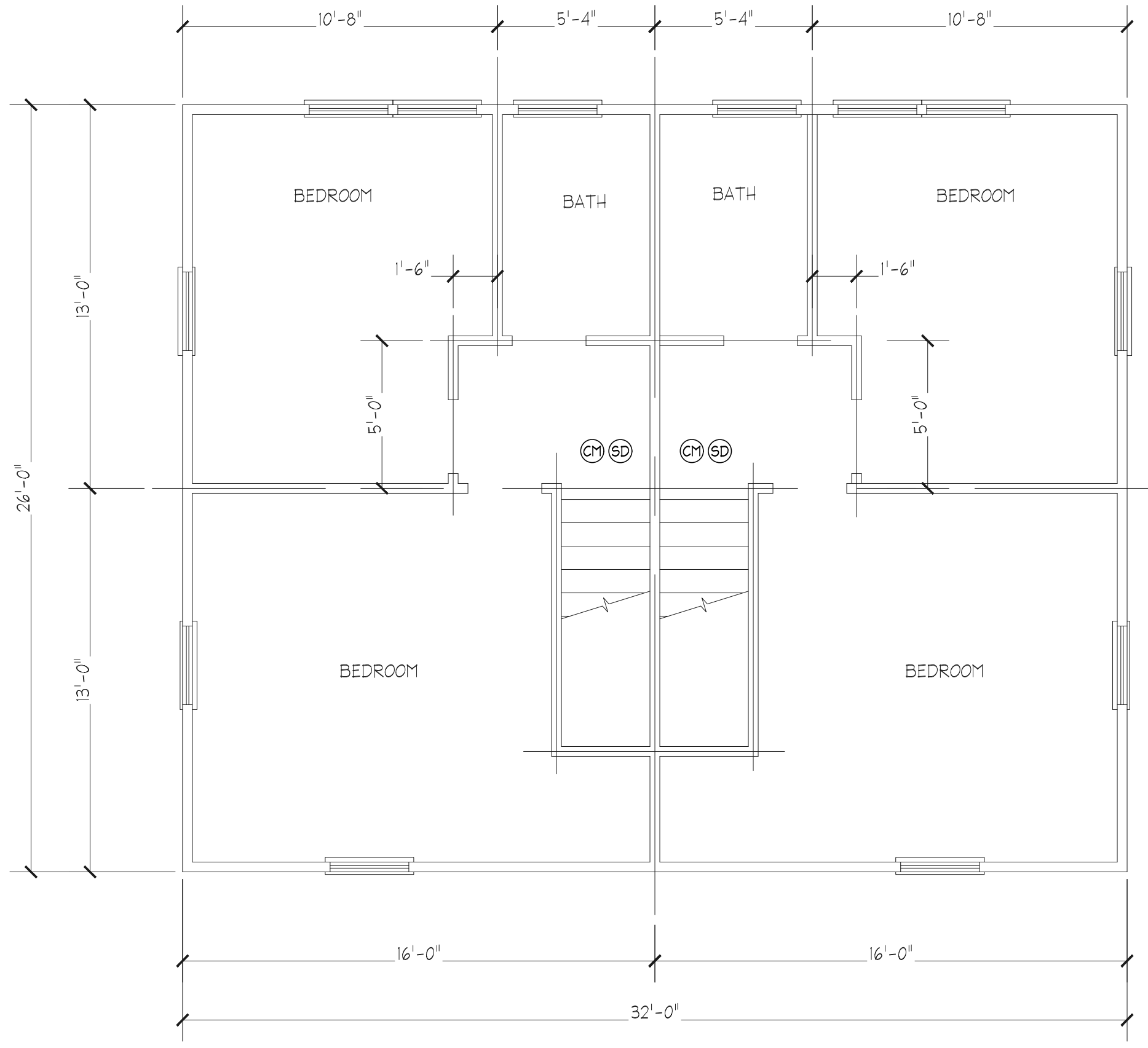
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A-1



PROPOSED
1st FLOOR PLAN
SCALE : 1/4"=1'-0"

- - WALLS TO BE DEMOLISHED
- - NEW WALL CONSTRUCTION
- SD - DENOTES SMOKE DETECTOR
- SD_{PE} - DENOTES PHOTO ELETRIC SMOKE DETECTOR
- HD - DENOTES HEAT DETECTOR
- CD - DENOTES CARBON MONOXIDE DETECTOR
- ⊘ - DENOTES BATH EXHAUST FAN



PROPOSED
2nd FLOOR PLAN
SCALE : 1/4"=1'-0"



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PROPOSED
FIRST FLOOR
PLAN

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A-3