

LOCUS MAP
Not to Scale

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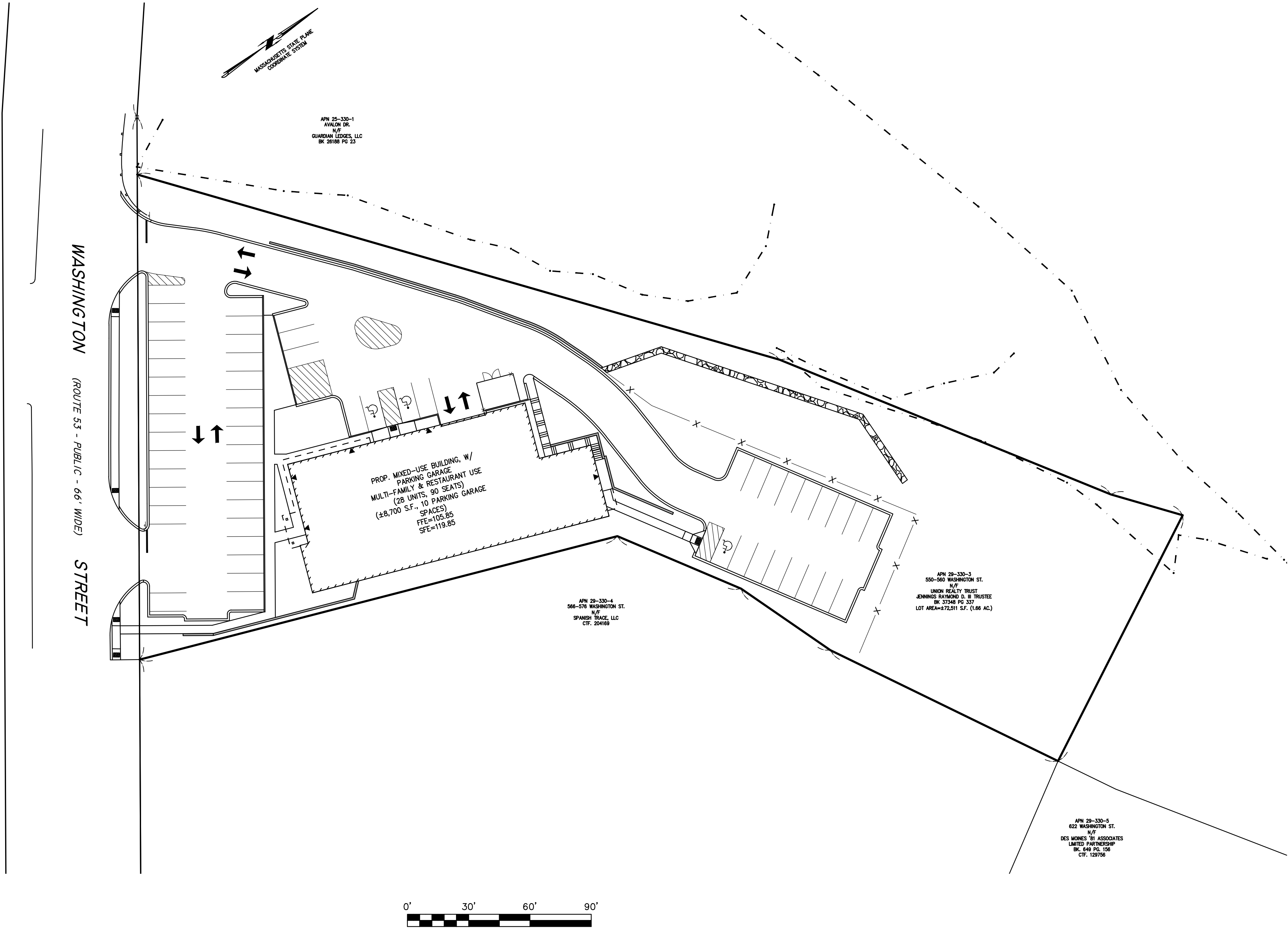
Owner/Applicant:

UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

Engineer/Surveyor:

MCKENZIE ENGINEERING GROUP, INC.
150 LONGWATER DRIVE
SUITE 101
NORWELL, MASSACHUSETTS 02061

SITE DEVELOPMENT PLAN 550-560 WASHINGTON STREET (APN 29-330-3) IN WEYMOUTH, MASSACHUSETTS



ISSUE DATE: MARCH 24, 2023
REVISED: JULY 3, 2023

REV	DATE	DESCRIPTION	BY	APP
1	4/20/23	TOWN REVIEW	ESS	BCM
2	5/24/23	SITE LAYOUT	ESS	BCM
3	7/3/23	TOWN REVIEW	ESS	BCM

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SITE DEVELOPMENT PLAN 550-560 WASHINGTON STREET (APN 29-330-3) WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:

OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY:	ESS
DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	1" = 30'
PROJECT NO.:	221-187
DWG. TITLE:	

COVER SHEET

DWG. NO:
CS-1

PERMIT PLAN SET

ABBREVIATIONS

ABAN	ABANDONED
ACP	ASBESTOS CEMENT PIPE
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
ASPH	ASPHALT
ACOMP	ASPHALT COATED CORRUGATED METAL PIPE
B	BOLLARD
BD	BOUND
BLDG	BUILDING
BIT CONC	BITUMINOUS CONCRETE
BM	BENCHMARK
BS	BOTTOM OF SLOPE
CAP	CORRUGATED ALUMINUM PIPE
CB	CATCH BASIN
C&C	CUT AND CAPPED
CB/DH	CONC. BOUND/DRILL HOLE
CB/EPLP	CB/ESCUTCHEON
OCB	CAPE COD BERM
CIP	CAST IRON PIPE
CIT	CHANGE IN TYPE
C	CENTERLINE
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC	CONCRETE
COND	CONDUIT
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CS	COMBINED SEWER
CSMH	COMBINED SEWER MANHOLE
CULV	CULVERT
Δ	DELTA ANGLE
D	DRAIN
DCB	DOUBLE CATCH BASIN
DIP	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
E	ELECTRIC
ECC	EXTRUDED CONCRETE CURB
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
E/T/C	ELECTRIC, TELEPHONE, & CABLE TV
EW	END WALL
EXIST	EXISTING
FAB	FIRE ALARM BOX
FES	FLARED END SECTION
FND	FOUND
FND	FOUNDATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
G	GAS
GD	GROUND
GG	GAS GATE
GIP	GALVANIZED IRON PIPE
GP	GUARD POST
GS	GAS SERVICE
GR	GUARD RAIL
GRAN.	GRANITE
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HOR	HORIZONTAL
HP	HIGH PRESSURE
HWL	HEADWALL
HYD	HYDRANT
INV	INVERT
I.P.	IRON PIN
I.R.	IRON ROD
L	LEAD
LSA	LANDSCAPED AREA
LP	LIGHT POLE
MAX	MAXIMUM
MC	METAL COVER
MCC	MONOLITHIC CONCRETE CURB
MH	MANHOLE
MHB	MASS. HIGHWAY BOUND
MIN	MINIMUM
MLP	METAL LIGHT POLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PB	PULL BOX
PE	POLYETHYLENE PIPE
P	PROPERTY LINE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
PVM	PAVEMENT
PWW	PAVED WATER WAY
RCP	REINFORCED CONCRETE PIPE
REM	REMOVE
REMOD	REMODEL
RET	RETAIN
ROW	RIGHT OF WAY
RR	RAILROAD
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
S	SEWER
SB	STONE BOUND
SB/DH	STONE BOUND/DRILL HOLE
SGE	SLOPED GRANITE EDGING
SMH	SEWER MANHOLE
STA	STATION
SS	SEWER SERVICE
STL	STEEL
SW	SIDEWALK
T	TELEPHONE
TCB	TRAFFIC CONTROL BOX
TL	TRAFFIC LIGHT
TMH	TELEPHONE MANHOLE
T	TREE
TRANS	TRANSFORMER
TS	TOP OF SLOPE
TSV	TAPPING SLEEVE, VALVE AND BOX
TYP	TYPICAL
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
VERT	VERTICAL
VGC	VERTICAL GRANITE CURB
W	WATER MAIN
WG	WATER GATE

LEGEND

Existing	Proposed	Description
× 100.50	+ 100.50	SPOT ELEVATIONS
100.50	100.50	TOP & BOTTOM ELEVATIONS
100.00	100.00	
100.50	100.50	SPOT ELEVATIONS WITH LEADER
		HYDRANT
		WATER GATE VALVE
		WELL
		GAS GATE
		ELECTRIC HANDHOLE
		LIGHT POLE
		UTILITY POLE
		GUY POLE
		GUY ANCHOR
		DRAIN MANHOLE
		SEWER MANHOLE
		CATCH BASIN
		DOUBLE CATCH BASIN
		TEST PIT
		BORING
		SIGN SINGLE POST
		GRANITE OR CONCRETE BOUND
		WETLAND FLAG
		EXISTING BUILDING
		PROPOSED BUILDING
		MAJOR CONTOUR
		MINOR CONTOUR
		CHAINLINK FENCE
		CABLE TV LINE
		ELECTRIC, TELEPHONE, CABLE TV DUCTBANK
		OVERHEAD ELECTRIC
		NATURAL GAS LINE
		SANITARY SEWER MAIN
		DRAIN PIPE
		TELEPHONE LINE
		WATER MAIN
		FIRE PROTECTION LINE
		RETAINING WALL
		TREELINE
		HAYBALE & SILT FENCE
		LIMIT BORDERING VEGETATED WETLAND RESOURCE(1)
		100' WETLAND BUFFER ZONE

GENERAL NOTES

SURVEY NOTES:

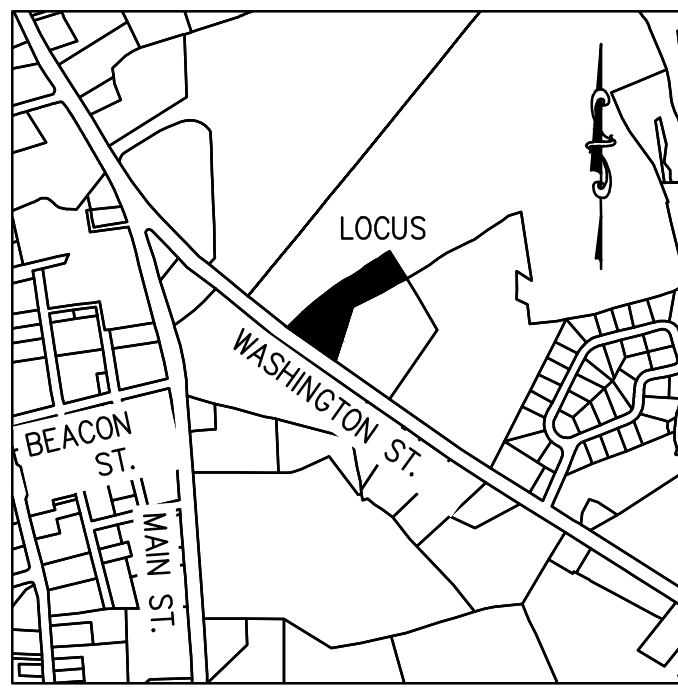
- LOCUS IS SHOWN AS PARCEL NUMBER 29-330-3 ON THE TOWN OF WEYMOUTH ASSESSORS MAPS.
- DEED TO LOCUS IS RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS AT BOOK 37348, PAGE 337.
- OWNER: N/F RAYMOND D. JENNINGS III, TRUSTEE OF UNION REALTY TRUST.
- THIS SURVEY WAS MADE ON THE GROUND IN OCTOBER OF 2022, AND UPDATED IN MAY 2023 BY MCKENZIE ENGINEERING GROUP, INC.
- ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. THE DELTA BETWEEN NAVD AND WEYMOUTH CITY BASE (WCB) IS -6.63'.
- WETLAND RESOURCE AREAS WERE DELINEATED BY ENVIRONMENTAL CONSULTING & RESTORATION, LLC ON JULY 7, 2021.
- LOCUS IS ZONED LIMITED BUSINESS (B-1)
- MINIMUM SETBACK REQUIREMENTS:
FRONT YARD 30'
SIDE YARD 10'
REAR YARD 10'
- LOCUS IS SITUATED IN ZONE X AS SHOWN ON F.I.R.M. No 25021C0229E, EFFECTIVE JULY 17, 2012.
- LOCUS IS LOCATED IN THE TOWN OF WEYMOUTH LIMITED BUSINESS (B-1) ZONING DISTRICT AND COMMERCIAL CORRIDOR OVERLAY (CCOD) DISTRICT, WASHINGTON STREET CORRIDOR.
- LOCUS IS NOT LOCATED IN A DEP ZONE 2. LOCUS IS LOCATED IN THE TOWN OF WEYMOUTH WATERSHED PROTECTION DISTRICT.
- UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.
- PLAN REFERENCES:
L.C. PLAN NO. 35395A
L.C. PLAN NO. 29909A
PL. BK. 391, PLAN NO. 325 OF 1990
LAYOUT PLAN NO. 1640 (1915)

GRADING & DRAINAGE NOTES:

- ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTH MOVING ACTIVITIES.
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES, ADDITIONAL SILTATION FENCING AND FILTER FABRIC FOR INSTALLATION AS DIRECTED BY THE TOWN TO MITIGATE ANY EMERGENCY CONDITIONS.
- UPON COMPLETION OF ALL SITE WORK THE CONTRACTOR SHALL INSPECT ALL ON-SITE AND OFF-SITE CATCH BASINS (THAT RECEIVED CATCH BASIN PROTECTION) AND DRAINAGE MANHOLES AND REMOVE ALL SEDIMENT AND DEBRIS THAT HAS ACCUMULATED DURING THE COURSE OF CONSTRUCTION.
- UNSUITABLE SOILS AND LEDGE LOCATED WITHIN THE LIMITS OF THE SUBSURFACE INFILTRATION SYSTEMS SHALL BE REMOVED PRIOR TO INSTALLATION OF THE SYSTEM. THE BOTTOM OF EXCAVATION SHALL BE INSPECTED BY THE PROJECT ENGINEER PRIOR TO THE PLACEMENT OF THE SUBSURFACE CHAMBERS.
- SUBSURFACE INFILTRATION SYSTEM SUBSOIL SHALL BE OVEREXCAVATED UNTIL THE NATIVE SAND MATERIALS ARE ENCOUNTERED. THE SUBSURFACE INFILTRATION SYSTEM SHALL BE PLACED OVER IMPORTED SAND CONFORMING WITH THE REQUIREMENTS OF THE MASSACHUSETTS SANITARY CODE (TITLE V) AS NEEDED. WITHIN THE LIMITS OF THE SUBSURFACE INFILTRATION SYSTEM LEDGE SHALL BE REMOVED TO AN ELEVATION OF 96.60 IF ENCOUNTERED.
- ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. THE DELTA BETWEEN NAVD AND WEYMOUTH CITY BASE (WCB) IS -6.63'.
- DESIGN OF RETAINING WALLS SHALL BE BY A PROFESSIONAL CIVIL STRUCTURAL ENGINEER REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS.

UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- THE CONTRACTOR SHALL COORDINATE ALL STREET WORK WITH THE WEYMOUTH DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR SHALL EXCAVATE THE TEST PITS PRIOR TO INSTALLING THE DOMESTIC WATER SERVICE TO VERIFY THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING ANY WORK.
- ALL WATER AND FIRE SERVICES SHALL BE INSTALLED WITH 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
- THE DOMESTIC WATER AND FIRE SERVICES SHALL BE CEMENT LINED DUCTILE IRON (C.L.D.I.) AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED TAPPING SLEEVE, GATE VALVE AND BOX.
- ALL WATER SERVICE APPURTENANCES, MATERIALS, METHODS OF INSTALLATION SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- THE DOMESTIC WATER SERVICE SHALL BE ADEQUATELY PROTECTED AGAINST BACKFLOW (BACKFLOW PREVENTION) AT THE BUILDING.
- AFTER PRESSURE TESTING AND CHLORINATION IS COMPLETED, SAMPLES SHALL BE TAKEN FROM THE DOMESTIC WATER SERVICE AND SHALL BE TESTED AT 200 PSI FOR A MINIMUM OF 2 HOURS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE WEYMOUTH WATER DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE TESTING.
- THE DOMESTIC WATER SERVICE SHALL BE TESTED IN ACCORDANCE WITH DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. A MINIMUM OF 2 SEPARATE WATER SAMPLES SHALL BE TESTED AT A STATE CERTIFIED LABORATORY.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER SERVICES AND WATER SERVICE. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER SERVICE THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER SERVICE. ALL OTHER UTILITIES REQUIRE MINIMUM 5' SEPARATION FROM OTHER UTILITIES.
- ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- THE LOCATIONS OF PROPOSED ELECTRIC, TELEPHONE AND COMMUNICATION (E.T.C.) SERVICES ARE APPROXIMATE. THE PROJECT ELECTRICAL ENGINEER SHALL VERIFY THESE LOCATIONS PRIOR TO THE START OF CONSTRUCTION. COORDINATE ALL E.T.C. WORK WITH THE APPROPRIATE UTILITY COMPANIES.
- THE PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL COORDINATE THE GAS SERVICE INSTALLATION WITH THE MUNICIPAL GAS COMPANY.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH WEYMOUTH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- ALL EXISTING UTILITIES WITHIN THE SITE ARE TO BE REMOVED UNLESS OTHERWISE STATED TO REMAIN.
- IF DURING THE CONSTRUCTION PROCESS THE NEED FOR EXCAVATION DEWATERING ARISES, A DEWATERING FILTER PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROPRIATE STORMWATER MANAGEMENT AND ENGINEERING PRACTICES.



REV	DATE	DESCRIPTION	BY	APP
1	4/20/23	TOWN REVIEW	ESS	BCM
2	5/24/23	SITE LAYOUT	ESS	BCM
3	7/3/23	TOWN REVIEW	ESS	BCM



SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:

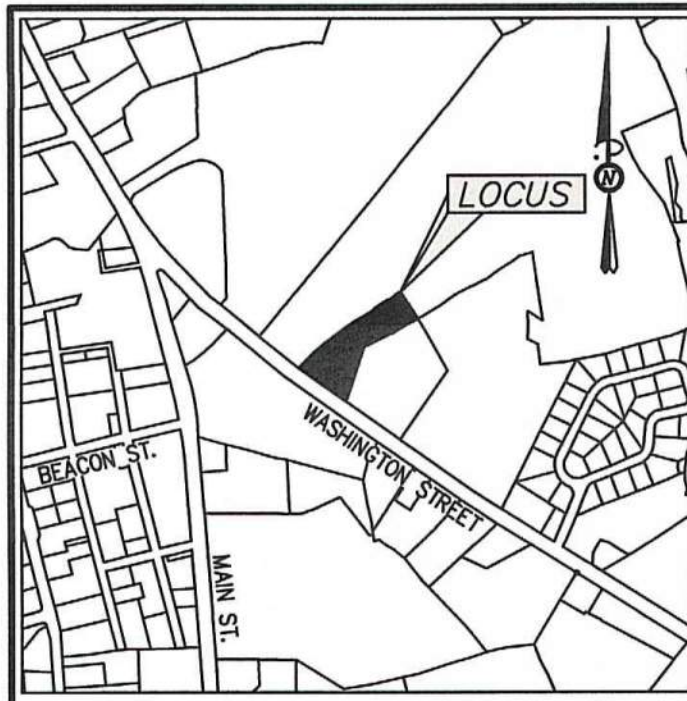


OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY:	ESS
DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	
PROJECT NO.:	221-187

DWG. TITLE:
**LEGEND,
ABBREVIATIONS
& GENERAL
NOTES**

DWG. NO.:
L-1



LOCUS MAP

448.24' (LAYOUT NO. 1640)
448.24' (PL. NO. 325 OF 1990)
S 50°50'04" E 446.00' (SURVEY)



APN 25-330-1
AVALON DR.
N/F
GUARDIAN LEDGES, LLC
BK 26168 PG 23

SURVEY NOTES:

- LOCUS IS SHOWN AS PARCEL NUMBER 29-330-3 ON THE TOWN OF WEYMOUTH ASSESSORS MAPS.
- DEED TO LOCUS IS RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS AT BOOK 37348, PAGE 337.
- OWNER: N/F RAYMOND D. JENNINGS III, TRUSTEE OF UNION REALTY TRUST. THIS SURVEY WAS MADE ON THE GROUND IN OCTOBER OF 2022 AND UPDATED IN MAY OF 2023 BY MCKENZIE ENGINEERING GROUP, INC.
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- LOCUS IS ZONED LIMITED BUSINESS (B-1) MINIMUM SETBACK REQUIREMENTS:
FRONT YARD 30'
SIDE YARD 10'
REAR YARD 10'
- LOCUS IS SITUATED IN ZONE X AS SHOWN ON F.I.R.M. No 25021C0229E, EFFECTIVE JULY 17, 2012.
- LOCUS IS LOCATED IN THE TOWN OF WEYMOUTH LIMITED BUSINESS (B-1) ZONING DISTRICT AND COMMERCIAL CORRIDOR OVERLAY (CCOD) DISTRICT, WASHINGTON STREET CORRIDOR.
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- UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.
- PLAN REFERENCES:
L.C. PLAN NO. 35395A
L.C. PLAN NO. 29909A
PL. BK. 391, PLAN NO. 325 OF 1990
LAYOUT PLAN NO. 1640 (1915)

L.C. PLAN NO. 35395A
L.C. PLAN NO. 29909A
PL. BK. 391, PLAN NO. 325 OF 1990
LAYOUT PLAN NO. 1640 (1915)

LIMIT OF BORDERING VEGETATED WETLAND
DELINEATED BY ENVIRONMENTAL
CONSULTING AND RESTORATION, LLC ON
JULY 7, 2021 (TYP.)

APPROX. LIMIT OF FILL (TYP.)

LIMIT OF INLAND BANK
DELINEATED BY ENVIRONMENTAL
CONSULTING AND RESTORATION, LLC ON
JULY 7, 2021 (TYP.)

LIMIT OF BORDERING VEGETATED WETLAND
DELINEATED BY ENVIRONMENTAL
CONSULTING AND RESTORATION, LLC ON
JULY 7, 2021 (TYP.)

APN 29-330-4
566-576 WASHINGTON ST.
N/F
SPANISH TRACE, LLC
CIF. 204169

APN 29-330-3
550-560 WASHINGTON ST.
N/F
UNION REALTY TRUST
JENNINGS RAYMOND D. III TRUSTEE
BK 37348 PG 337
LOT AREA=±72,511 S.F. (1.66 AC.)

I HEREBY CERTIFY THAT THIS PLAN IS
THE RESULT OF AN ON-THE-GROUND
INSTRUMENT SURVEY CONDUCTED BY
MCKENZIE ENGINEERING GROUP, INC. IN
OCTOBER, 2022.

Richard J. Hobb 03JUL23
RICHARD J. HOBBS, PLS DATE

ABBREVIATIONS	
FTE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET WALL	RETAINING WALL
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
VGC	VERTICAL GRANITE CURB
ETW	EDGE OF TRAVEL WAY
MTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE

LEGEND

SURVEY SYMBOLS

- REBAR
- ANGLE IRON
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND
- STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT
- TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT
- RIP RAP
- BOLLARD
- SIGN
- FIRE ALARM
- DECIDUOUS TREE
- CONIFEROUS TREE

LINE DESIGNATORS

- WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- OVERHEAD WIRES
- GAS LINE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DRAINAGE SWALE
- CHAIN LINK FENCE

EXISTING CONDITION PLAN
(ASSESSOR'S PARCEL ID 29-330-3)
550-560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL SURVEYOR:
Richard J. Hobb
No. 35033
REGISTERED
PROFESSIONAL LAND SURVEYOR

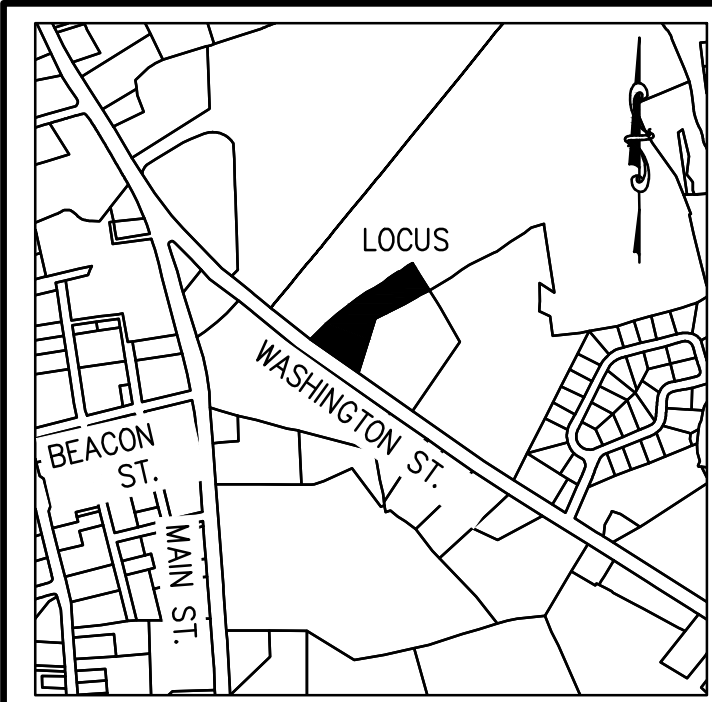
OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY: ESS
DESIGNED BY: -
CHECKED BY: RTLS
APPROVED BY: RJH
DATE: MARCH 17, 2023
SCALE: 1"=20'
PROJECT NO.: 222-182
DWG. TITLE:

**EXISTING
CONDITIONS
PLAN**

DWG. NO.: **EX-1**

NOT FOR CONSTRUCTION



LOCUS MAP
Not to Scale

LAND USAGE TABLES

WEYMOUTH ZBL: TABLE 1 - SCHEDULE OF DISTRICT REGULATIONS
ARTICLE VIIB: COMMERCIAL CORRIDOR OVERLAY DISTRICT (WASHINGTON ST. CORRIDOR)

LIMITED BUSINESS (B-1) ZONING DISTRICT COMMERCIAL CORRIDOR (CCOD) OVERLAY DISTRICT			
CRITERIA	REQUIRED (B-1)	REQUIRED (CCOD)	PROPOSED
MIN. LOT SIZE	10,000 S.F.	—	72,597 S.F.
MIN. LOT WIDTH	100 FT.	100 FT.	199 FT.
BUILDING HEIGHT	6 STORIES/80 FT. MAX.	3 STORY/45 FT. MIN. 5 STORY/70 FT. MAX.	<5 STORIES
MAX. LOT COVERAGE	50%	75% ⁽³⁾	12.0% - BUILDING 52.0% - IMPERVIOUS
MIN. FRONT YARD DEPTH	30 FT.	25 FT. MIN. ⁽¹⁾ 70 FT. MIN. ⁽²⁾	70.1 FT.
MIN. SIDE YARD DEPTH	10 FT.	10 FT.	10.5 FT.
MIN. REAR YARD DEPTH	10 FT.	15 FT.	250.3 FT.
FLOOR AREA RATIO	—	1.00	0.29
OPEN SPACE	—	15%	48.0%

TABLE NOTES

- SEC. 120-25.17.B: THE MINIMUM FRONT YARD SETBACK SHALL INCLUDE A MINIMUM 5 FT. LANDSCAPED AREA ALONG THE FRONTAGE.
- SEC. 120-25.17.B: WHEN A SETBACK AVERAGING LESS THAN 70 FT. IS PROPOSED, THE HEIGHT OF THE BUILDING WILL BE LIMITED TO 2 STORIES AND 35 FT. FROM THE FRONT OF THE BUILDING TO THE 70 FT. SETBACK LINE. WHEN THE FRONT SETBACK IS USED FOR PARKING, A MIN. 70 FT. WILL BE PROVIDED TO ALLOW FOR A MIN. 5 FT. LANDSCAPED AREA ALONG THE FRONTAGE, A ROW OF PARKING, AND A TRAVEL AISLE.
- SEC. 120-25.19: MAXIMUM BUILDING COVERAGE OF 60% SHALL APPLY AND ONLY 75% OF THE SITE SHALL BE IMPERVIOUS.

ZBL 120-25.20(A) REQUIRED PARKING & 120-74(D) MINIMUM REQUIRED SPACES

COMPONENT	MINIMUM SPACES	MAXIMUM SPACES	REQUIRED (MIN.)	REQUIRED (MAX.)
STUDIOS & ONE BEDROOM DWELLING UNITS 28 TOTAL UNITS	1.25 PER UNIT	1.5 PER UNIT	35 SPACES	42 SPACES
EATING/DRINKING ESTABLISHMENT 3,200 SF 90 SEATS	2 SPACE FOR EACH 100 SF OF GROSS FLOOR AREA OR 1 SPACE PER 3 SEATS	---	30 SPACES	64 SPACES
				PROVIDED
				65 SPACES (55 EXTERIOR) (10 INTERIOR)

PARKING NOTES:
1. 65 ON-SITE SPACES INCLUDES 3 AAB ACCESSIBLE 9' X 18' WITH 2 - 8' X 18' ACCESS AREA (VAN ACCESSIBLE SPACE)
(521 CMR: ARCHITECTURAL ACCESS BOARD) ACCESSIBLE SPACES REQUIRED = 3 (51-75 PARKING SPACES)

ABBREVIATIONS

FTE FIRST FLOOR ELEVATION
BIT CONC. BITUMINOUS CONCRETE PAVEMENT
CCB CAPE COD BERM
EP EDGE OF PAVEMENT
BC BITUMINOUS CONCRETE CURB
(AM) AS MEASURED
RET WALL RETAINING WALL
CONC. CONCRETE
RCP REINFORCED CONCRETE PIPE
VGC VERTICAL GRANITE CURB
ETW METAL BERM
WTL METAL TRAVEL WAY
VCC VERTICAL CONCRETE CURB
CMP CORRUGATED METAL PIPE
LSA LANDSCAPED AREA

LEGEND

SURVEY SYMBOLS

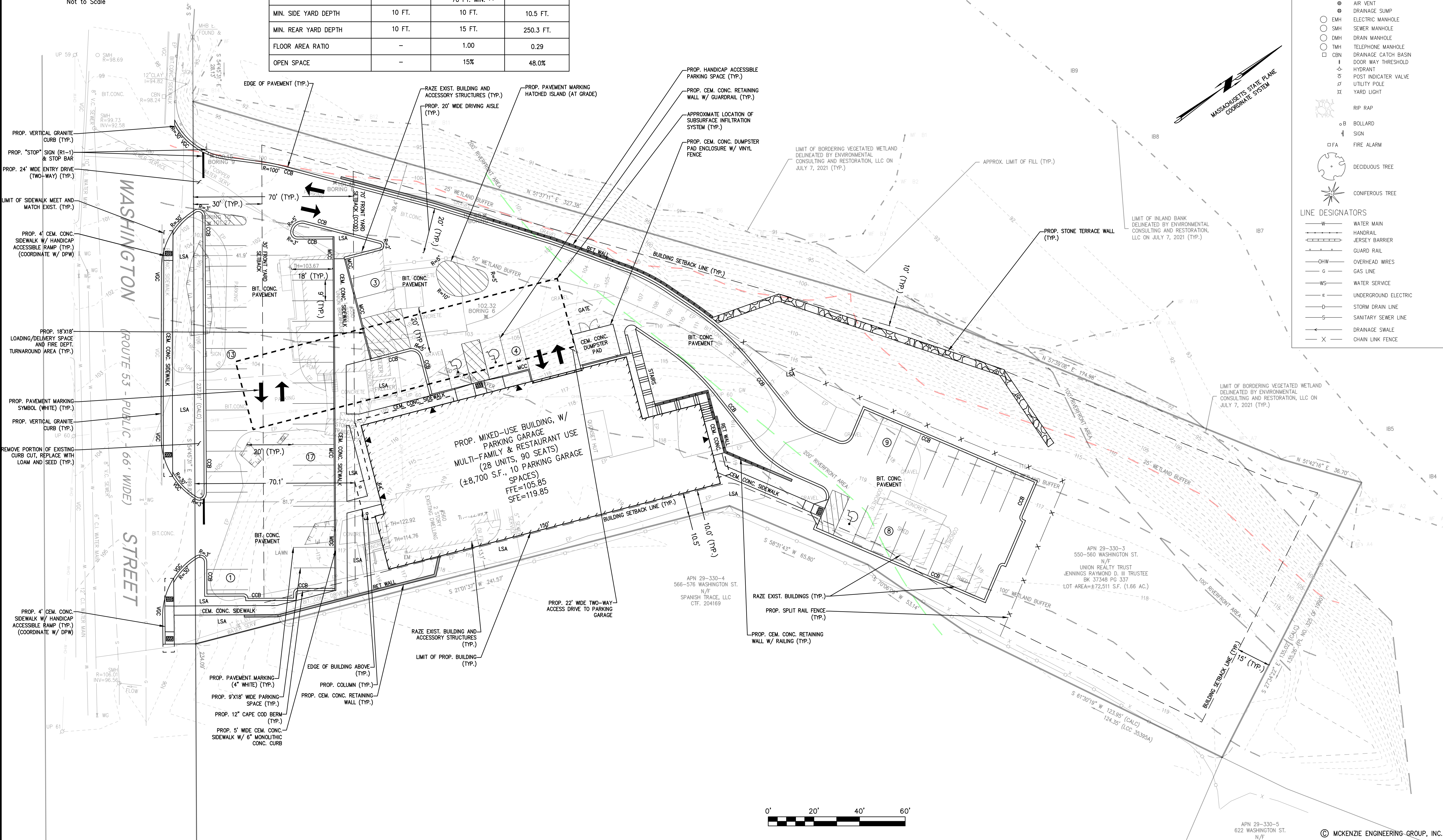
- REBAR
- ANGLE IRON
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND
- STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT

LINE DESIGNATORS

- WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- OVERHEAD WIRES
- GAS LINE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DRAINAGE SWALE
- CHAIN LINK FENCE



SITE DEVELOPMENT PLAN 550-560 WASHINGTON STREET (APN 29-330-3) WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:



OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY: ESS
DESIGNED BY: ESS
CHECKED BY: BCM
APPROVED BY: BCM
DATE: MARCH 24, 2023
SCALE: 1"=20'
PROJECT NO.: 222-182
DWG. TITLE:

SITE LAYOUT PLAN

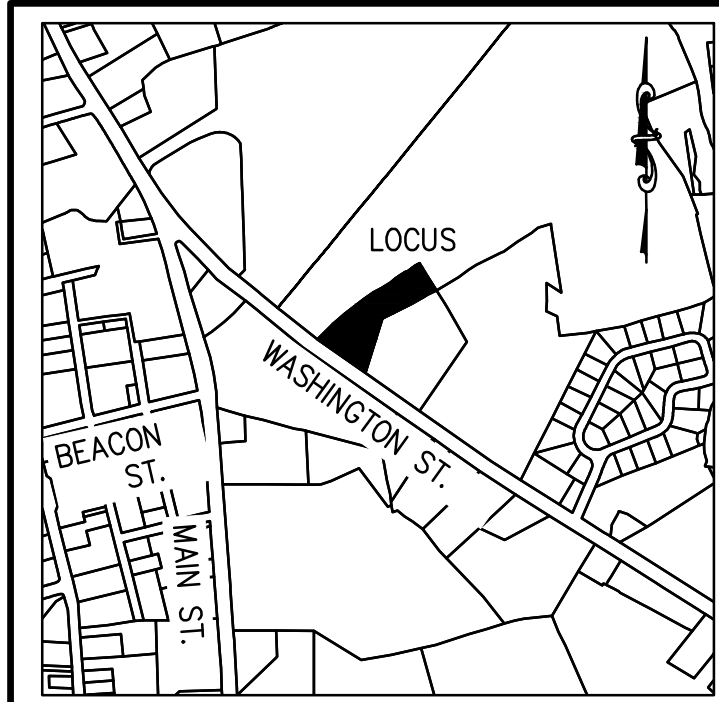
DWG. NO:

C-1

PERMIT PLAN SET

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M:\MEG\2022 PROJECTS\222-182 UNION REALTY TRUST - 550-560 WASH. ST., WEYMOUTH\DWGS\222-182_MAIN1.DWG



LOCUS MAP
Not to Scale

GRADING & DRAINAGE NOTES:

1. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTH MOVING ACTIVITIES.
2. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES, ADDITIONAL SILTATION FENCING AND FILTER FABRIC FOR INSTALLATION AS DIRECTED BY THE TOWN TO MITIGATE ANY EMERGENCY CONDITIONS.
3. UPON COMPLETION OF ALL SITE WORK THE CONTRACTOR SHALL INSPECT ALL ON-SITE AND OFF-SITE CATCH BASINS (THAT RECEIVED CATCH BASIN PROTECTION) AND DRAINAGE MANHOLES AND REMOVE ALL SEDIMENT AND DEBRIS THAT HAS ACCUMULATED DURING THE COURSE OF CONSTRUCTION.
4. UNSUITABLE SOILS AND LEDGE LOCATED WITHIN THE LIMITS OF THE SUBSURFACE INFILTRATION SYSTEMS SHALL BE REMOVED PRIOR TO INSTALLATION OF THE SYSTEM. THE BOTTOM OF EXCAVATION SHALL BE INSPECTED BY THE PROJECT ENGINEER PRIOR TO THE PLACEMENT OF THE SUBSURFACE CHAMBERS.
5. SUBSURFACE INFILTRATION SYSTEM SUBSOIL SHALL BE OVEREXCAVATED UNTIL THE NATIVE SAND MATERIALS ARE ENCOUNTERED. THE SUBSURFACE INFILTRATION SYSTEM SHALL BE PLACED OVER IMPORTED SAND CONFORMING WITH THE REQUIREMENTS OF THE MASSACHUSETTS SANITARY CODE (TITLE V) AS NEEDED. WITHIN THE LIMITS OF THE SUBSURFACE INFILTRATION SYSTEM LEDGE SHALL BE REMOVED TO AN ELEVATION OF 96.60 IF ENCOUNTERED.
6. ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. THE DELTA BETWEEN NAVD AND WEYMOUTH CITY BASE (WCB) IS -6.63'.
7. DESIGN OF RETAINING WALLS SHALL BE BY A PROFESSIONAL CIVIL STRUCTURAL ENGINEER REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS.

RIVERFRONT AREA CALCULATIONS

TOTAL RIVERFRONT AREA = 33,003 S.F.

PREVIOUSLY DEGRADED RIVERFRONT AREA = 4,194 S.F.

TOTAL DEGRADED RIVERFRONT AREA UNDER THIS SUBMISSION = 9,137 S.F.

ALTERATION OF NON-PREVIOUSLY DEGRADED RIVERFRONT AREA = 4,943 S.F.

MITIGATION AREA PROVIDED = 12,580 S.F. (2.55:1)

ABBREVIATIONS

FTE FIRST FLOOR ELEVATION
BIT CONC. BITUMINOUS CONCRETE PAVEMENT
CCB CAPE COD BERM
EP EDGE OF PAVEMENT
BC BITUMINOUS CONCRETE CURB
(AM) AS MEASURED
RET WALL RETAINING WALL
CONC. CONCRETE
RCP REINFORCED CONCRETE PIPE
VGC VERTICAL GRANITE CURB
ETW EDGE OF TRAVEL WAY
WTL METAL BERM
VCC VERTICAL CONCRETE CURB
CMP CORRUGATED METAL PIPE
LSA LANDSCAPED AREA

LEGEND

SURVEY SYMBOLS

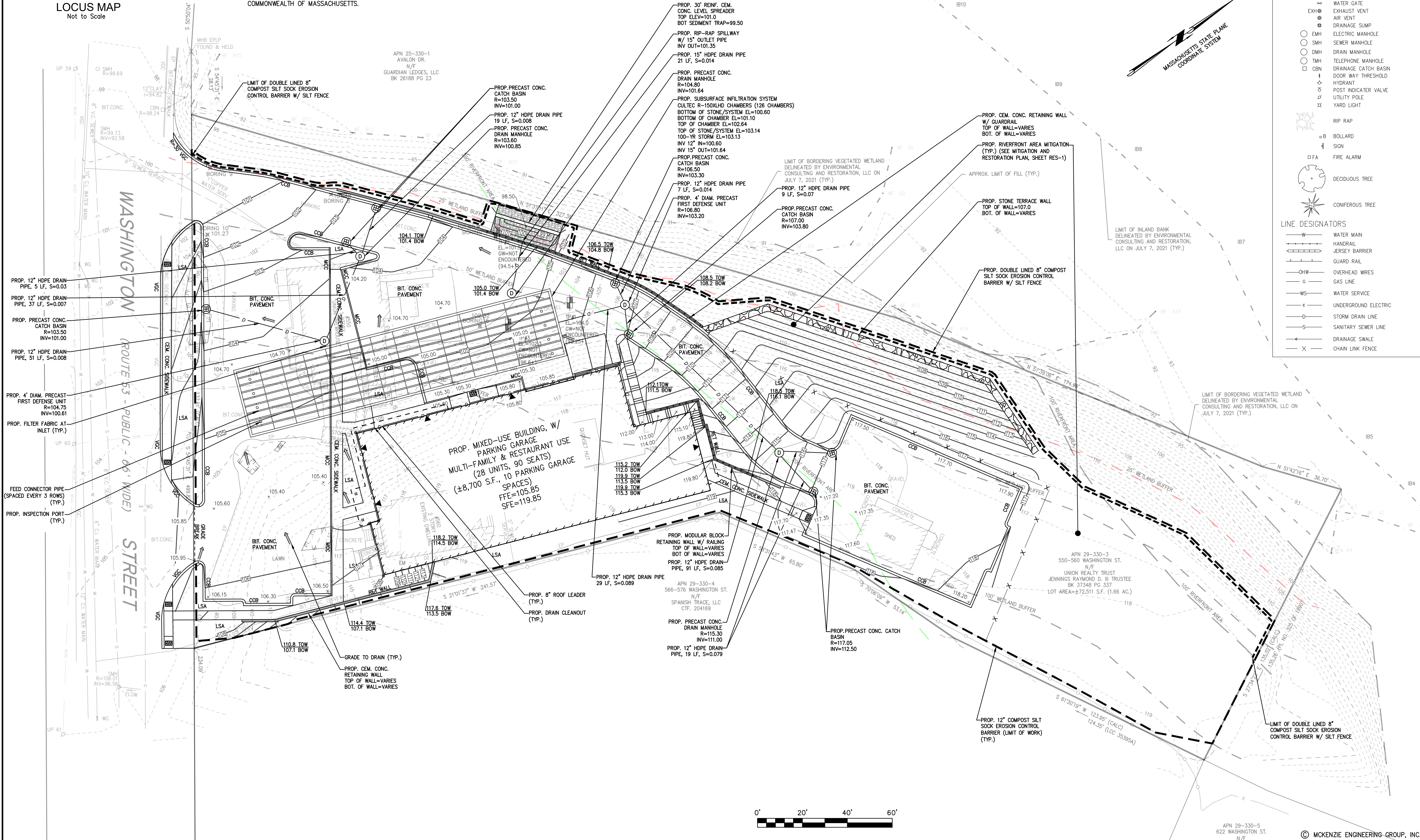
- REBAR
- ✓ ANGLE IRON
- CB/DH CONCRETE BOUND WITH DRILL HOLE
- SB STONE BOUND
- SB/DH STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- EMH ELECTRIC MANHOLE
- SMH SEWER MANHOLE
- DMH DRAIN MANHOLE
- TMH TELEPHONE MANHOLE
- CSN DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT

LINE DESIGNATORS

- W WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- OHW OVERHEAD WIRES
- G GAS LINE
- WS WATER SERVICE
- E UNDERGROUND ELECTRIC
- STORM DRAIN LINE
- S SANITARY SEWER LINE
- DRAINAGE SWALE
- CHAIN LINK FENCE



SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:



OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY: ESS
DESIGNED BY: ESS
CHECKED BY: BCM
APPROVED BY: BCM
DATE: MARCH 24, 2023
SCALE: 1"=20'
PROJECT NO.: 222-182
DWG. TITLE:

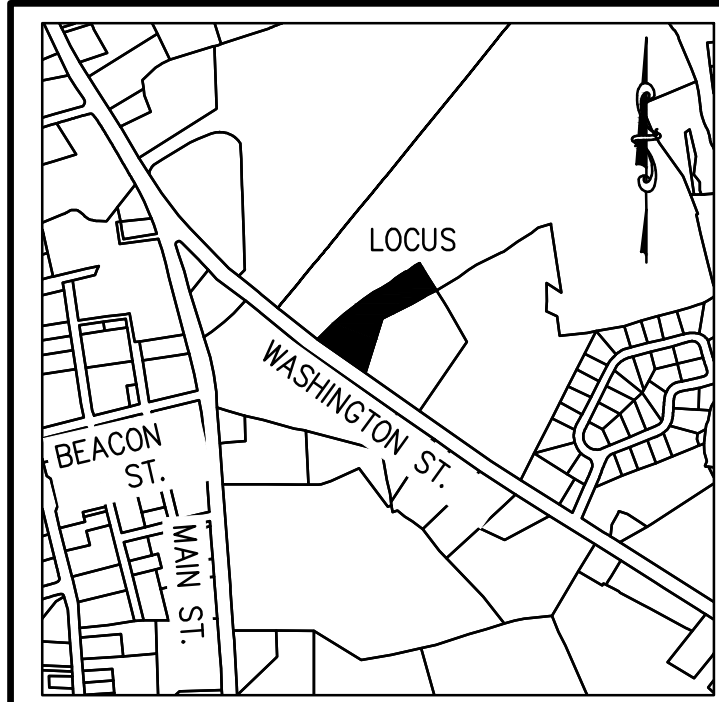
GRADING AND DRAINAGE PLAN

DWG. NO:

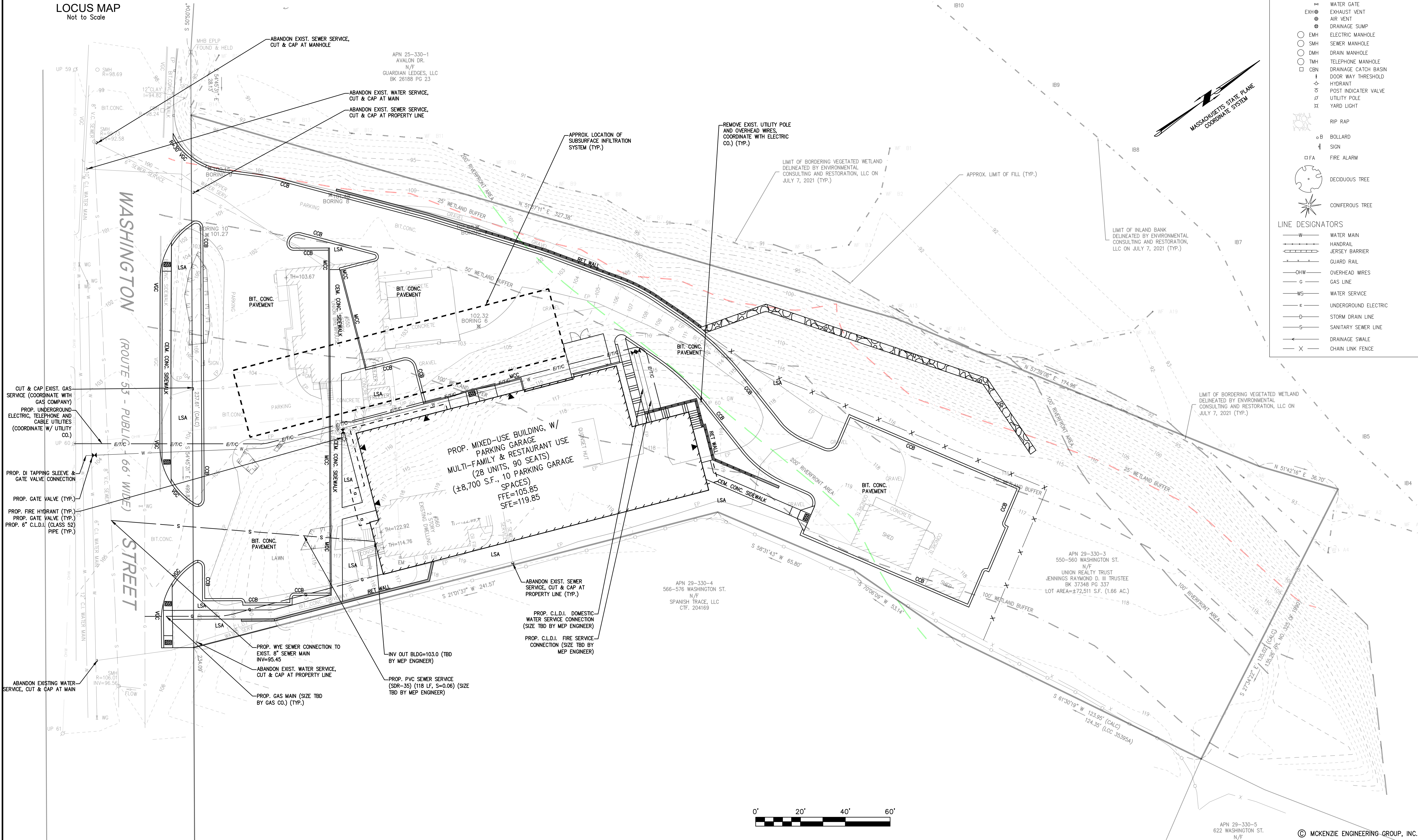
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M:\MEG\2022 PROJECTS\222-182 UNION REALTY TRUST - 550-560 WASH. ST., WEYMOUTH\DWGS\222-182_MAIN15.DWG



LOCUS MAP
Not to Scale



ABBREVIATIONS

FFE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET. WALL	RETAINING WALL
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
VGC	VERTICAL GRANITE CURB
ETW	EDGE OF TRAVEL WAY
MTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE
LSA	LANDSCAPED AREA

LEGEND

SURVEY SYMBOLS

•	REBAR
∨	ANGLE IRON
CB/DH	CONCRETE BOUND WITH DRILL HOLE
SB	STONE BOUND
SB/DH	STONE BOUND

UTILITY SYMBOLS

CHIMNEY	CHIMNEY
ELECTRIC HAND HOLE	ELECTRIC HAND HOLE
GUY POLE	GUY POLE
GUY WIRE	GUY WIRE
HVAC UNIT	HVAC UNIT
BUILDING LIGHT W/MAST	BUILDING LIGHT W/MAST
TRANSFORMER	TRANSFORMER
WATER GATE	WATER GATE
EXHAUST VENT	EXHAUST VENT
AIR VENT	AIR VENT
DRAINAGE SUMP	DRAINAGE SUMP
EMH	ELECTRIC MANHOLE
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
TMH	TELEPHONE MANHOLE
CSN	DRAINAGE CATCH BASIN
DOOR WAY THRESHOLD	DOOR WAY THRESHOLD
HYDRANT	HYDRANT
POST INDICATOR VALVE	POST INDICATOR VALVE
UTILITY POLE	UTILITY POLE
YARD LIGHT	YARD LIGHT
RIP RAP	RIP RAP
BOLLARD	BOLLARD
SIGN	SIGN
FIRE ALARM	FIRE ALARM
DECIDUOUS TREE	DECIDUOUS TREE
CONIFEROUS TREE	CONIFEROUS TREE

LINE DESIGNATORS

W	WATER MAIN
H	HANDRAIL
J	JERSEY BARRIER
G	GUARD RAIL
OHW	OVERHEAD WIRES
G	GAS LINE
WS	WATER SERVICE
E	UNDERGROUND ELECTRIC
D	STORM DRAIN LINE
S	SANITARY SEWER LINE
SW	DRAINAGE SWALE
X	CHAIN LINK FENCE

REV	DATE	DESCRIPTION
1	4/20/23	TOWN REVIEW
2	5/24/23	SITE LAYOUT
3	7/3/23	TOWN REVIEW



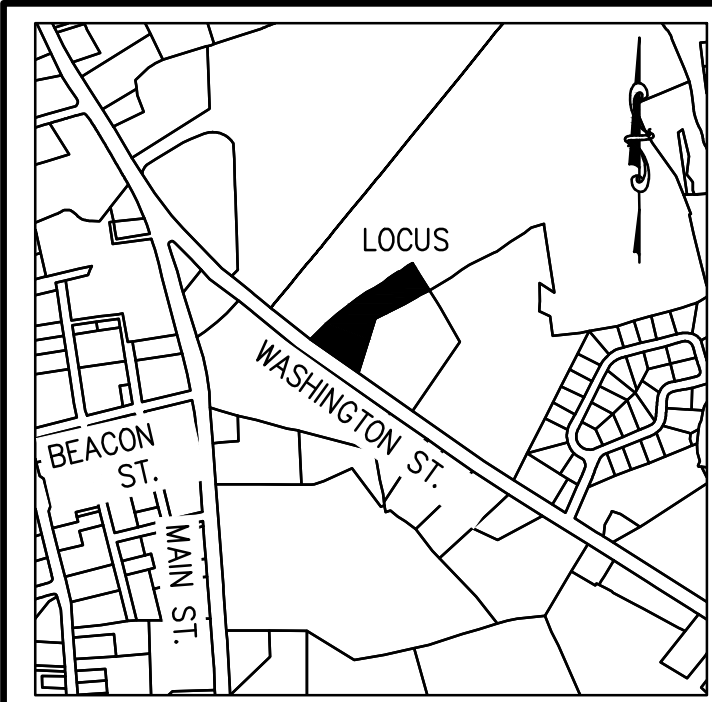
SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS



OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY:	ESS
DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	1"=20'
PROJECT NO.:	222-182
DWG. TITLE:	UTILITY PLAN

DWG. NO.: **C-3**



LOCUS MAP
Not to Scale

CONSTRUCTION PHASE BMP OPERATION AND MAINTENANCE NOTES:

- STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOCK EROSION CONTROL BARRIERS, STABILIZED CONSTRUCTION ENTRANCES, CONCRETE WASH STATIONS, STOCKPILE AREAS, AND INLET PROTECTION.
- STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
- OPERATOR PERSONNEL AND/OR ITS CONSULTANTS MUST INSPECT THE CONSTRUCTION SITE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT 1 INCH OR GREATER. THE INSPECTOR SHOULD REVIEW THE EROSION AND SEDIMENT CONTROLS WITH RESPECT TO THE FOLLOWING:
 - WHETHER OR NOT THE BMP WAS INSTALLED/PERFORMED CORRECTLY.
 - WHETHER OR NOT THERE HAS BEEN DAMAGE TO THE BMP SINCE IT WAS INSTALLED OR PERFORMED.
 - WHAT SHOULD BE DONE TO CORRECT ANY PROBLEMS WITH THE BMP.
- THE INSPECTOR SHALL COMPLETE THE INSPECTION SCHEDULE AND EVALUATION CHECKLIST FOR FINDINGS AND SHOULD REQUEST THE REQUIRED MAINTENANCE OR REPAIR.
- ALL SLOPES EXCEEDING 15% RESULTING FROM SITE GRADING SHALL BE BOTH COVERED WITH FOUR INCHES OF TOPSOIL AND PLANTED WITH A VEGETATED COVER SUFFICIENT TO PREVENT EROSION.

CONSTRUCTION SEQUENCE

- TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.
- THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING PRIOR TO ANY CONSTRUCTION ACTIVITY.
 - STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN & PLACE SILTATION FENCE ON THE SITE PLANS.
 - CLEAR AND GRUB UP AS REQUIRED FOR THE CONSTRUCTION OF THE ROADWAY, PARKING AREAS AND RELATED INFRASTRUCTURE.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
 - EXCAVATE TOPSOIL AND SUBSOIL FROM CUT AND FILL AREAS AND STOCKPILE ON SITE IN LOCATIONS SHOWN ON THE PLAN. CONSIDERATION SHOULD BE GIVEN TO LOCATING STOCKPILES ON THE UPHILL SIDE OF DISTURBED AREAS, WHERE POSSIBLE, TO ACT AS TEMPORARY DIVERSIONS.
 - CONSTRUCT CUT AND FILL AREAS, INSTALLING HAYBALE CHECK DAMS AT TOES OF ALL 3:1 OR GREATER SLOPES, AND AT ENDS OF ALL CUT AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS. PLACE ALL SLOPE PROTECTION WHERE INDICATED ON THE PLAN. THE SUBSURFACE INFILTRATION SYSTEM SHALL BE CONSTRUCTED IMMEDIATELY AFTER THE ROADWAY ROUGH GRADING IS COMPLETED AND THE AREA HAS BEEN CLEARED OF VEGETATION.
 - INSTALL CLOSED DRAINAGE SYSTEM AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE COVERED WITH SILTSACK OR EQUIVALENT INLET PROTECTION.
 - GRADE ROADWAY AND PARKING AREAS TO SUBGRADE ELEVATION AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE WARRANTED. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN.
 - EXCAVATE AND CONSTRUCT BUILDING FOUNDATION.
 - PLACE GRAVEL SUBBASE.
 - PLACE THE BITUMINOUS CONCRETE BINDER COURSE ON ROADWAY AND PARKING AREAS.
 - CONSTRUCT BUILDING STRUCTURES AND ASSOCIATED UTILITY CONNECTIONS.
 - GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL SLOPES INTO EXISTING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH.
 - PLACE THE FINAL WEARING COURSE OF PAVEMENT.
 - COMPLETE FINE GRADING OF SHOULDERS AND PLACE PAVEMENT IN MISCELLANEOUS AREAS.
 - REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.

ABBREVIATIONS

FFE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET WALL	RETAINING WALL
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
VGC	VERTICAL GRANITE CURB
ETW	EDGE OF TRAVEL WAY
WTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE
LSA	LANDSCAPED AREA

LEGEND

SURVEY SYMBOLS

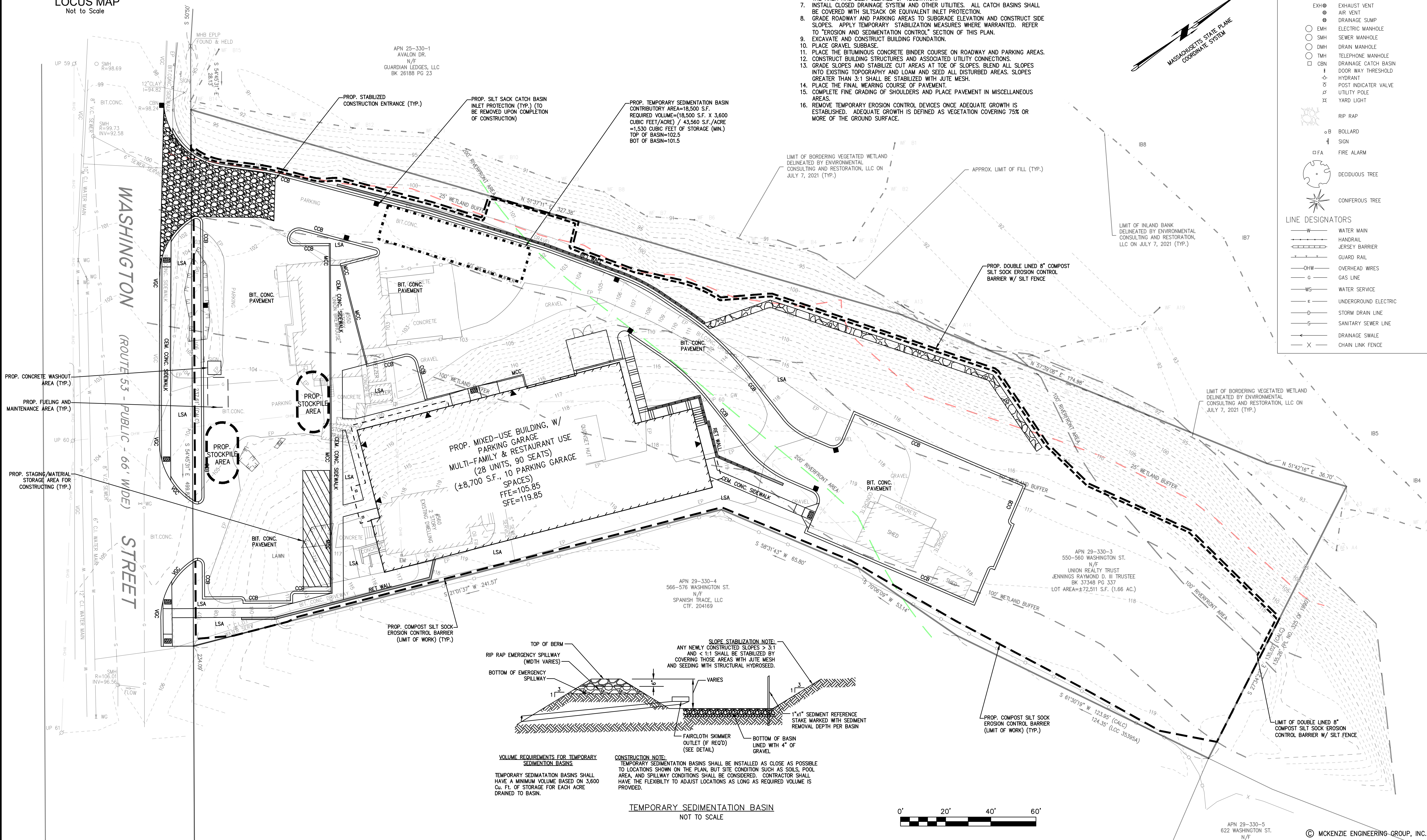
- REBAR
- ANGLE IRON
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND
- STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT

LINE DESIGNATORS

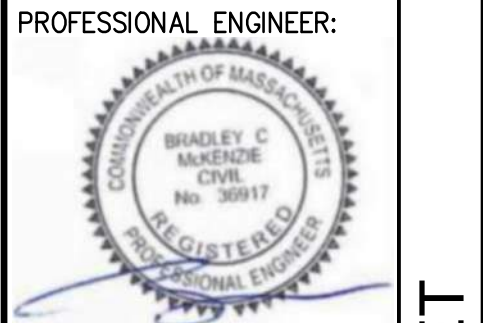
- WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- OVERHEAD WIRES
- GAS LINE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DRAINAGE SWALE
- CHAIN LINK FENCE



REV	DATE	DESCRIPTION	BY	APP
1	4/20/23	TOWN REVIEW	ESS	BCM
2	5/24/23	SITE LAYOUT	ESS	BCM
3	7/3/23	TOWN REVIEW	ESS	BCM



SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS



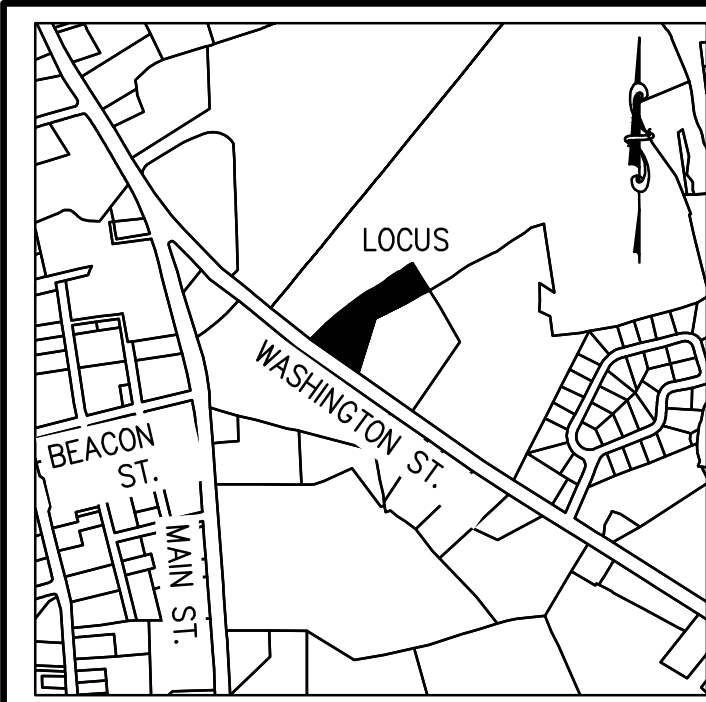
OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY: ESS
DESIGNED BY: ESS
CHECKED BY: BCM
APPROVED BY: BCM
DATE: MARCH 24, 2023
SCALE: 1"=20'
PROJECT NO.: 222-182
DWG. TITLE:

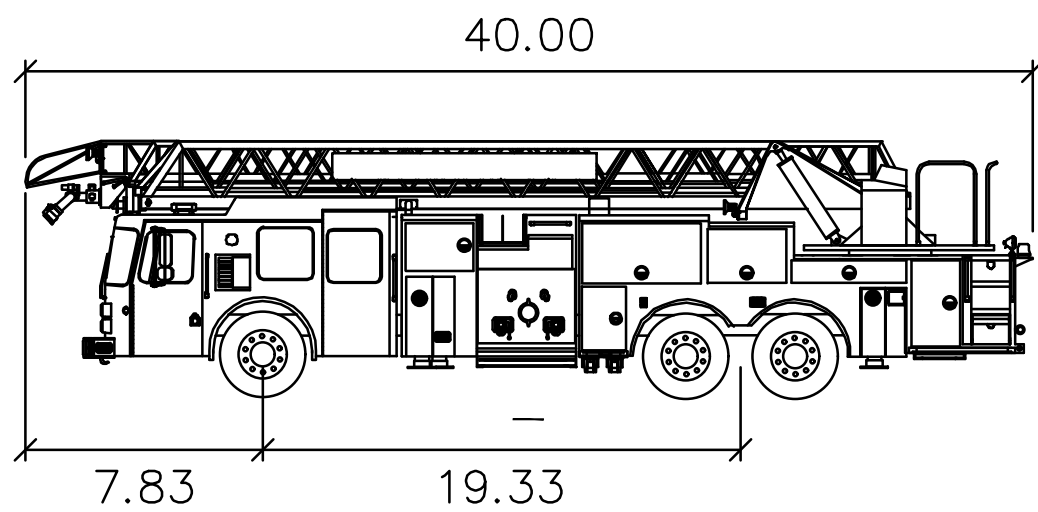
EROSION AND
SEDIMENT
CONTROL PLAN

DWG. NO.: **ESC-1**

PERMIT PLAN SET



LOCUS MAP
Not to Scale



Weymouth Ladder 105'
feet

Width : 8.00
Track : 6.91
Lock to Lock Time : 6.0
Steering Angle : 45.0

NOTE: LIMIT OF BUMPER OVERHANG IS SHOWN IN RED. VEHICLE WHEEL PATH IS SHOWN AS BLACK LINES.

ABBREVIATIONS
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CCB CAPE COD BERM
EP EDGE OF PAVEMENT
BC BITUMINOUS CONCRETE CURB
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LSA LANDSCAPED AREA

LEGEND

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- REBAR
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- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT

LINE DESIGNATORS

- RIP RAP
- BOLLARD
- SIGN
- FIRE ALARM
- DECIDUOUS TREE
- CONIFEROUS TREE
- WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- OVERHEAD WIRES
- GAS LINE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DRAINAGE SWALE
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REV	DATE	DESCRIPTION	BY	APP
1	4/20/23	TOWN REVIEW	ESS	BCM
2	5/24/23	SITE LAYOUT	ESS	BCM
3	7/3/23	TOWN REVIEW	ESS	BCM



SITE DEVELOPMENT PLAN 550-560 WASHINGTON STREET (APN 29-330-3) WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:



OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

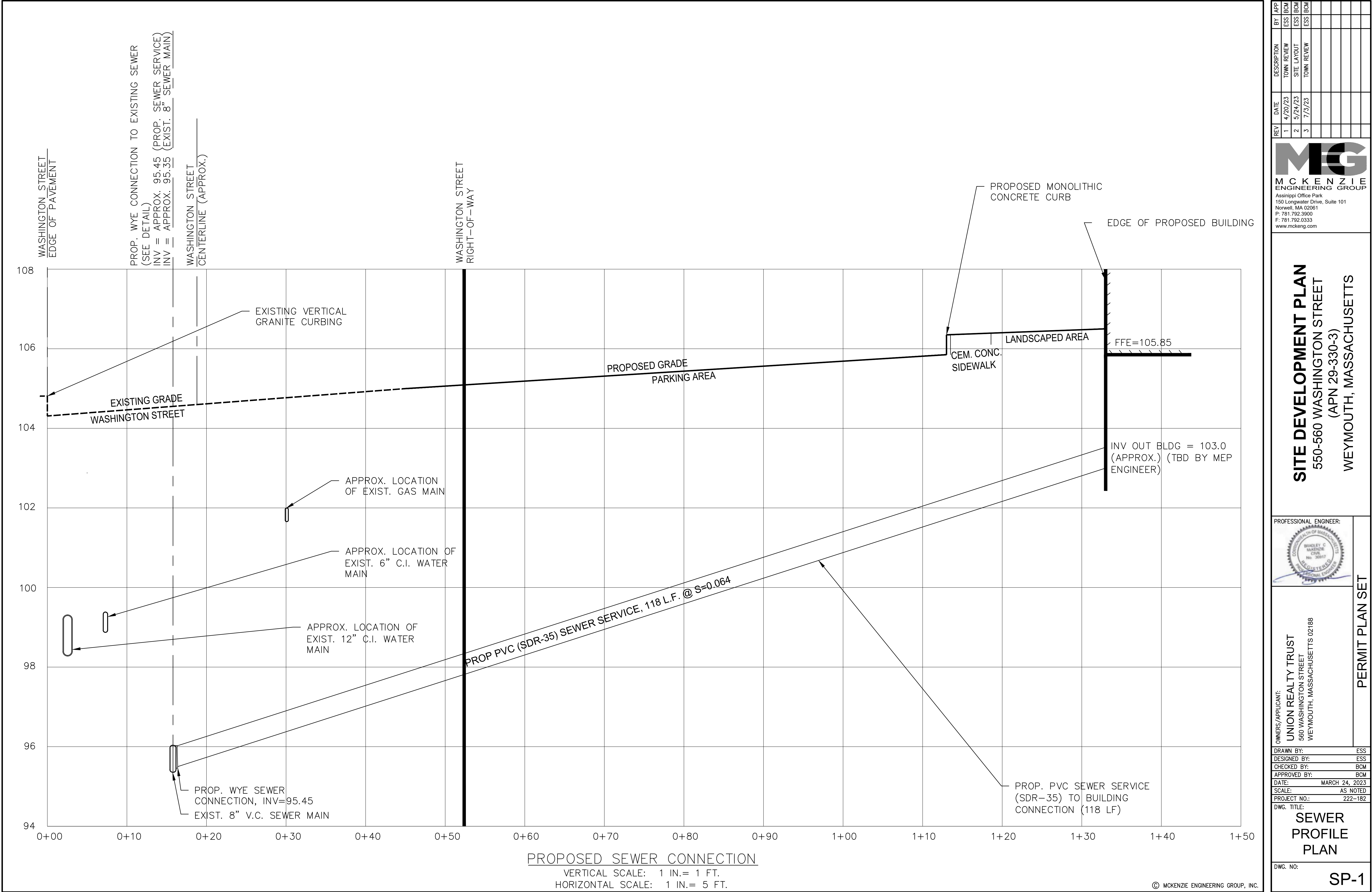
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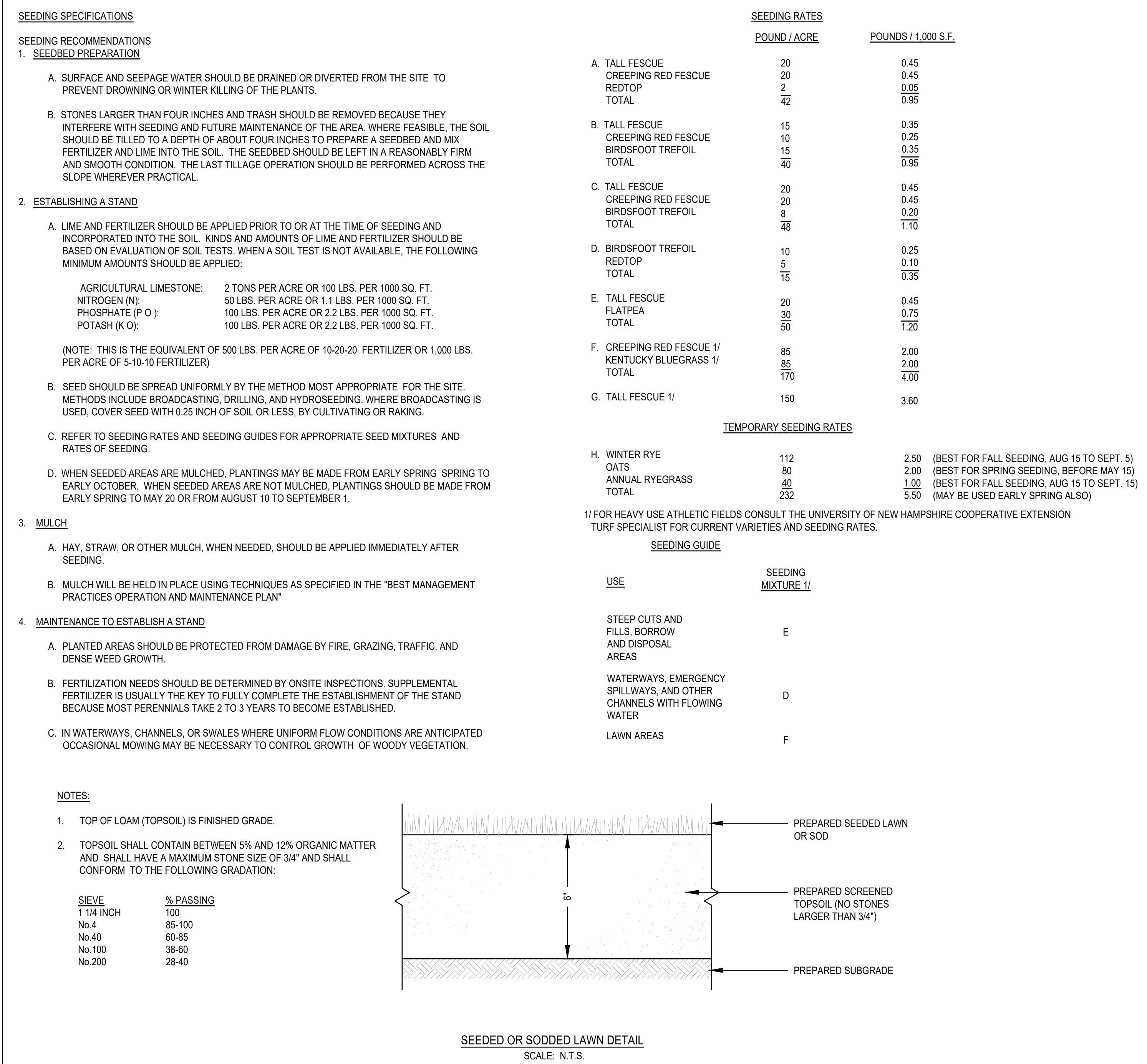
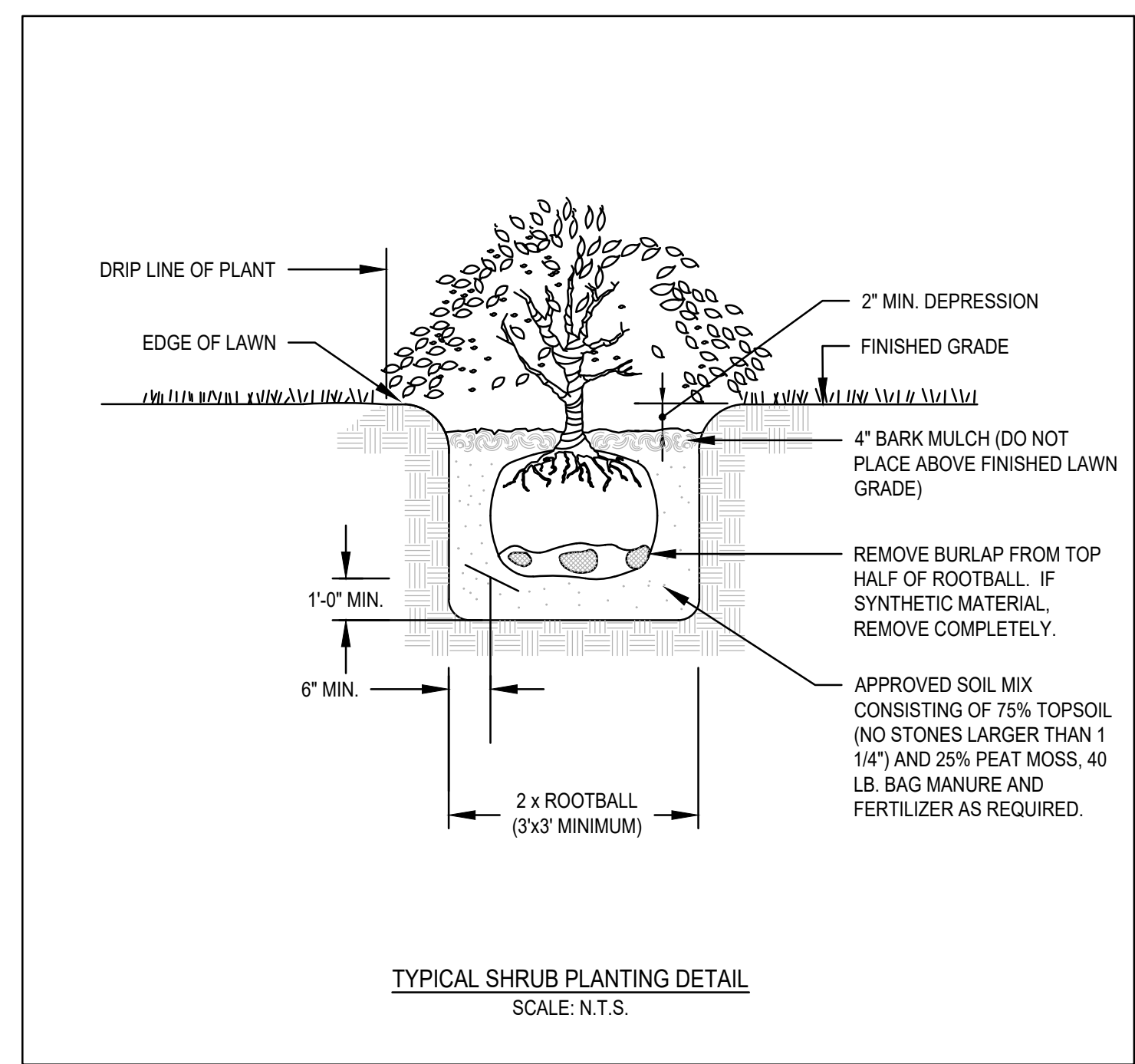
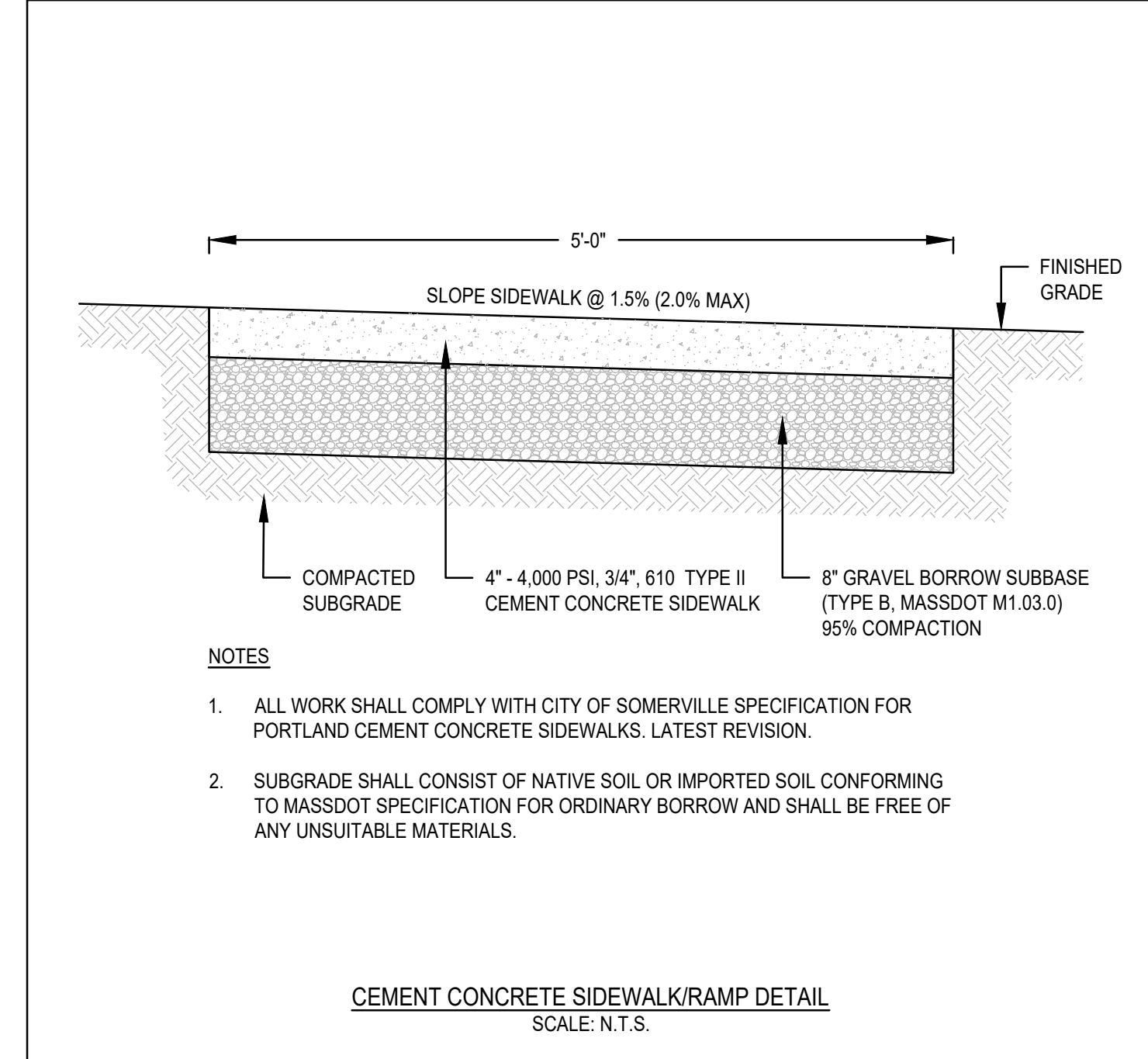
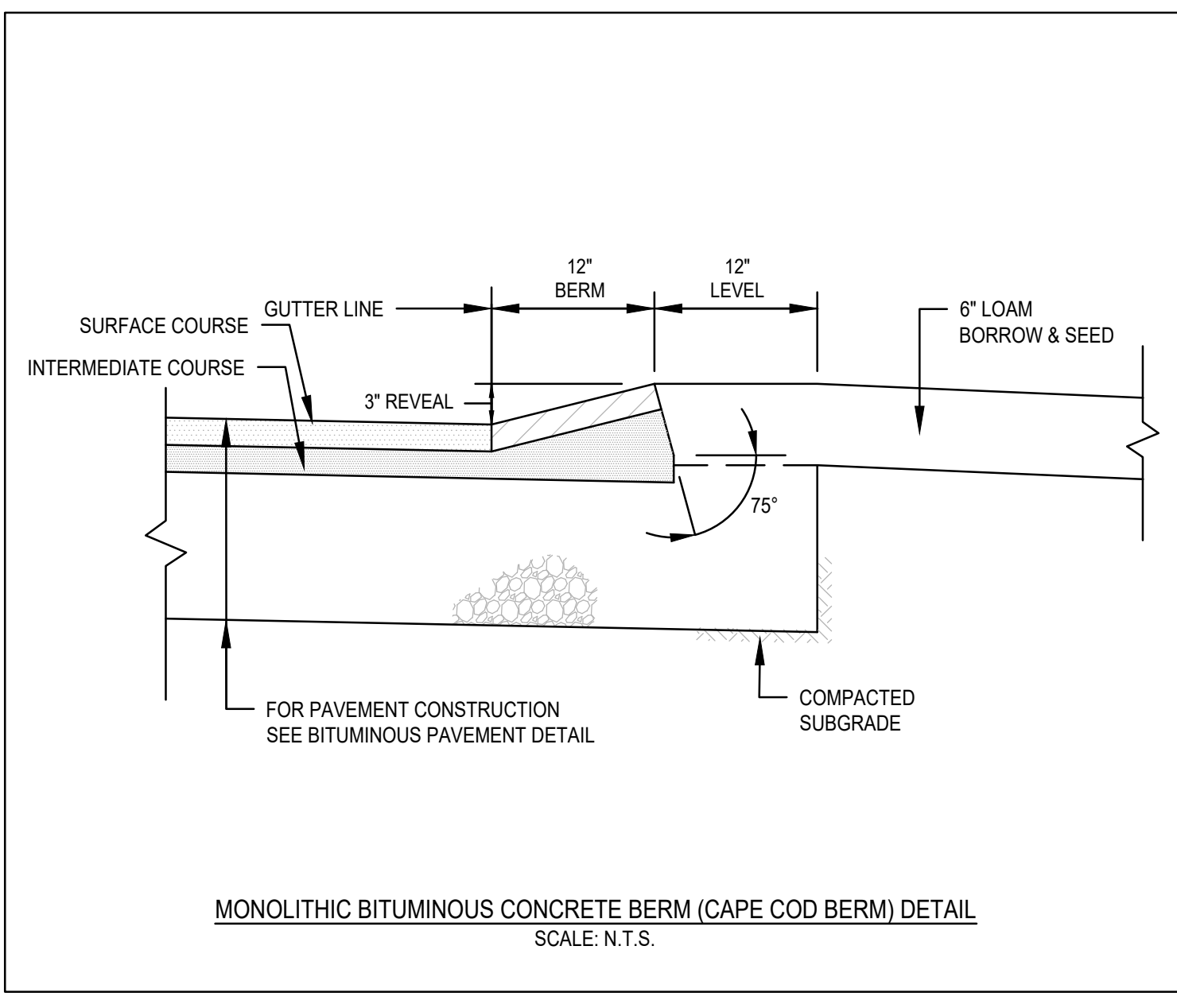
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DESIGNED BY: ESS
CHECKED BY: BCM
APPROVED BY: BCM
DATE: MARCH 24, 2023
SCALE: 1"=20'
PROJECT NO.: 222-182
DWG. TITLE:

TRUCK TURNING PLAN

DWG. NO:

T-1





MCKENZIE
ENGINEERING GROUP

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Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:	
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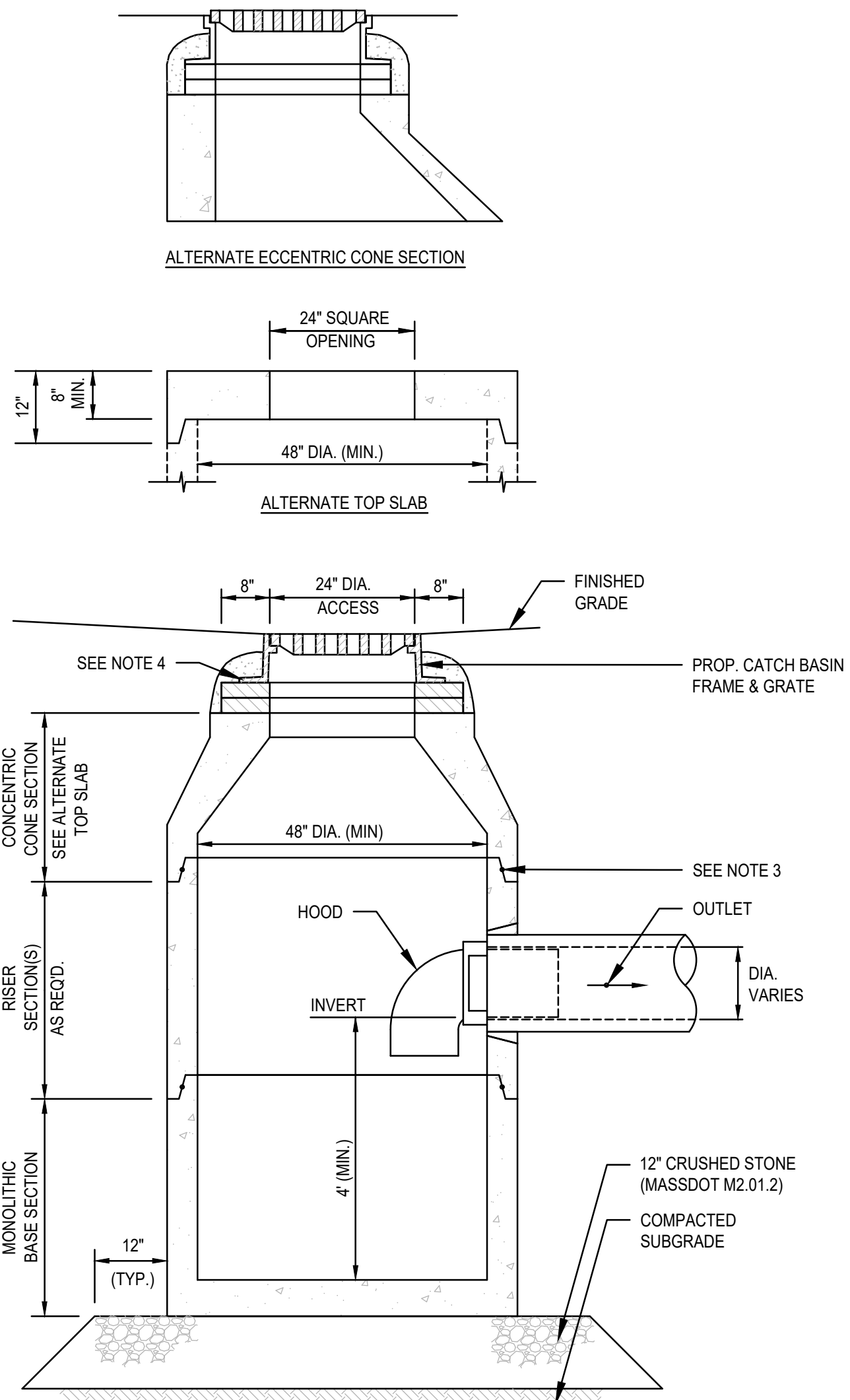


OWNERS/APPLICANT:
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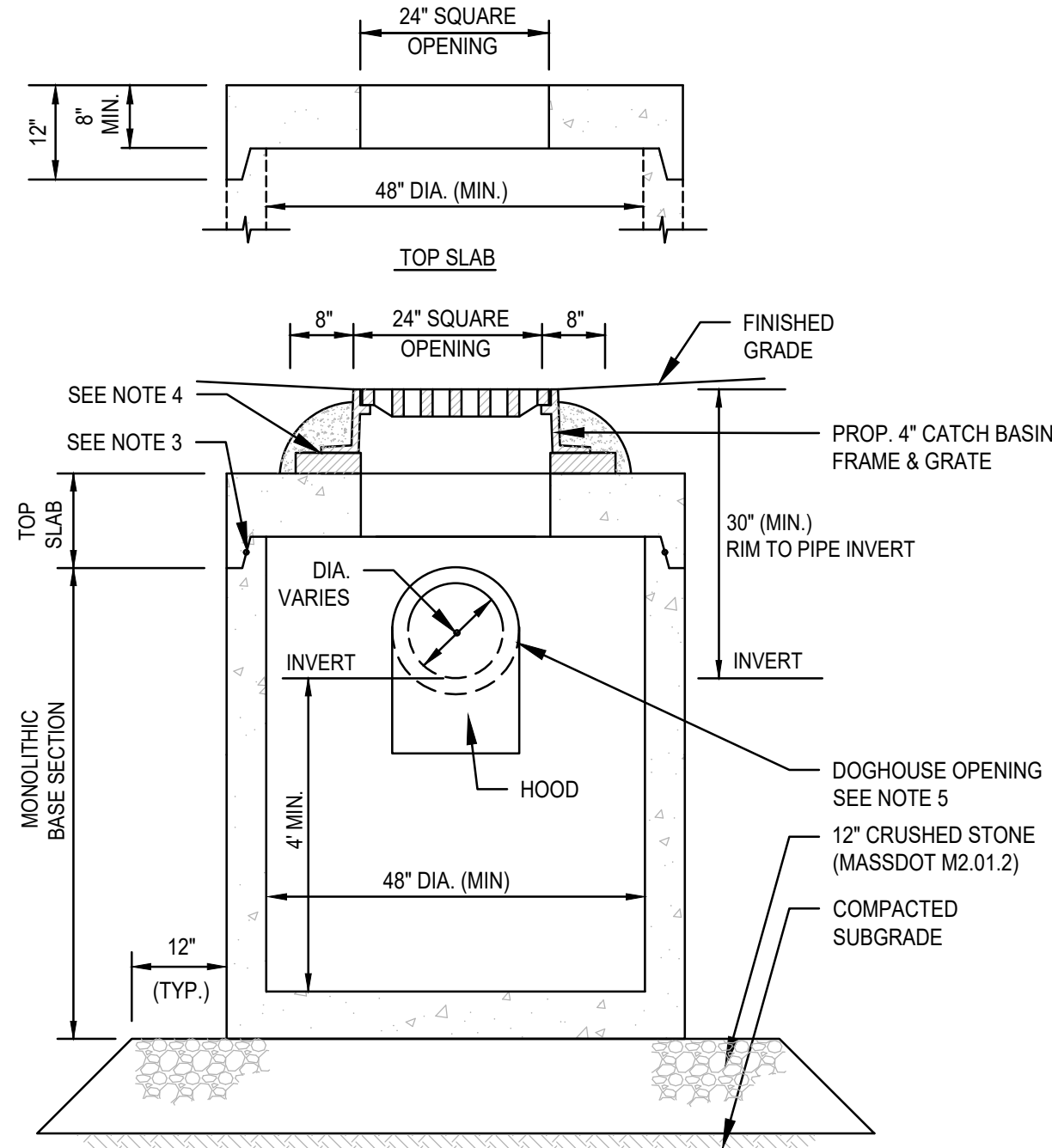
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CHECKED BY:	BCM
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DATE:	MARCH 24, 2023
SCALE:	AS NOTED
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DWG. TITLE:	

CONSTRUCTION DETAILS

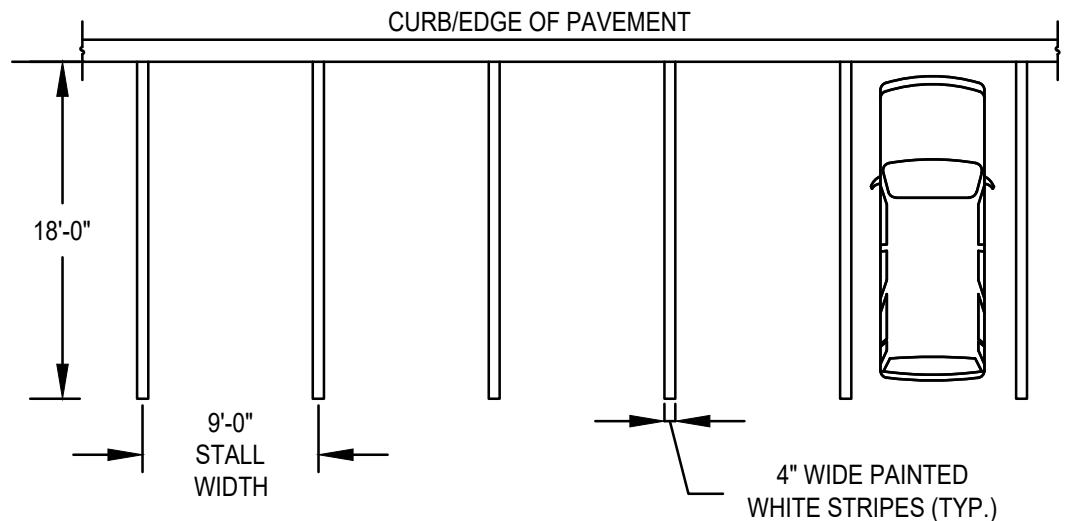
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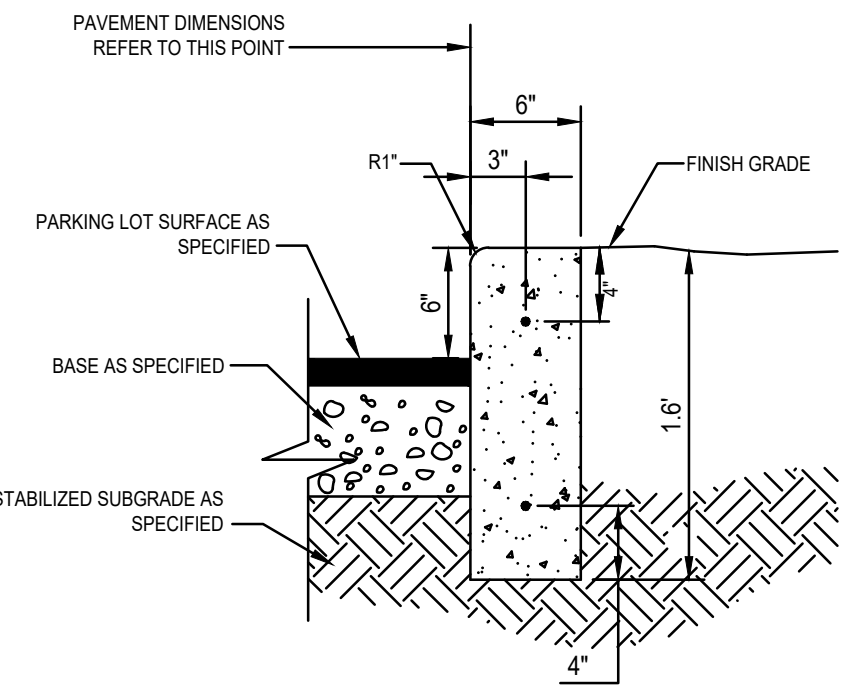
CATCH BASIN W/HOOD
SCALE: N.T.S.



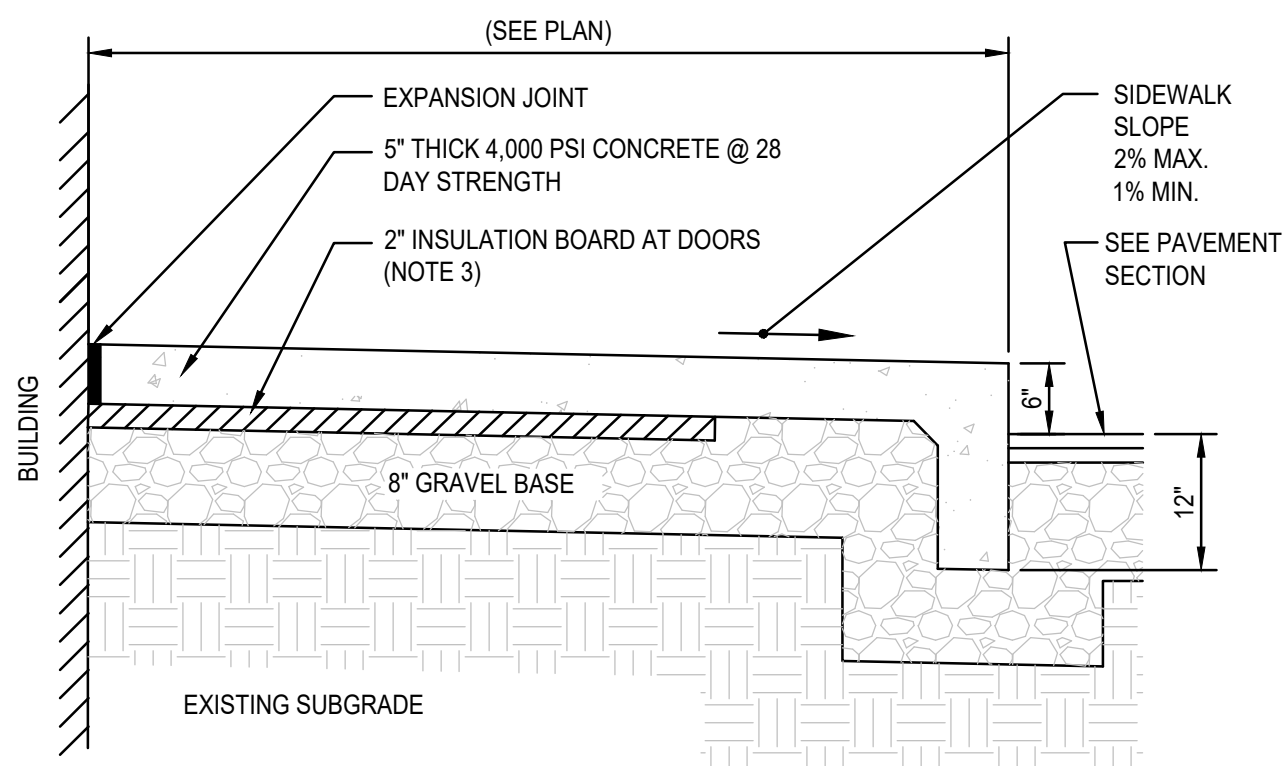
SHALLOW CATCH BASIN
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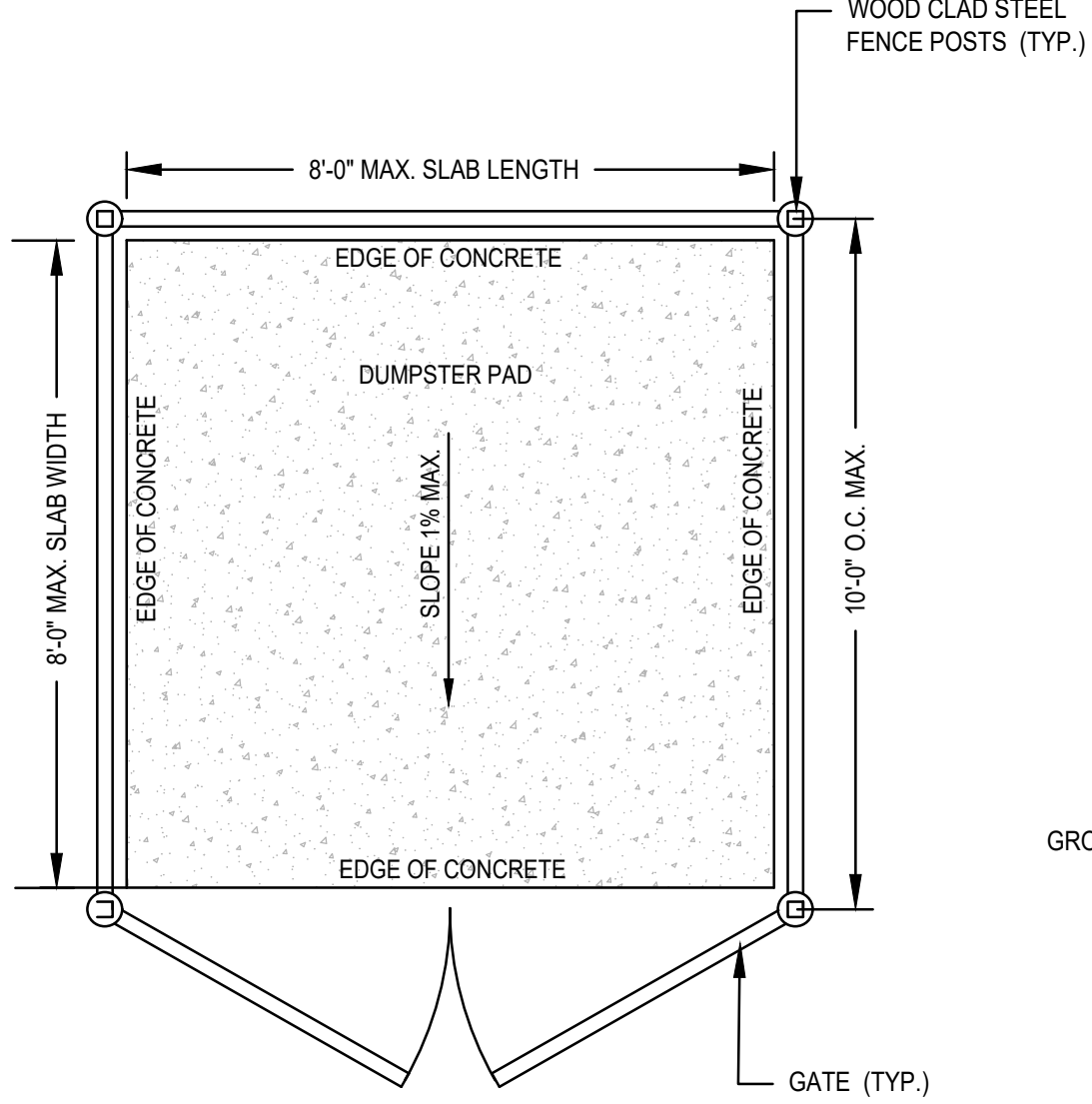
TYPICAL STRIPING DETAILS
SCALE: N.T.S.



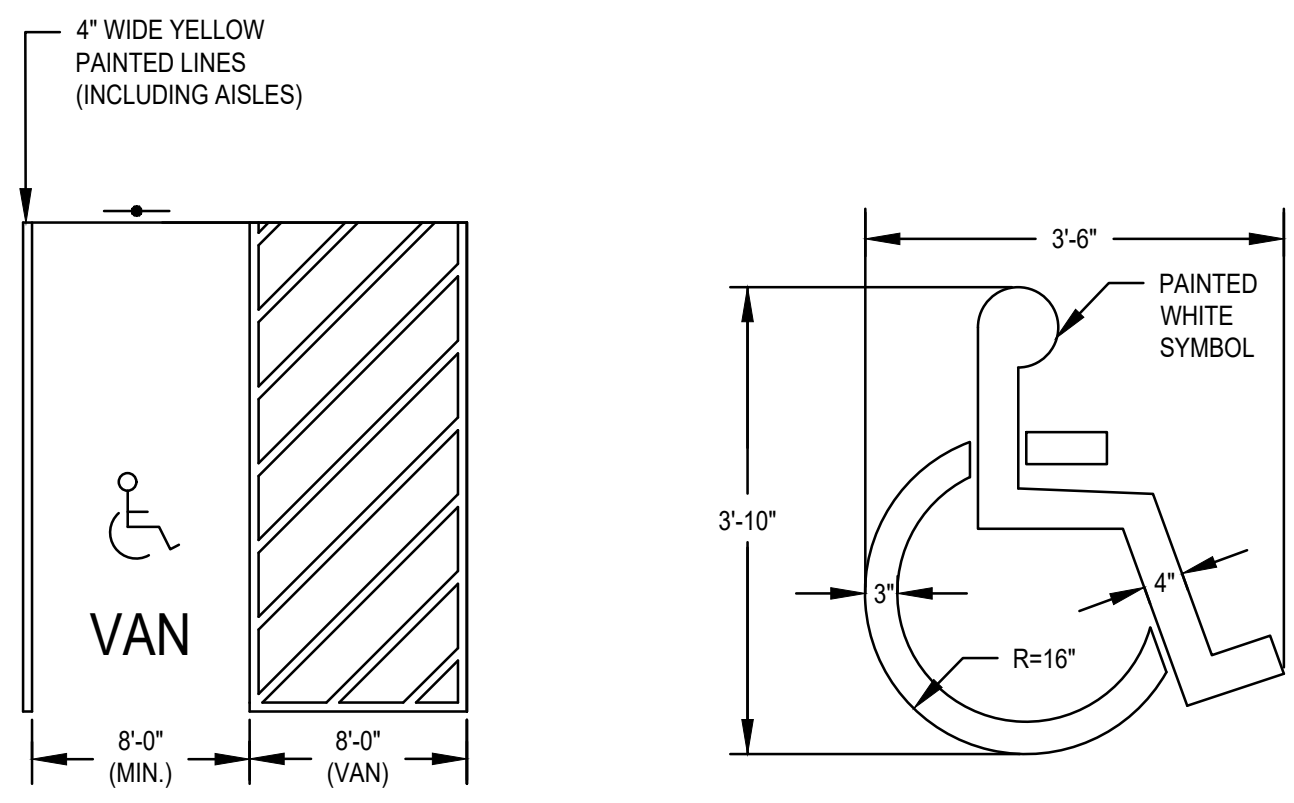
PRECAST MONOLITHIC CEMENT CONCRETE CURB DETAIL
SCALE: N.T.S.



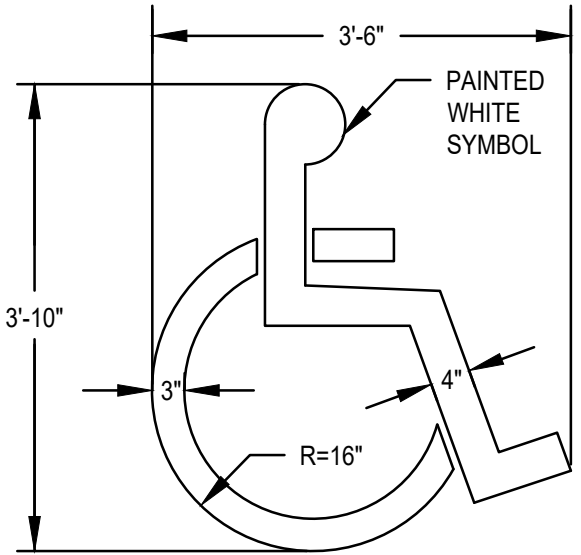
CONCRETE SIDEWALK AND MONOLITHIC CURB AT BUILDING
SCALE: N.T.S.



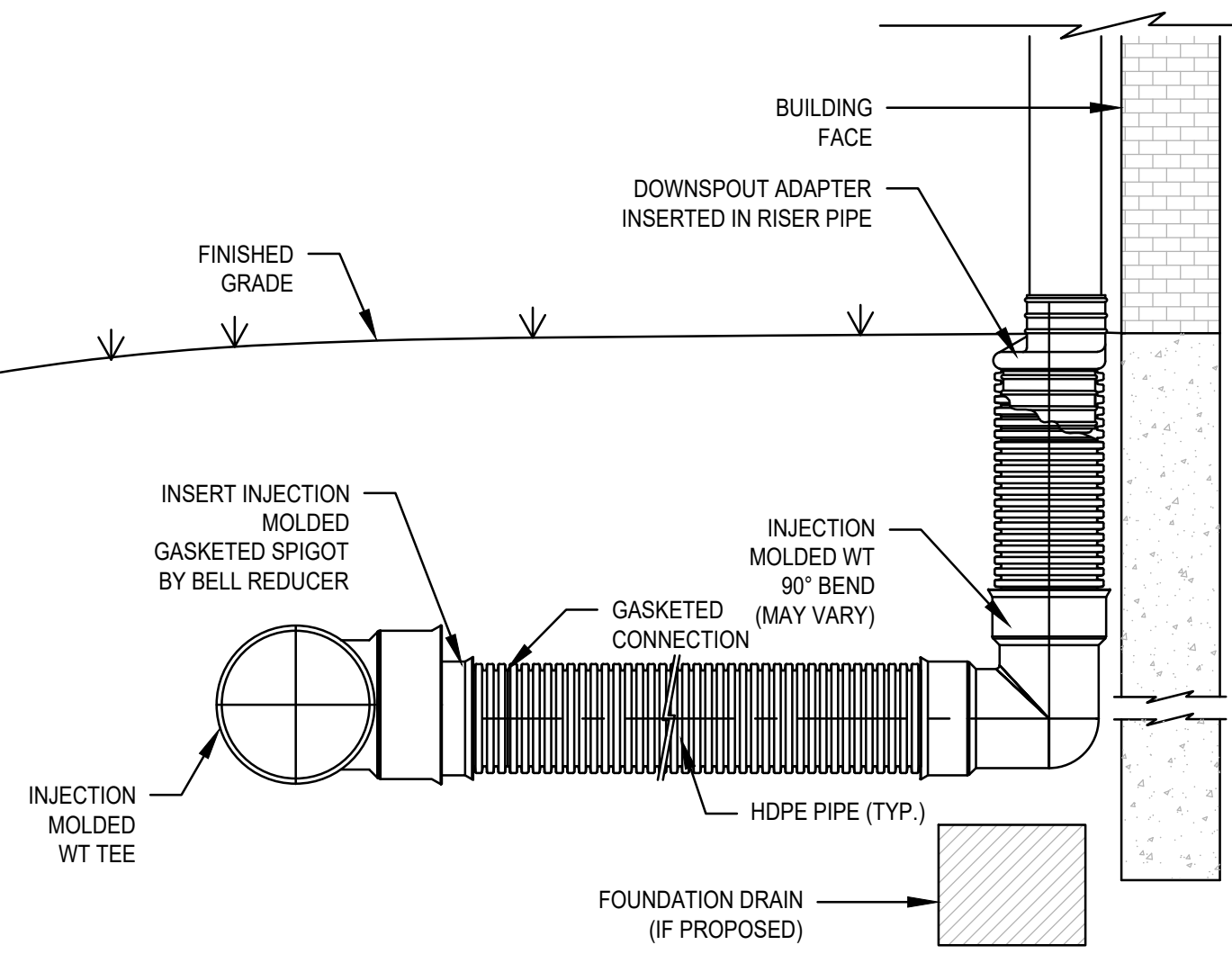
DUMPSTER PAD ENCLOSURE DETAIL
SCALE: N.T.S.



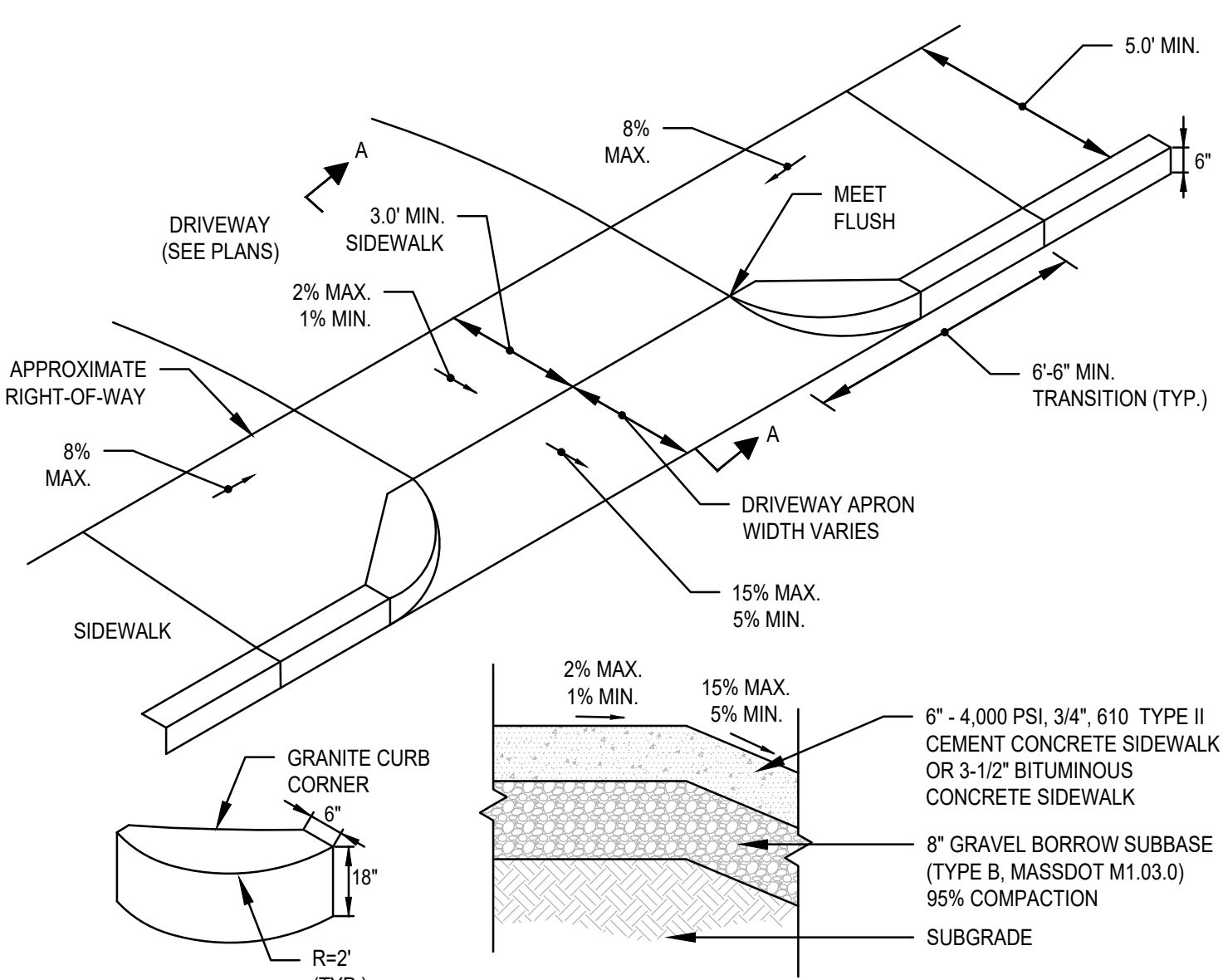
HANDICAP PARKING STALL DETAIL
SCALE: N.T.S.



PAINTED HANDICAP SYMBOL DETAIL
SCALE: N.T.S.



ROOF LEADER CONNECTION DETAIL
SCALE: N.T.S.

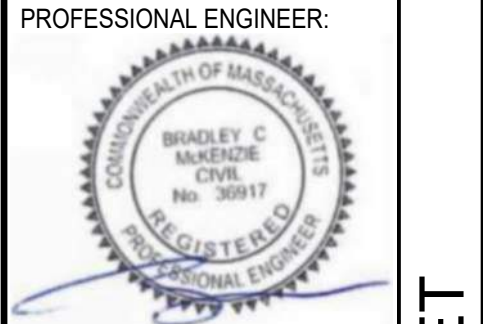


SECTION A-A
SIDEWALK THRU DRIVEWAYS WITH CURB RETURNS
SCALE: N.T.S.

REV	DATE	DESCRIPTION	BY	APP
1	4/20/23	TOWN REVIEW	ESS	BCM
2	5/24/23	SITE LAYOUT	ESS	BCM
3	7/20/23	TOWN REVIEW	ESS	BCM



SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS



OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

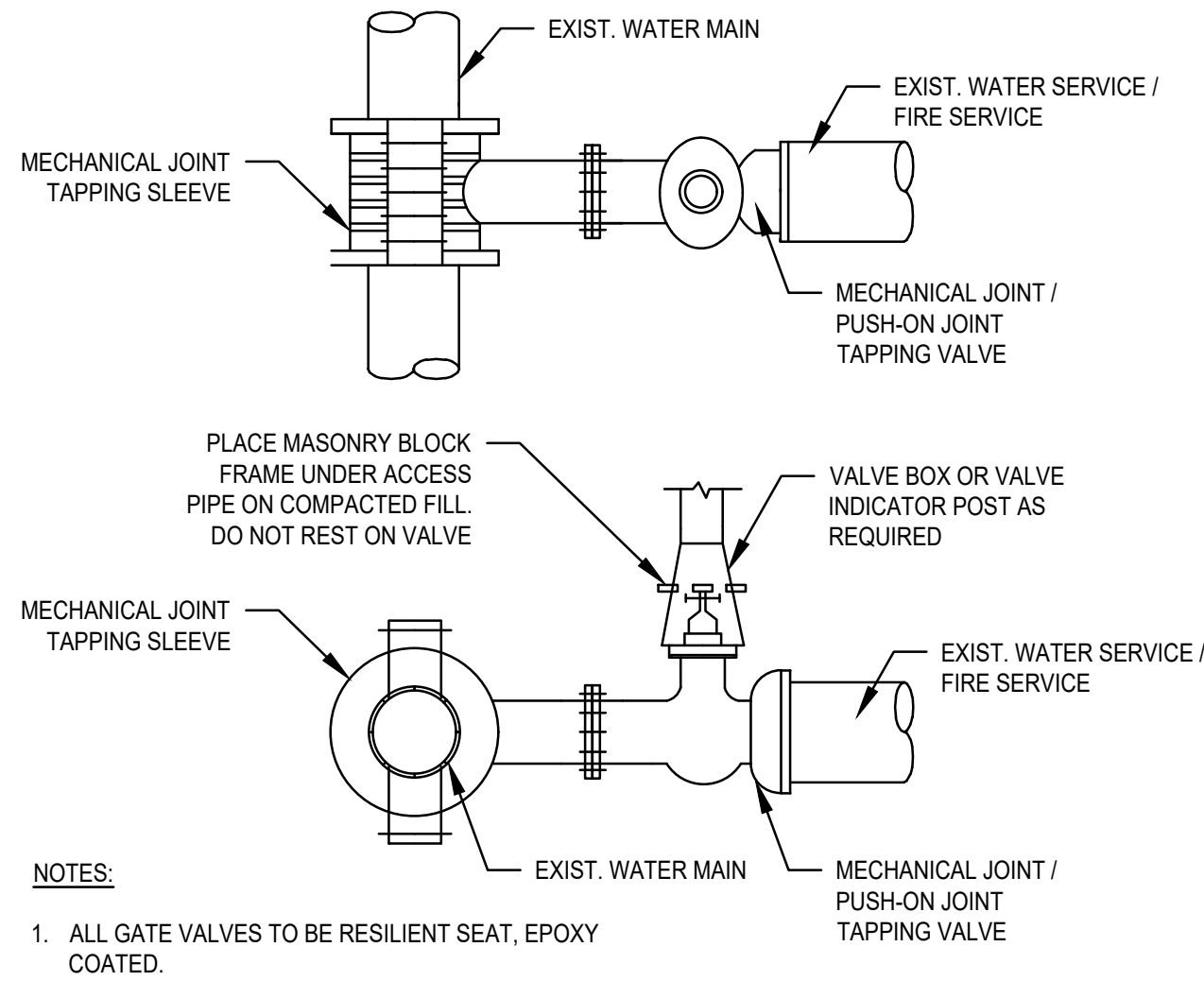
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DESIGNED BY: ESS
CHECKED BY: BCM
APPROVED BY: BCM
DATE: MARCH 24, 2023
SCALE: AS NOTED
PROJECT NO.: 221-187
DWG. TITLE:

CONSTRUCTION DETAILS

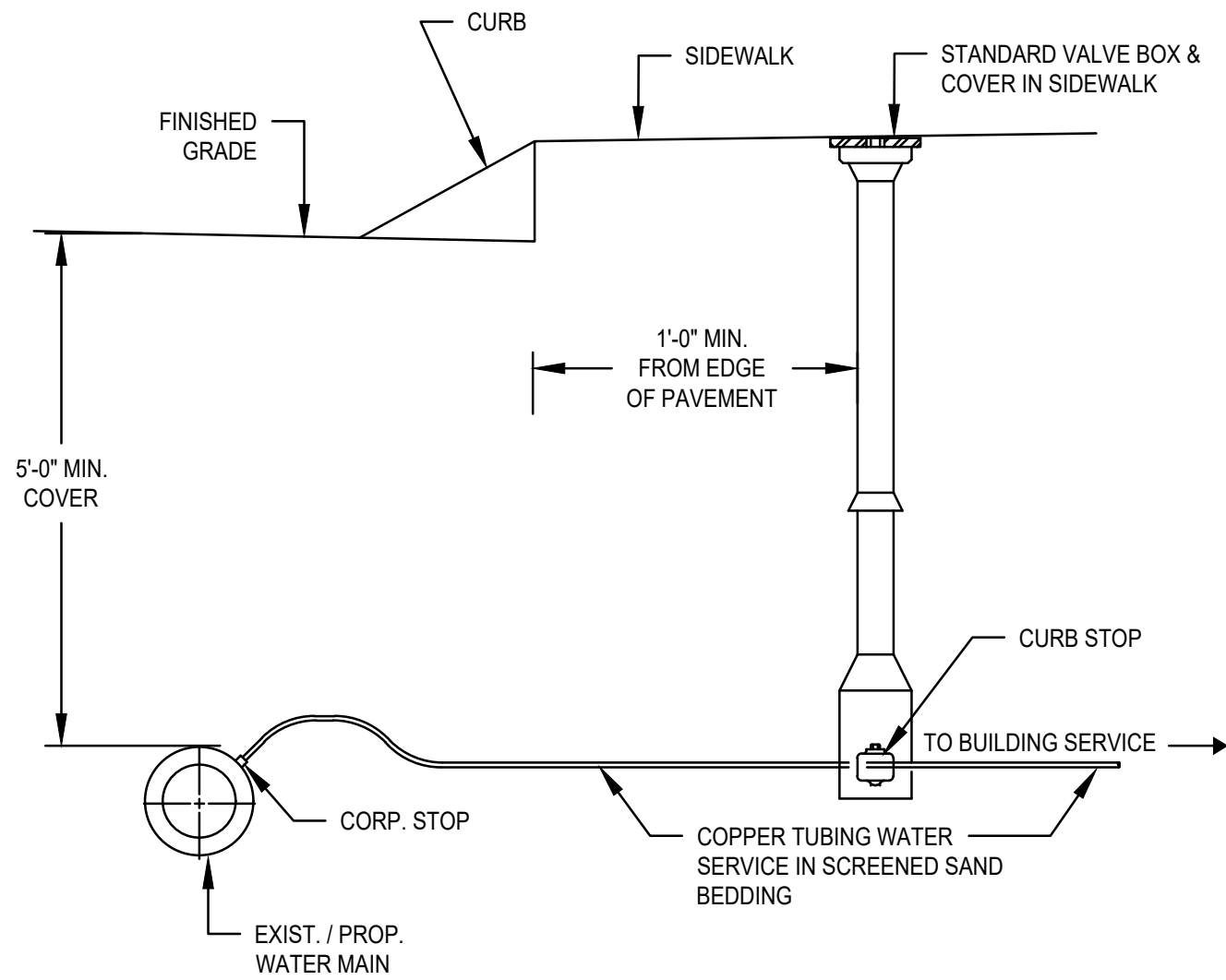
DWG. NO: **D-2**

GENERAL NOTES

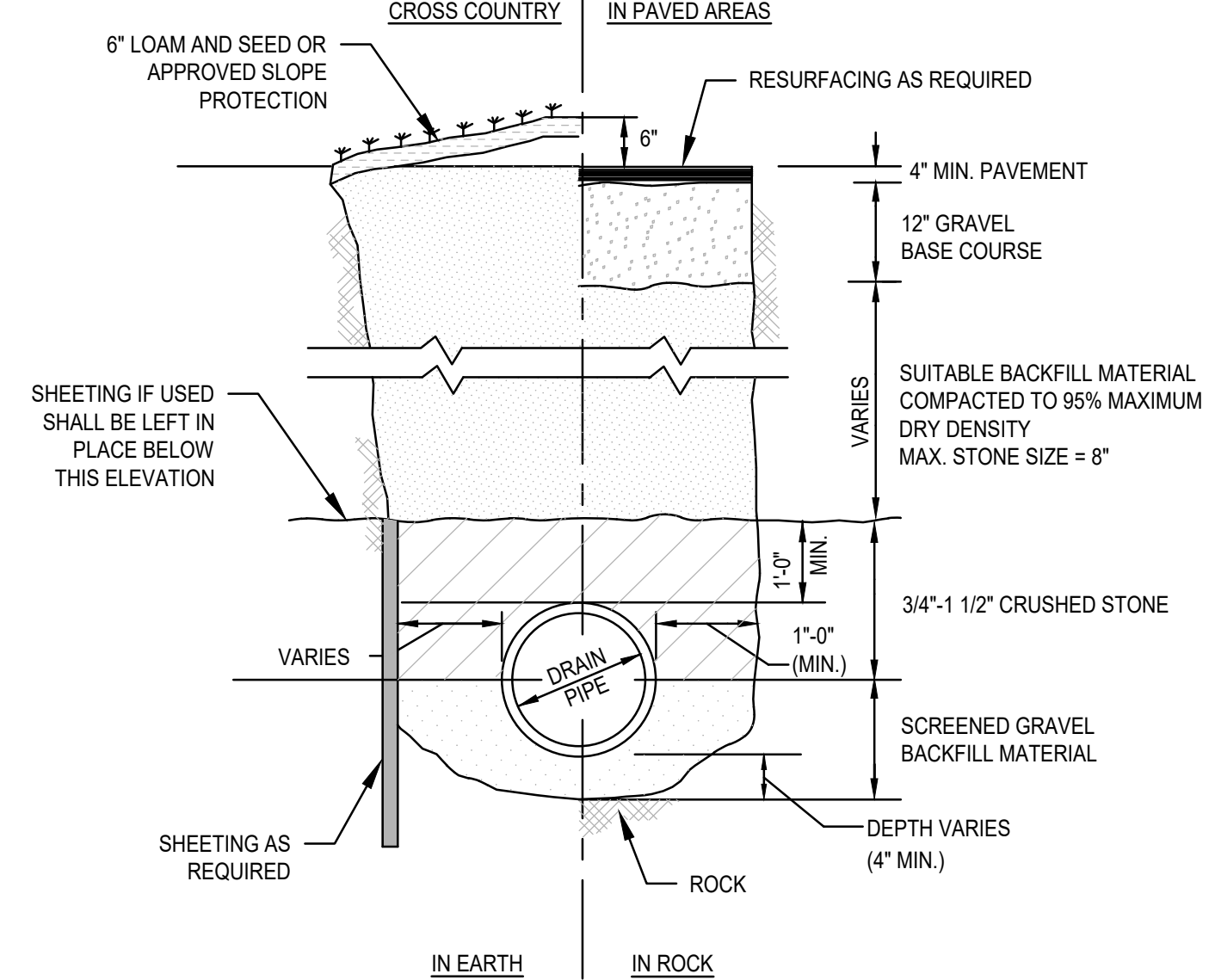
- IF SHEETING IS USED, IT SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
- ALL PIPES SHALL BE PRESSURE TESTED AT 200 PSI WORKING PRESSURE FOR A MINIMUM DURATION OF TWO HOUR.
- WATER SYSTEM IS TO BE DISINFECTED TO 50 P.P.M. AVAILABLE CHLORINE AND AFTER 24 HOURS TO 25 P.P.M. OR AS REQUIRED BY WEYMOUTH WATER SUPERINTENDENT/ENGINEER.
- WATER PIPE IS TO BE CEMENT LINED DUCTILE IRON "TYTON" OR EQUAL TYPE JOIN, CONFORMING TO A.N.S.I./A.W.W.A. C150/A21.50, CLASS 52, AS APPROVED BY THE TOWN'S WATER SUPERINTENDENT/ENGINEER.
- ALL PIPING SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH A.W.W.A. STANDARDS PRIOR TO PAVING IF PAVING ABOVE TRENCH IS REQUIRED.
- BACKFILL IS TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY BY AASHTO T-180 D.
- ALL WATER PIPE SHALL BE LAID WITH A MINIMUM OF 5 FEET OF COVER OF APPROVED MATERIALS.
- RESULTS FROM PRESSURE TESTING AND DISINFECTION SHALL BE FURNISHED TO THE WEYMOUTH WATER DEPT. WORKS AND DIRECTOR OF PUBLIC WORKS FOR APPROVAL PRIOR TO WATER BEING TURNED ON.
- ALL WORK SHALL BE IN CONFORMANCE WITH WEYMOUTH WATER DEPT. STANDARDS.
- ALL PERMITS REQUIRED FOR STREET OPENINGS AND WATER MAIN TAPPING MUST BE OBTAINED.
- NO WATER WILL BE TURNED ON IN THE PROJECT WITHOUT WEYMOUTH WATER DEPT. APPROVAL.



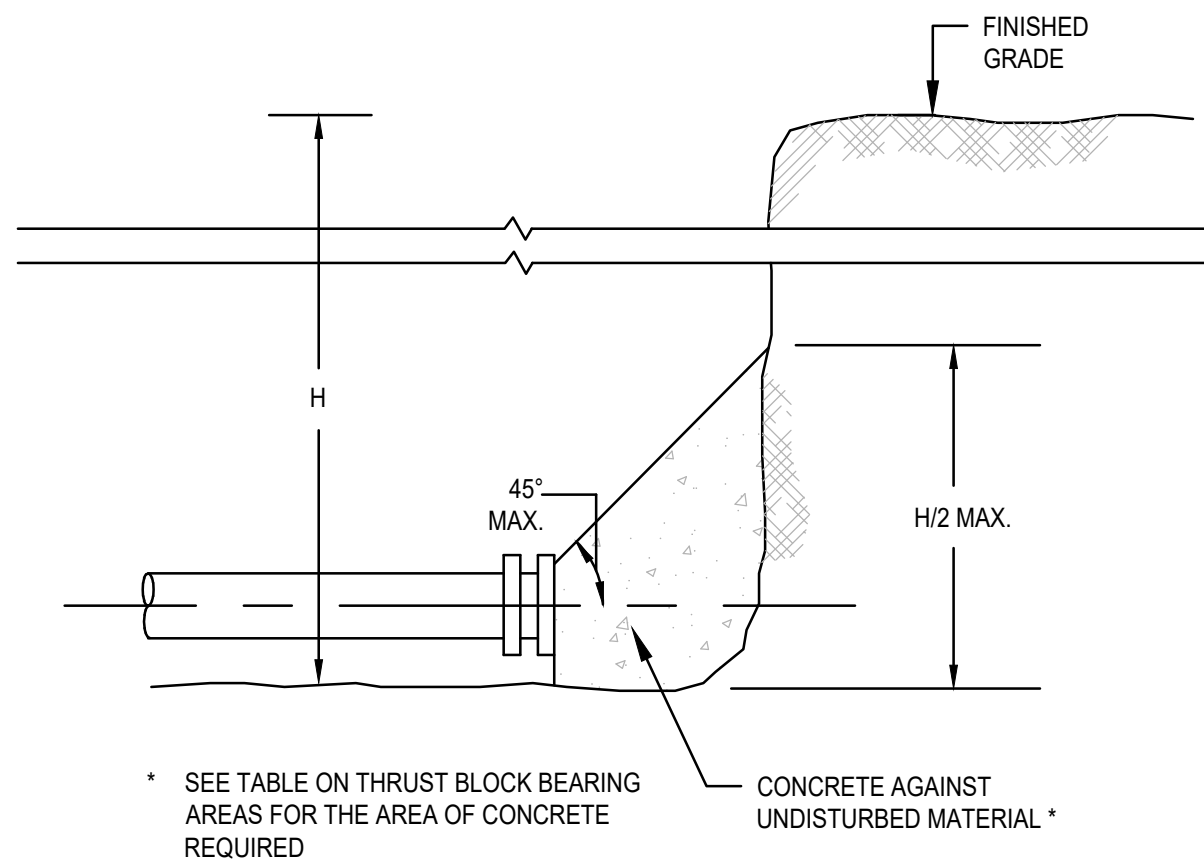
TYPICAL TAPPING SLEEVE AND VALVE DETAIL
SCALE: N.T.S.



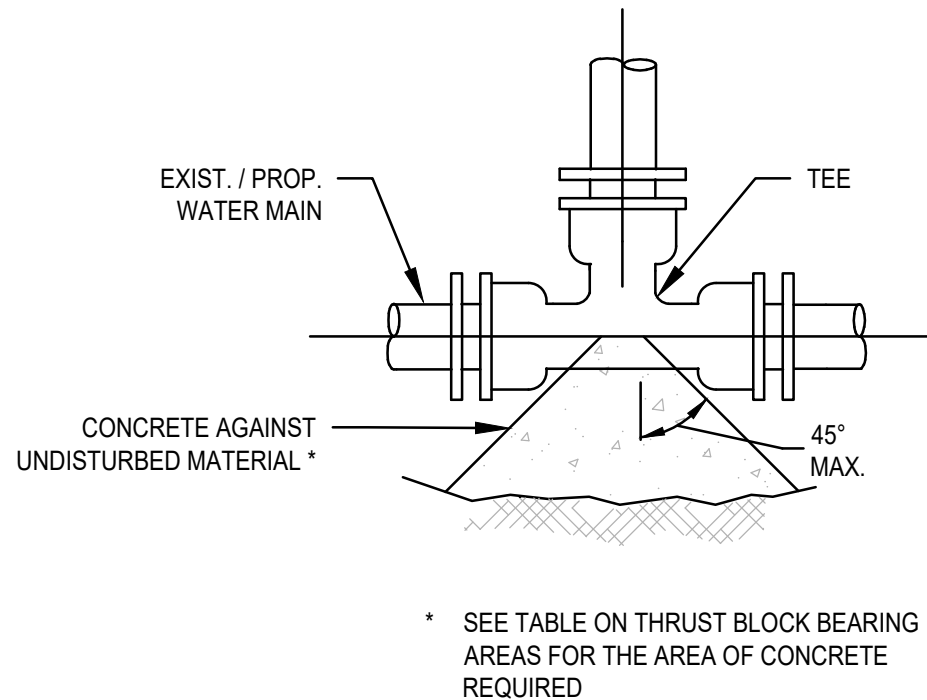
SERVICE CONNECTION DETAIL
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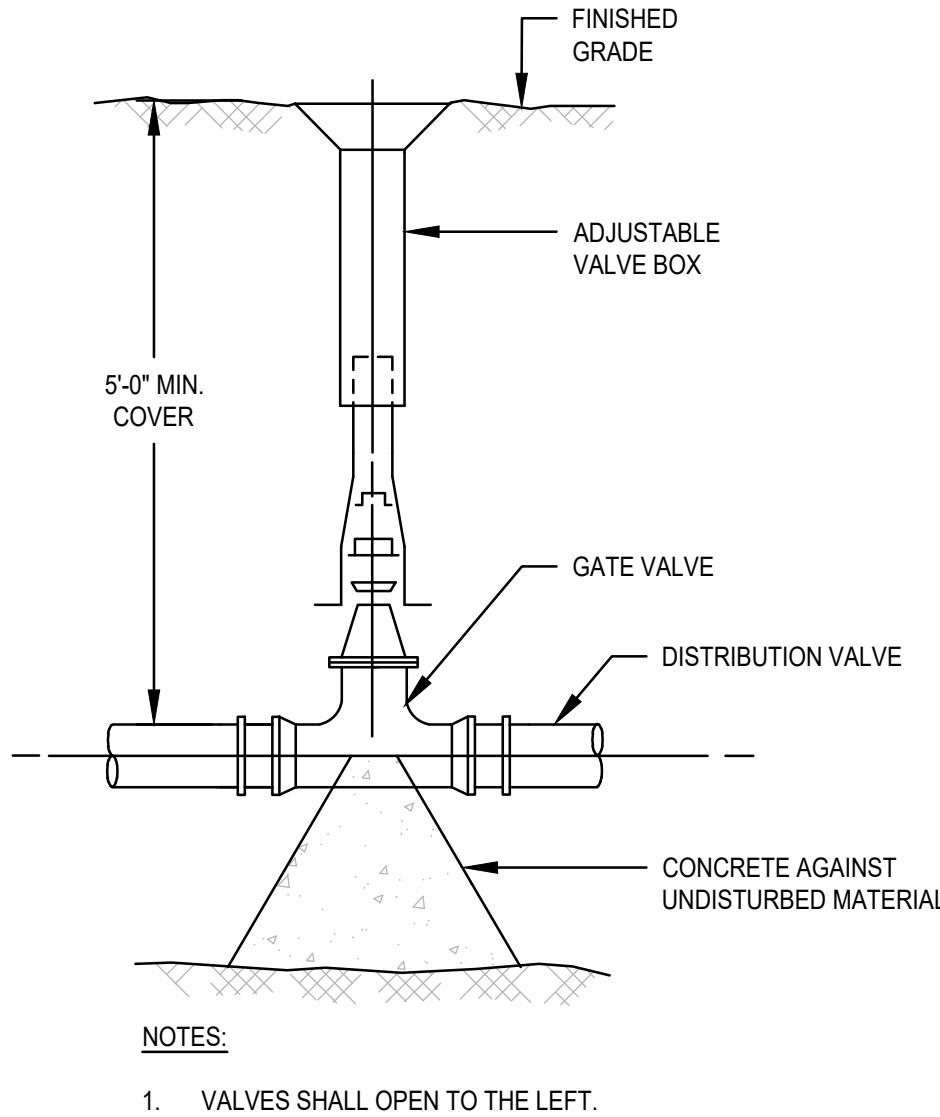
TYPICAL DRAIN TRENCH DETAIL
SCALE: N.T.S.



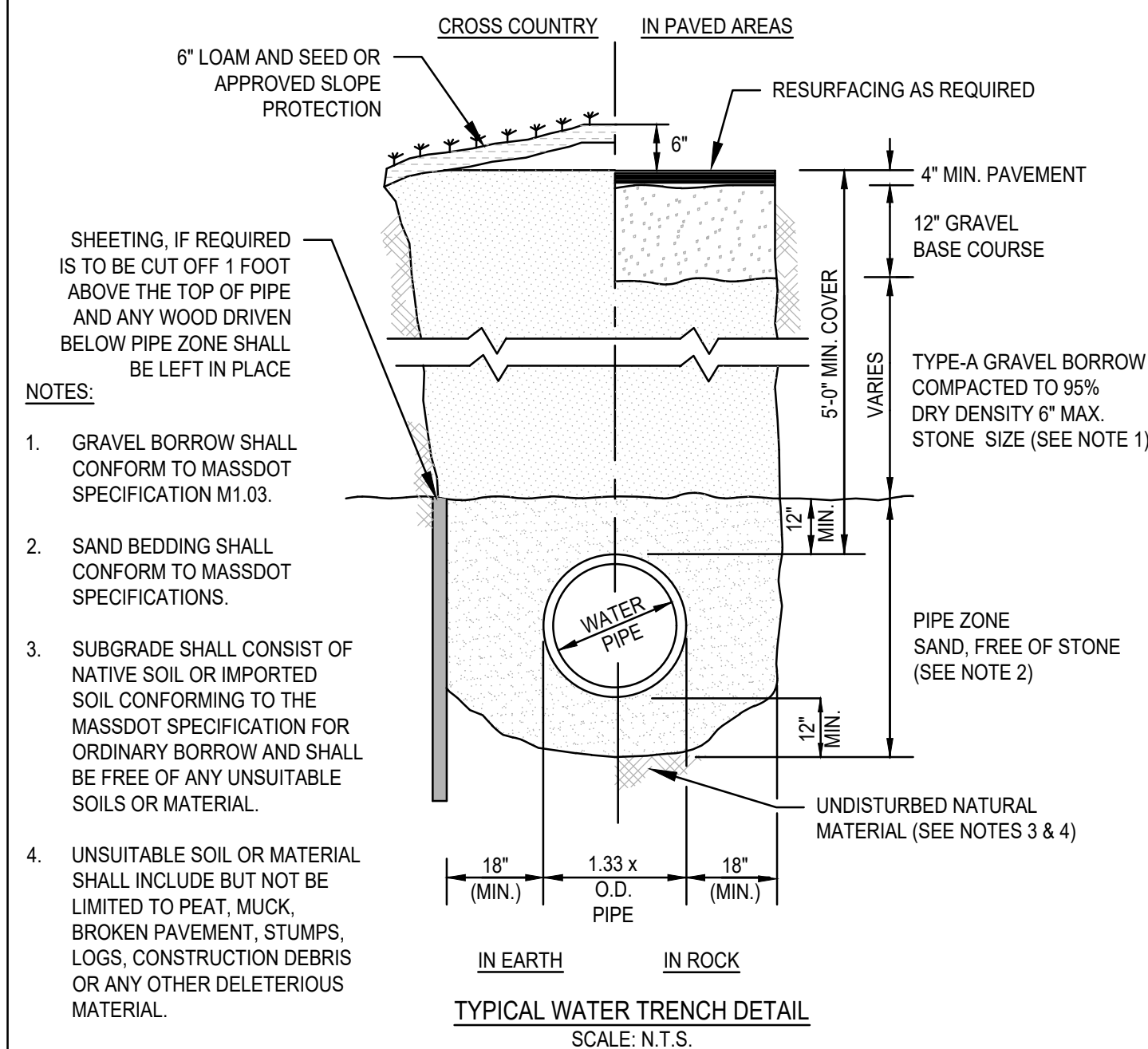
THRUST WATER MAIN PLUG
SCALE: N.T.S.



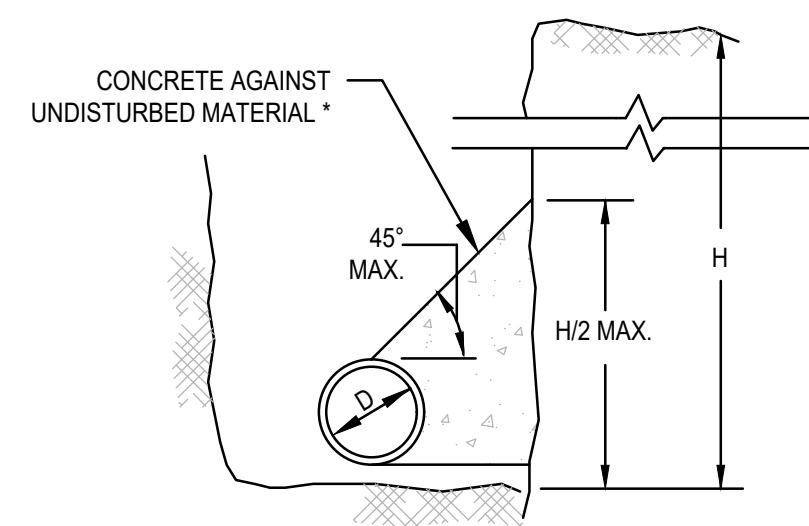
TYPICAL WATER MAIN TEE THRUST BLOCK DETAIL
SCALE: N.T.S.



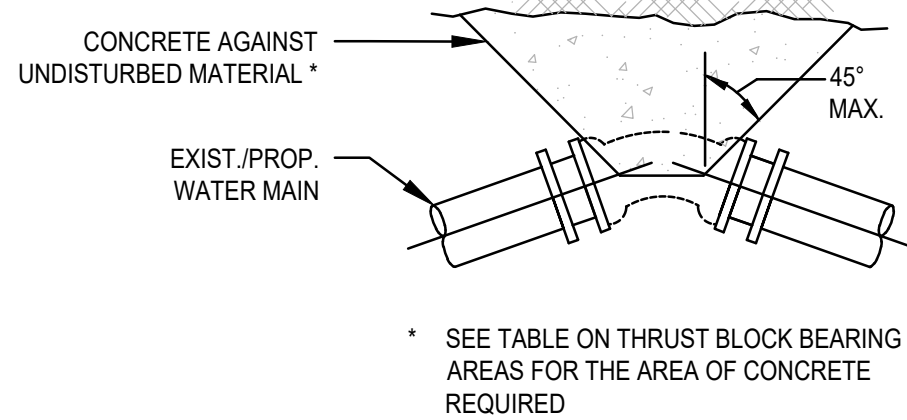
WATER GATE DETAIL
SCALE: N.T.S.



TYPICAL WATER TRENCH DETAIL
SCALE: N.T.S.



THRUST WATER MAIN THRUST BLOCK SECTION DETAIL
SCALE: N.T.S.



THRUST WATER MAIN BEND THRUST BLOCK DETAIL
SCALE: N.T.S.

NOTES:

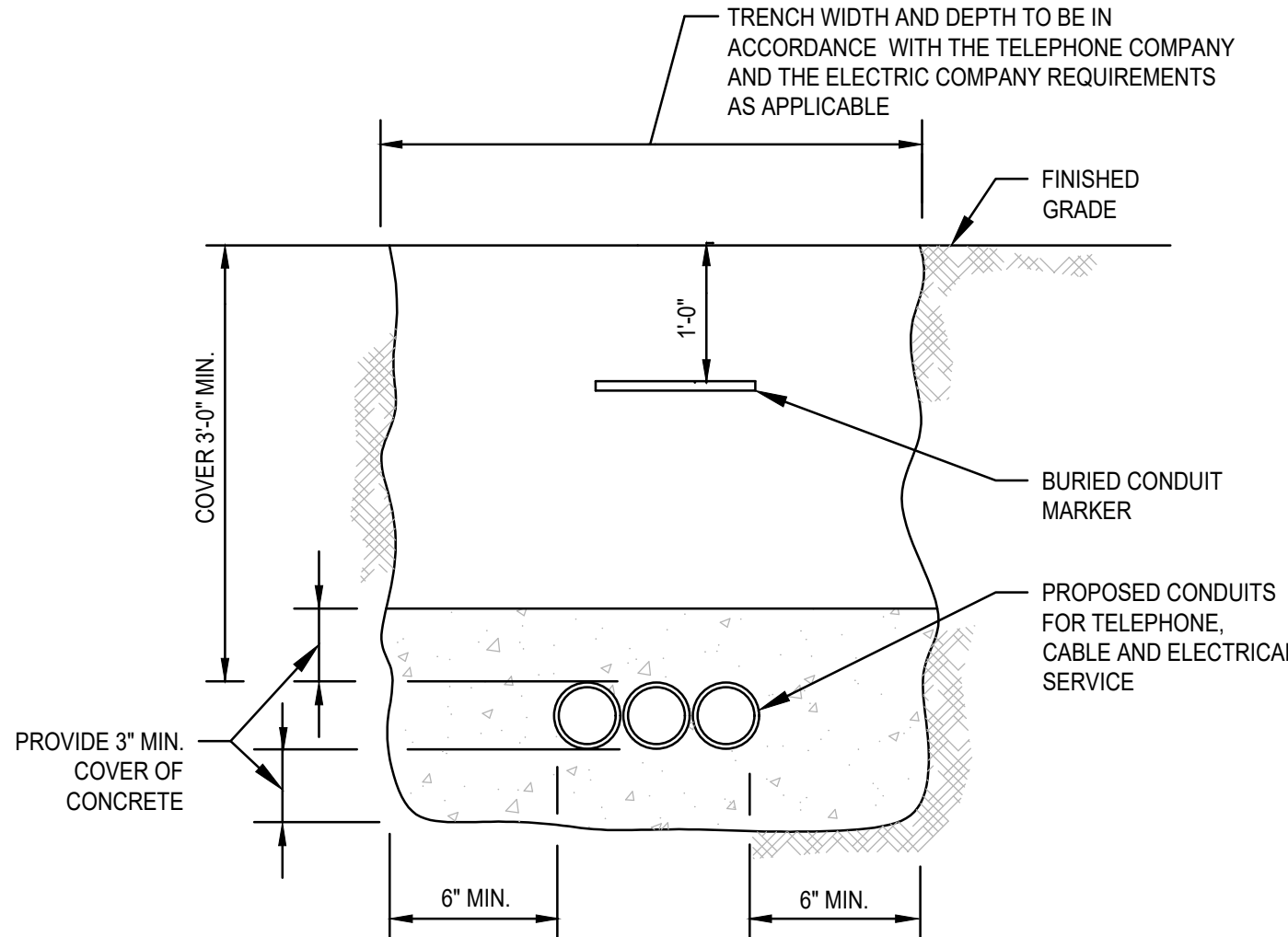
- FOR FITTINGS WITH LESS THAN 45° DEFLECTION, USE BEARING AREAS FOR 45° BEND.
- BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 P.S.F. AND INTERNAL WATER PRESSURE OF 150 P.S.I.G. JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND THE ROCK FACE.
- THE CONTRACTOR SHALL SUBMIT 2 WEEKS IN ADVANCE OF PLACEMENT, WORKING DRAWINGS FOR EACH THRUST BLOCK TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- ALL VALVES AND FITTINGS SHALL BE RODDED TOGETHER.

ASSUMPTIONS:

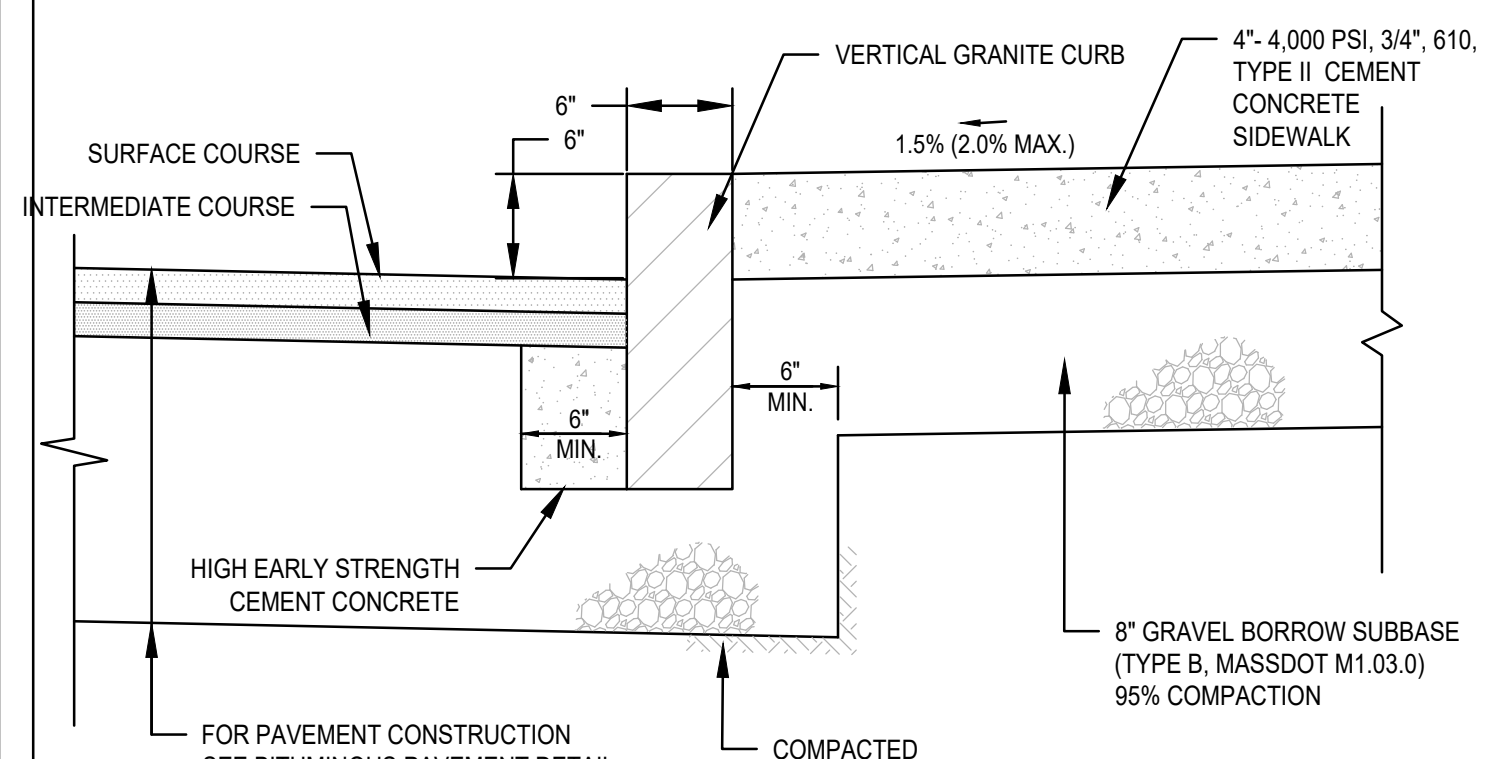
* TYPE OF SOIL IS MEDIUM CLAYEY, 6 OR MORE BLOWS PER FOOT, OR LOOSE GRANULAR, 9 OR MORE BLOWS PER FOOT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.

THRUST BLOCK DETAILS
SCALE: N.T.S.

THRUST BLOCK BEARING AREAS FOR WATER PIPE			
TABLE OF BEARING AREAS IN SQ. FT. AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS*			
SIZE OF MAIN (IN.)	90° BEND	TEES AND PLUGS	45° BEND
6	4	2.5	2
8	6	4	3
12	12	9	7
16	21	16	12



TYPICAL ELECTRIC/TELEPHONE/CABLE CONDUIT (US-UTILITY SERVICE)
SCALE: N.T.S.



VERTICAL GRANITE CURB WITH CEM. CONC. SIDEWALK DETAIL
SCALE: N.T.S.

C MCKENZIE ENGINEERING GROUP, INC.

BY	APP	DESCRIPTION	DATE	REV
BCM	ESS	TOWN REVIEW	4/20/23	1
BCM	ESS	SITE LAYOUT	5/24/23	2
BCM	ESS	TOWN REVIEW	7/12/23	3

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MCKENZIE
ENGINEERING GROUP
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Norwell, MA 02061
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www.mckeng.com

SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:



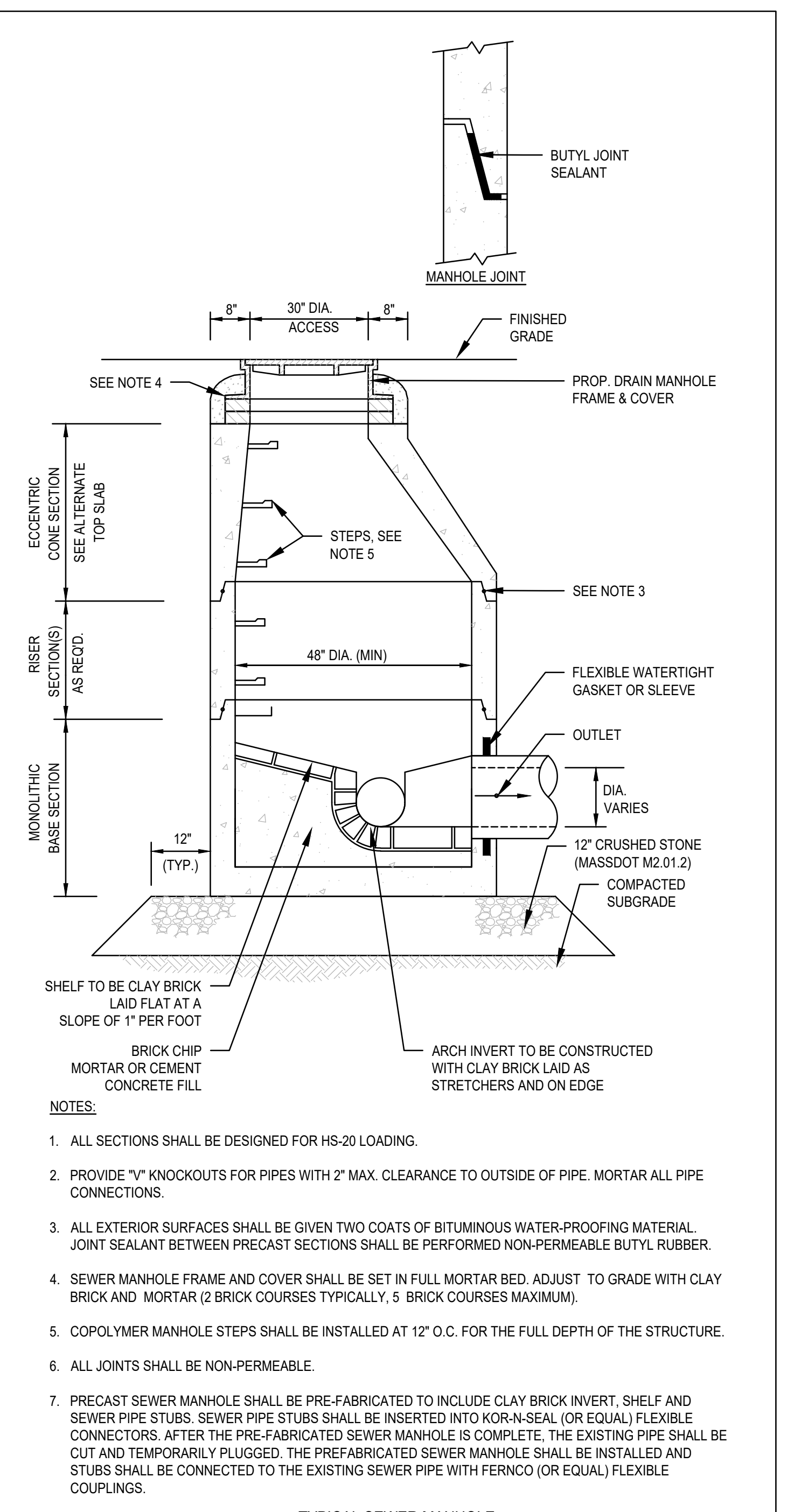
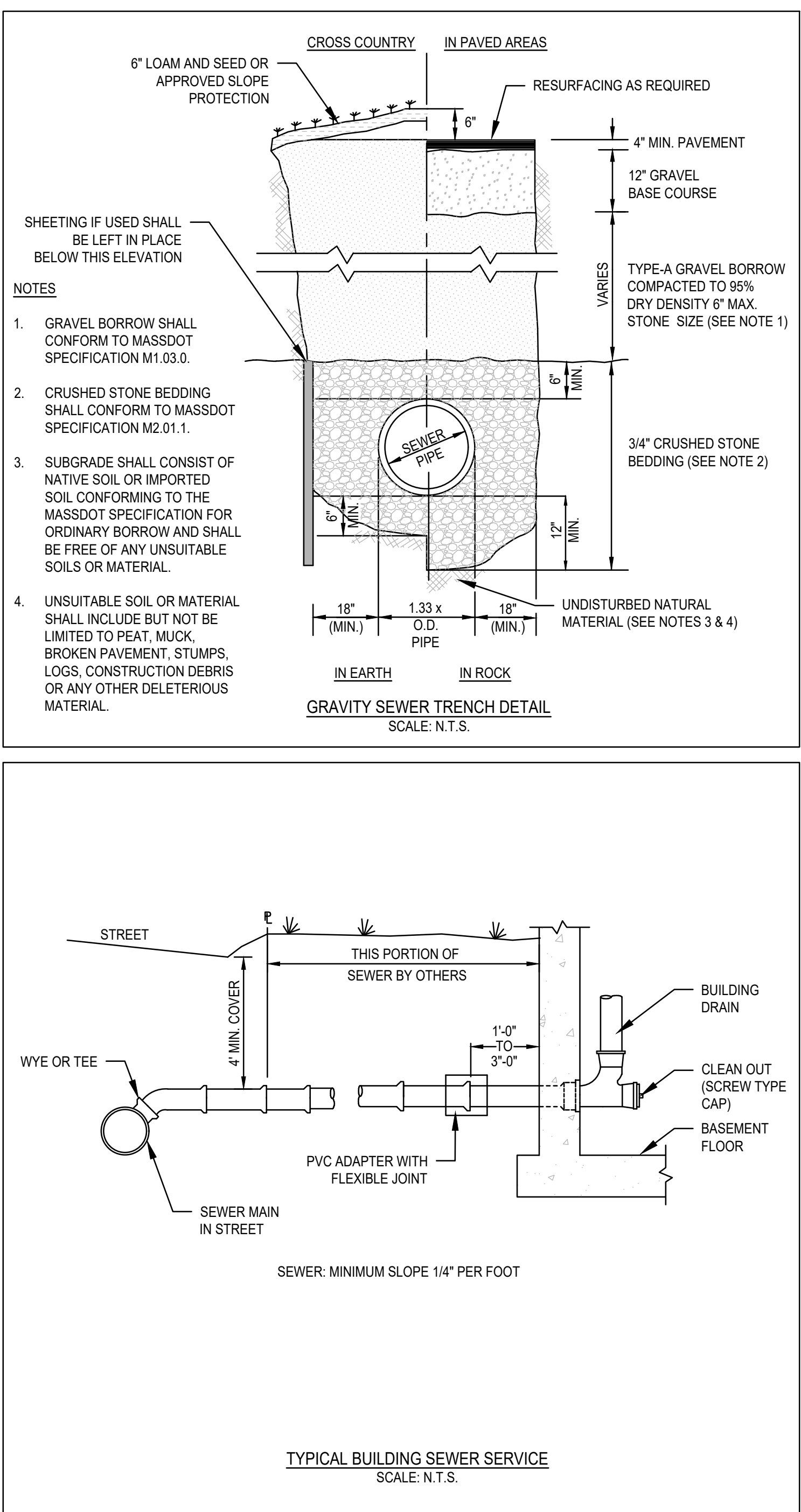
OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

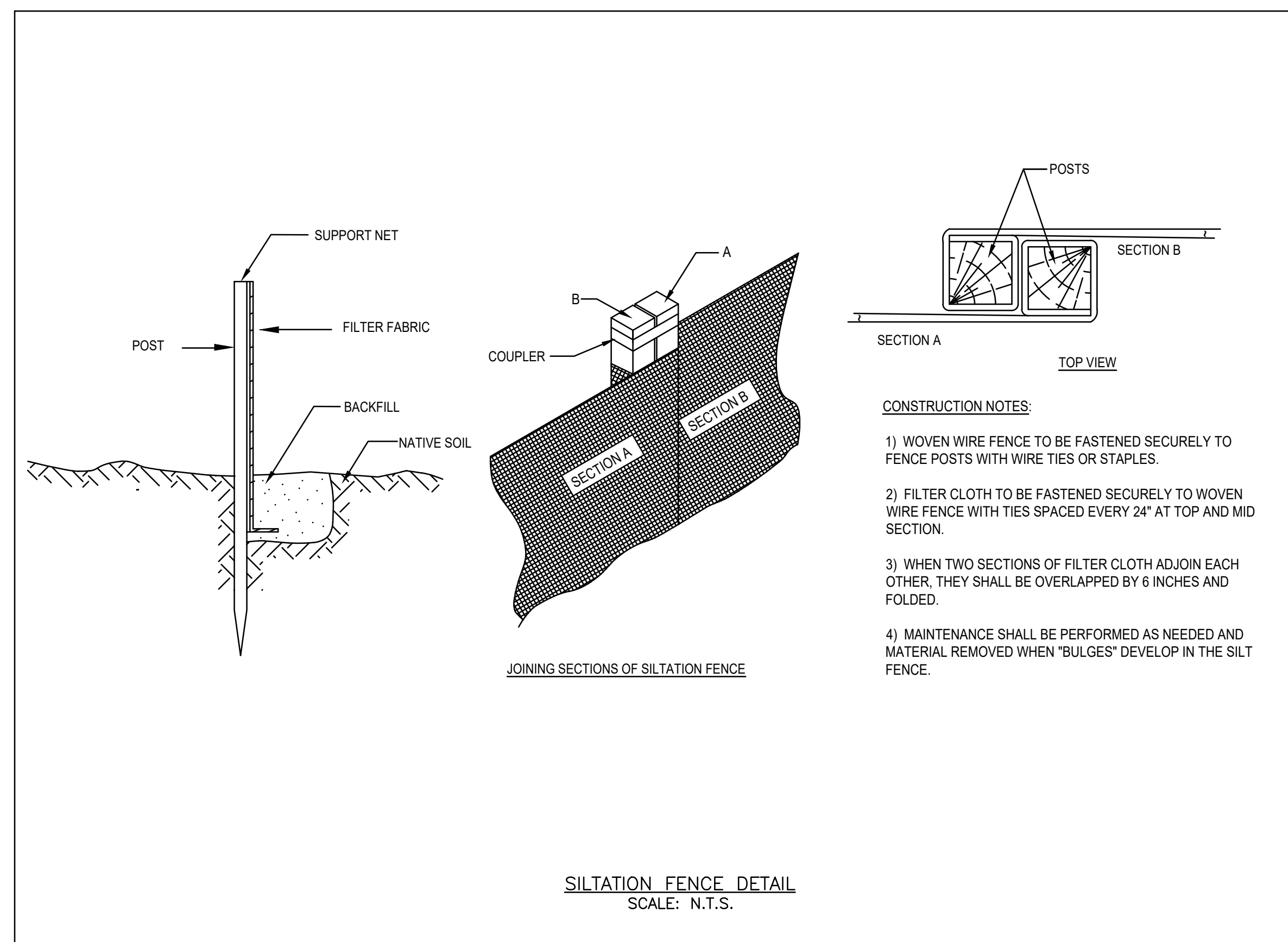
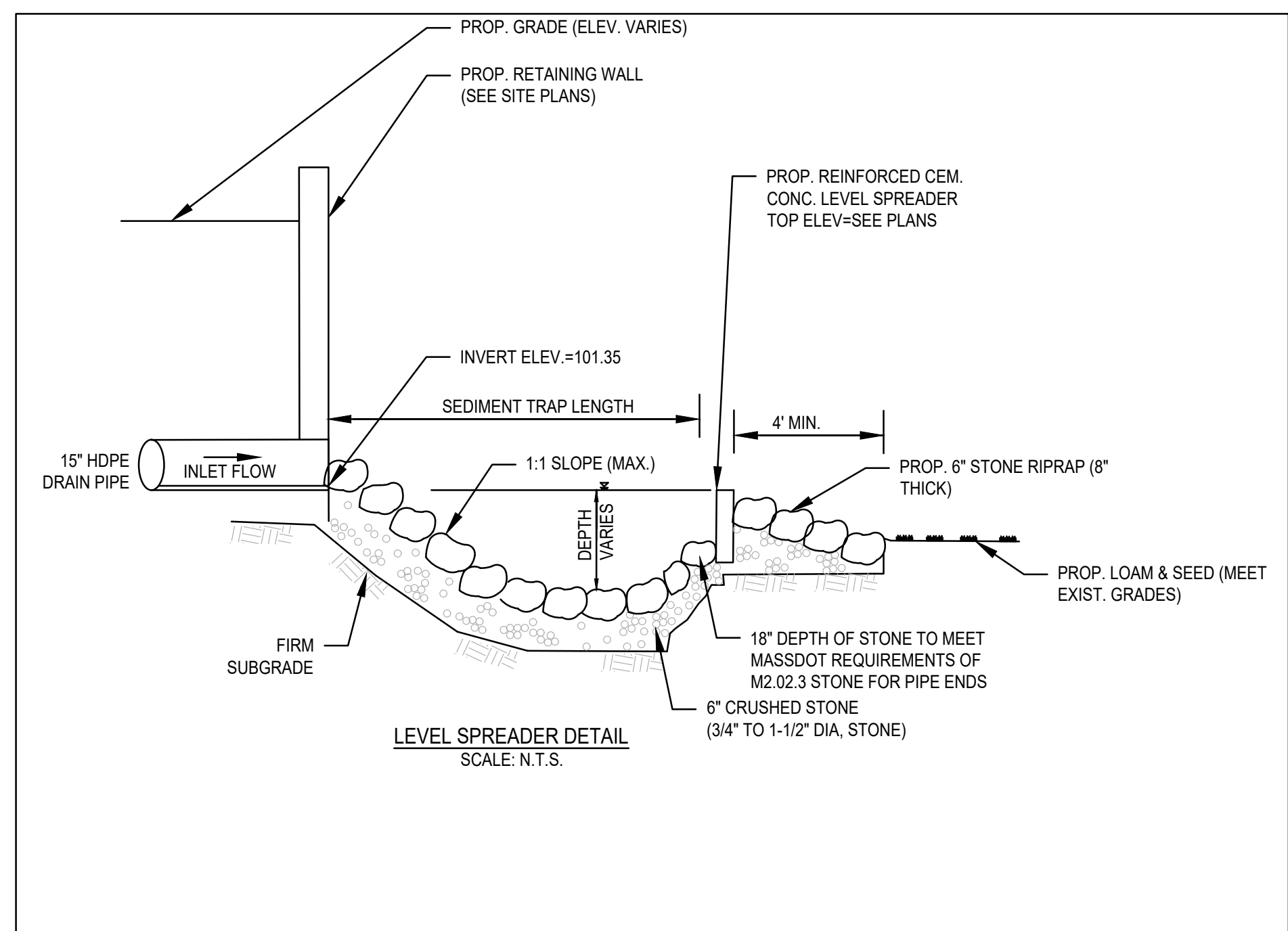
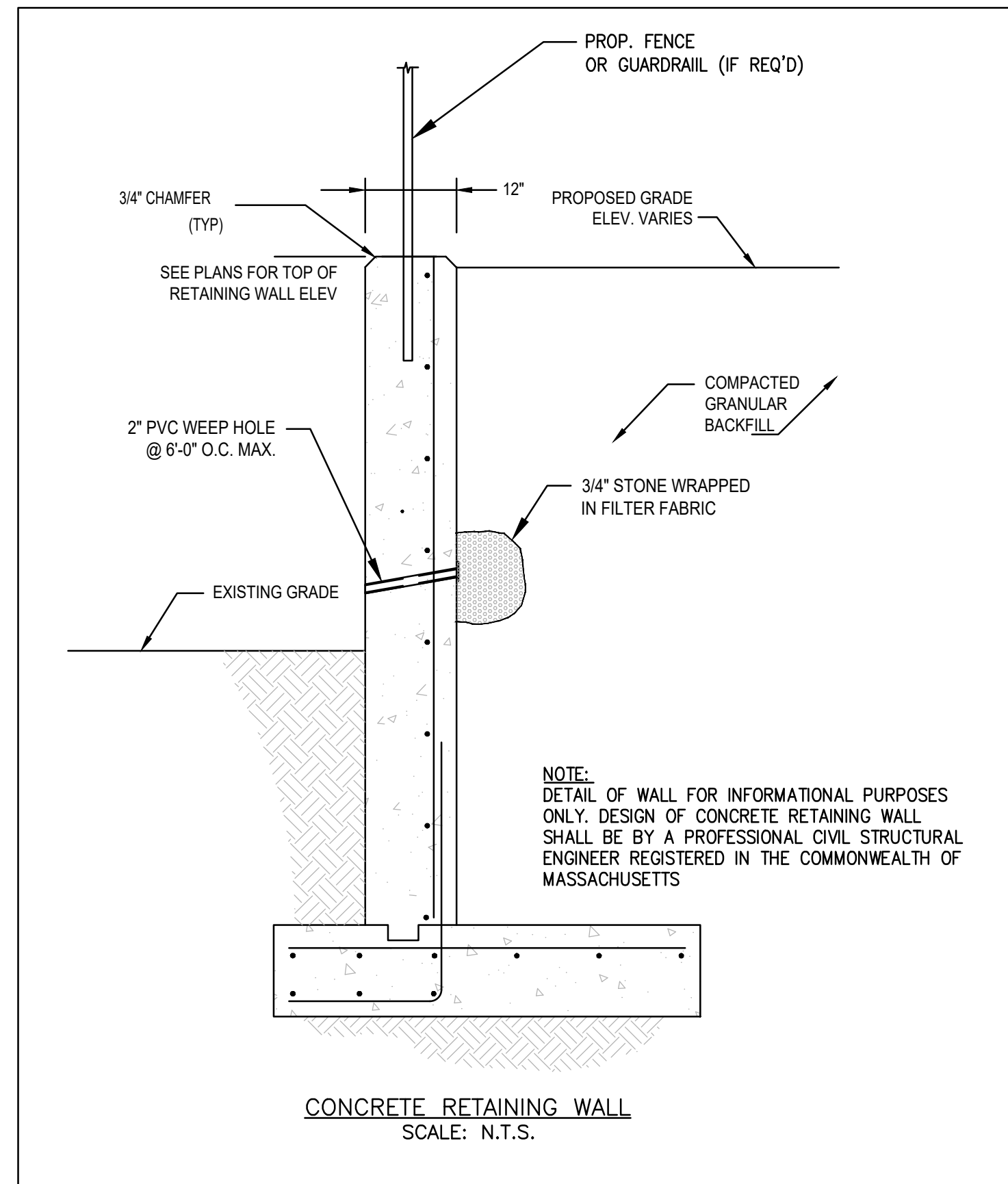
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DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	AS NOTED
PROJECT NO.:	221-187
DWG. TITLE:	

**CONSTRUCTION
DETAILS**

DWG. NO:

D-3



[illegible]

SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:



OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

PERMIT PLAN SET

DRAWN BY:	ESS
DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	AS NOTED
PROJECT NO.:	221-187
DWG. TITLE:	

CONSTRUCTION DETAILS

DWG. NO:

D-5

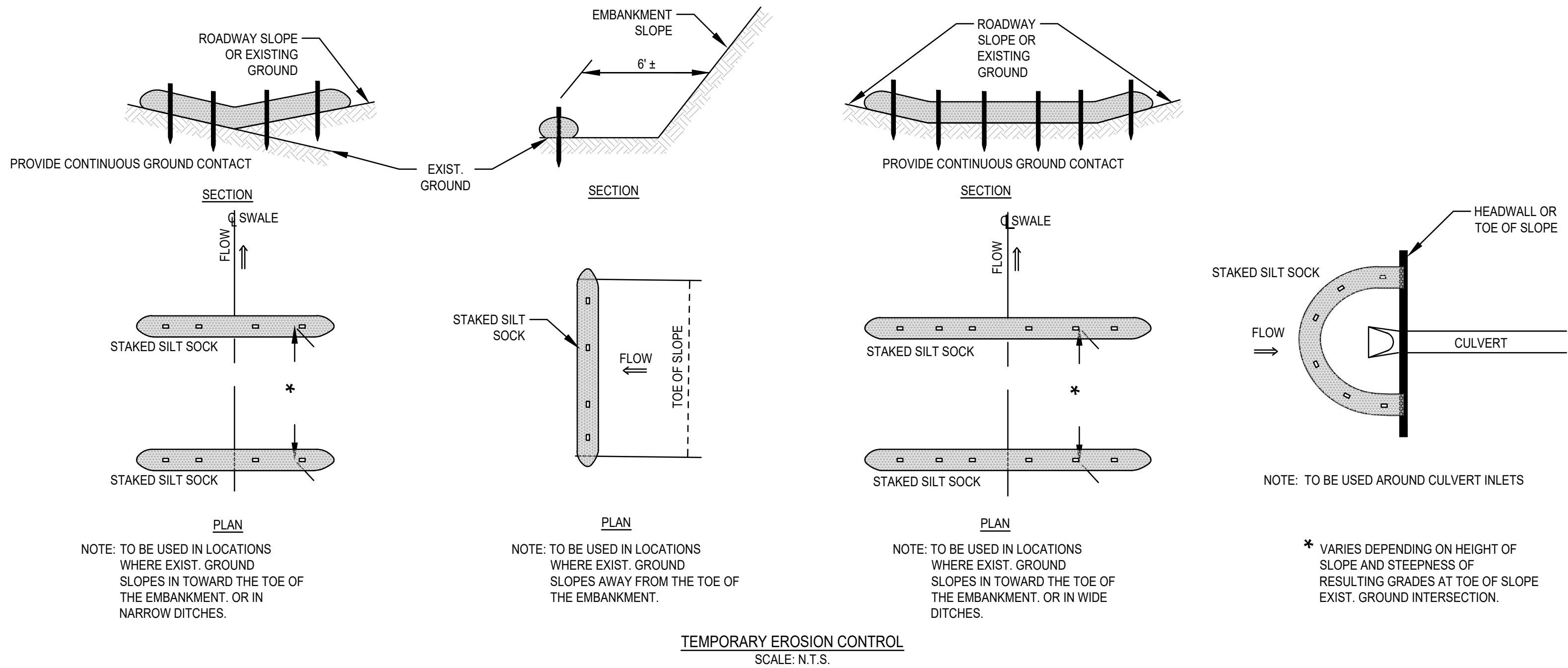
CONSTRUCTION SEQUENCE

TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.

1. THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN & PLACE SILTATION FENCE ON THE SITE PLANS.
3. CLEAR AND GRUB UP AS REQUIRED FOR THE CONSTRUCTION OF THE ROADWAY, PARKING AREAS AND RELATED INFRASTRUCTURE.
4. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
5. EXCAVATE TOPSOIL AND SUBSOIL FROM CUT AND FILL AREAS AND STOCKPILE ON SITE IN LOCATIONS SHOWN ON THE PLAN. CONSIDERATION SHOULD BE GIVEN TO LOCATING STOCKPILES ON THE UPHILL SIDE OF DISTURBED AREAS, WHERE POSSIBLE. TO ACT AS TEMPORARY DIVERSIONS.
6. CONSTRUCT CUT AND FILL AREAS, INSTALLING HAYBALE CHECK DAMS AT TOES OF ALL 3:1 OR GREATER SLOPES, AND AT ENDS OF ALL CUT AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS. PLACE ALL SLOPE PROTECTION WHERE INDICATED ON THE PLAN. THE SUBSURFACE INFILTRATION SYSTEM SHALL BE CONSTRUCTED IMMEDIATELY AFTER THE ROADWAY ROUGH GRADING IS COMPLETED AND THE AREA HAS BEEN CLEARED OF VEGETATION.
7. INSTALL CLOSED DRAINAGE SYSTEM AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE COVERED WITH SILTSACK OR EQUIVALENT INLET PROTECTION.
8. GRADE ROADWAY AND PARKING AREAS TO SUBGRADE ELEVATION AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE WARRANTED. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN.
9. EXCAVATE AND CONSTRUCT BUILDING FOUNDATION.
10. PLACE GRAVEL SUBBASE.
11. PLACE THE BITUMINOUS CONCRETE BINDER COURSE ON ROADWAY AND PARKING AREAS.
12. CONSTRUCT BUILDING STRUCTURES AND ASSOCIATED UTILITY CONNECTIONS.
13. GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL SLOPES INTO EXISTING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH.
14. PLACE THE FINAL WEARING COURSE OF PAVEMENT.
15. COMPLETE FINE GRADING OF SHOULDERS AND PLACE PAVEMENT IN MISCELLANEOUS AREAS.
16. REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.

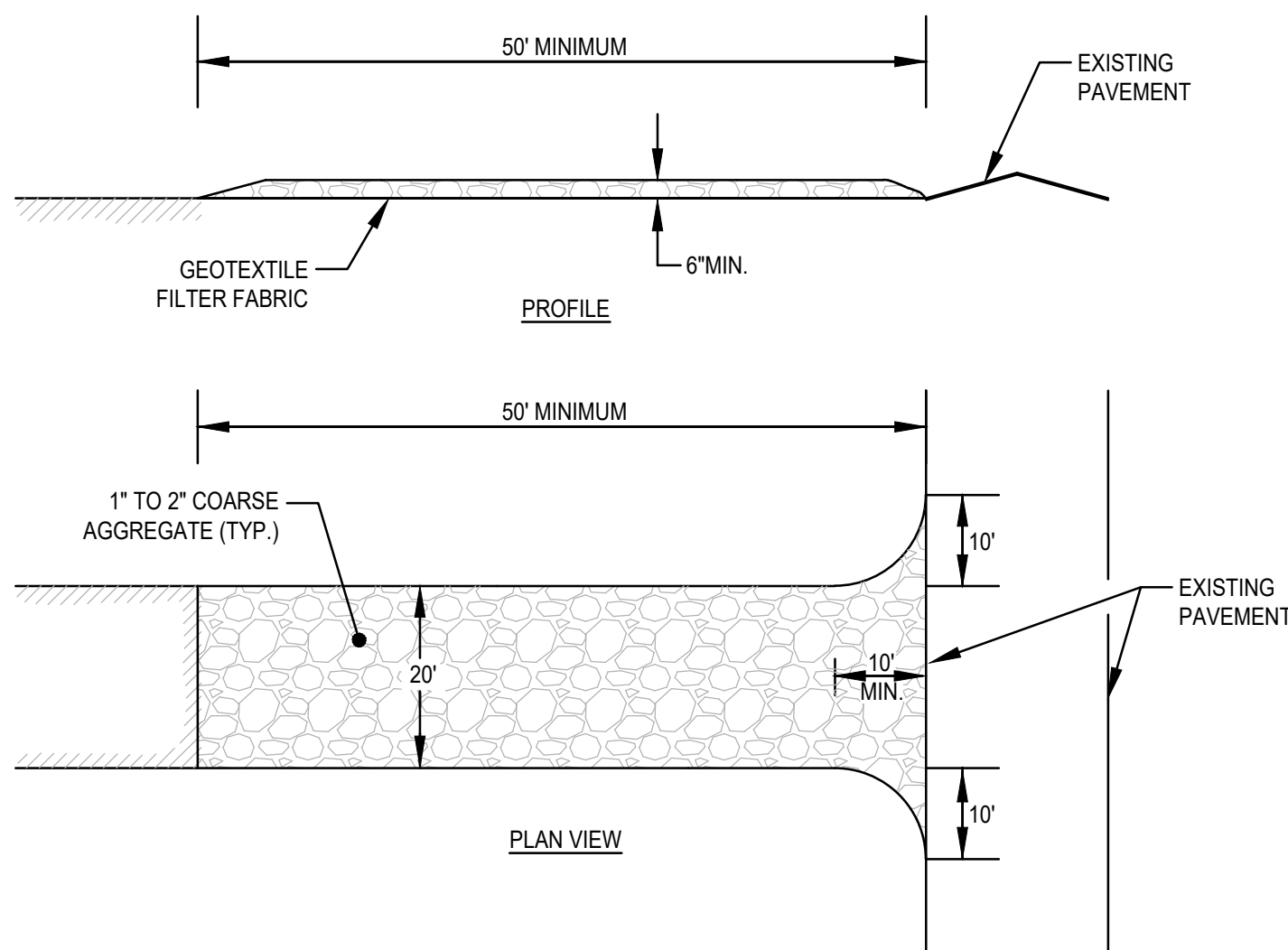
CONSTRUCTION PHASE BMP OPERATION AND MAINTENANCE NOTES:

1. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOCK EROSION CONTROL BARRIERS, STABILIZED CONSTRUCTION ENTRANCES, CONCRETE WASH STATIONS, STOCKPILE AREAS, AND INLET PROTECTION.
2. STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
3. OPERATOR PERSONNEL AND/OR ITS CONSULTANTS MUST INSPECT THE CONSTRUCTION SITE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT $\frac{1}{4}$ INCH OR GREATER. THE INSPECTOR SHOULD REVIEW THE EROSION AND SEDIMENT CONTROLS WITH RESPECT TO THE FOLLOWING:
 - A. WHETHER OR NOT THE BMP WAS INSTALLED/PERFORMED CORRECTLY.
 - B. WHETHER OR NOT THERE HAS BEEN DAMAGE TO THE BMP SINCE IT WAS INSTALLED OR PERFORMED.
 - C. WHAT SHOULD BE DONE TO CORRECT ANY PROBLEMS WITH THE BMP.
4. THE INSPECTOR SHALL COMPLETE THE INSPECTION SCHEDULE AND EVALUATION CHECKLIST FOR FINDINGS AND SHOULD REQUEST THE REQUIRED MAINTENANCE OR REPAIR.
5. ALL SLOPES EXCEEDING 15% RESULTING FROM SITE GRADING SHALL BE BOTH COVERED WITH FOUR INCHES OF TOPSOIL AND PLANTED WITH A VEGETATED COVER SUFFICIENT TO PREVENT EROSION.



EROSION AND SEDIMENTATION CONTROL

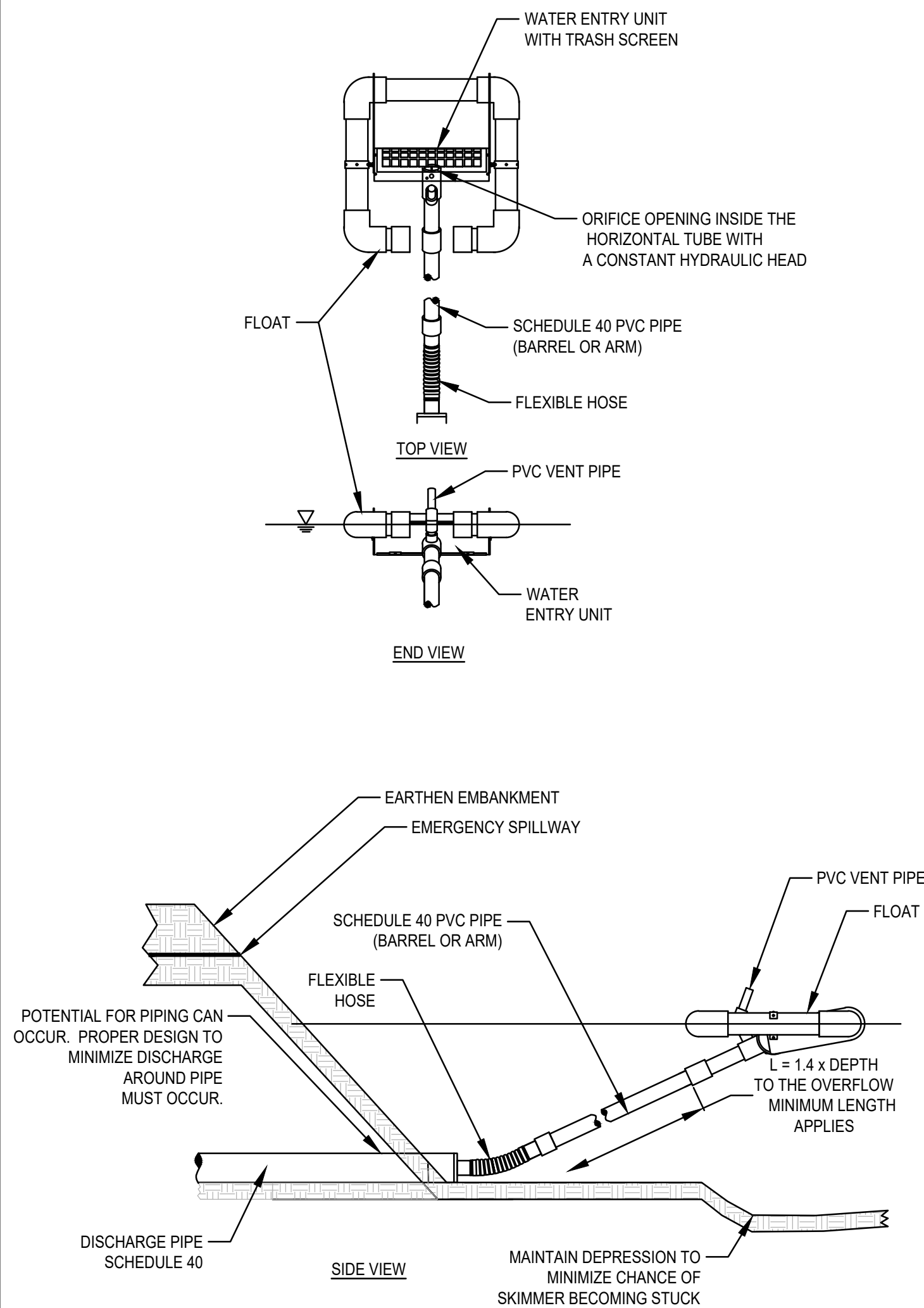
1. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOCK BARRIER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY DIVERSION SWALES WITH STONE CHECK DAMS, SEDIMENT BASINS, AND INLET PROTECTION.
2. STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
3. IN GENERAL, THE SMALLEST POSSIBLE AREA OF LAND SHOULD BE EXPOSED AT ONE TIME. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE CONFINED TO A MAXIMUM PERIOD OF 3 MONTHS. LAND SHALL NOT BE EXPOSED DURING THE WINTER MONTHS. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND THAT WILL BE REGRADED AT A LATER DATE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH WINTER RYE TO PREVENT EROSION.



(SCE) CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DEVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.

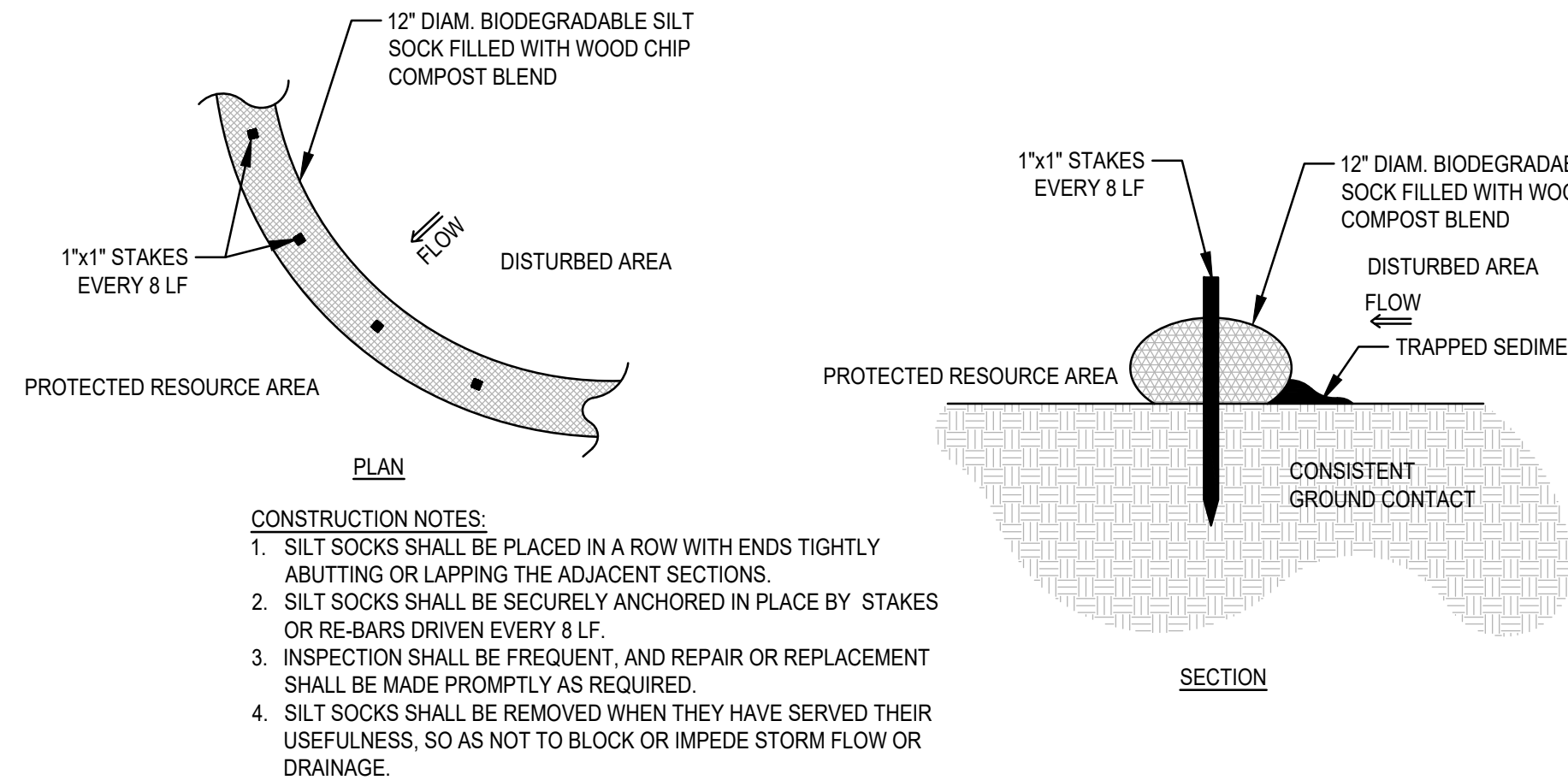
STABILIZED CONSTRUCTION ENTRANCE (SCE) DETAIL
SCALE: N.T.S.



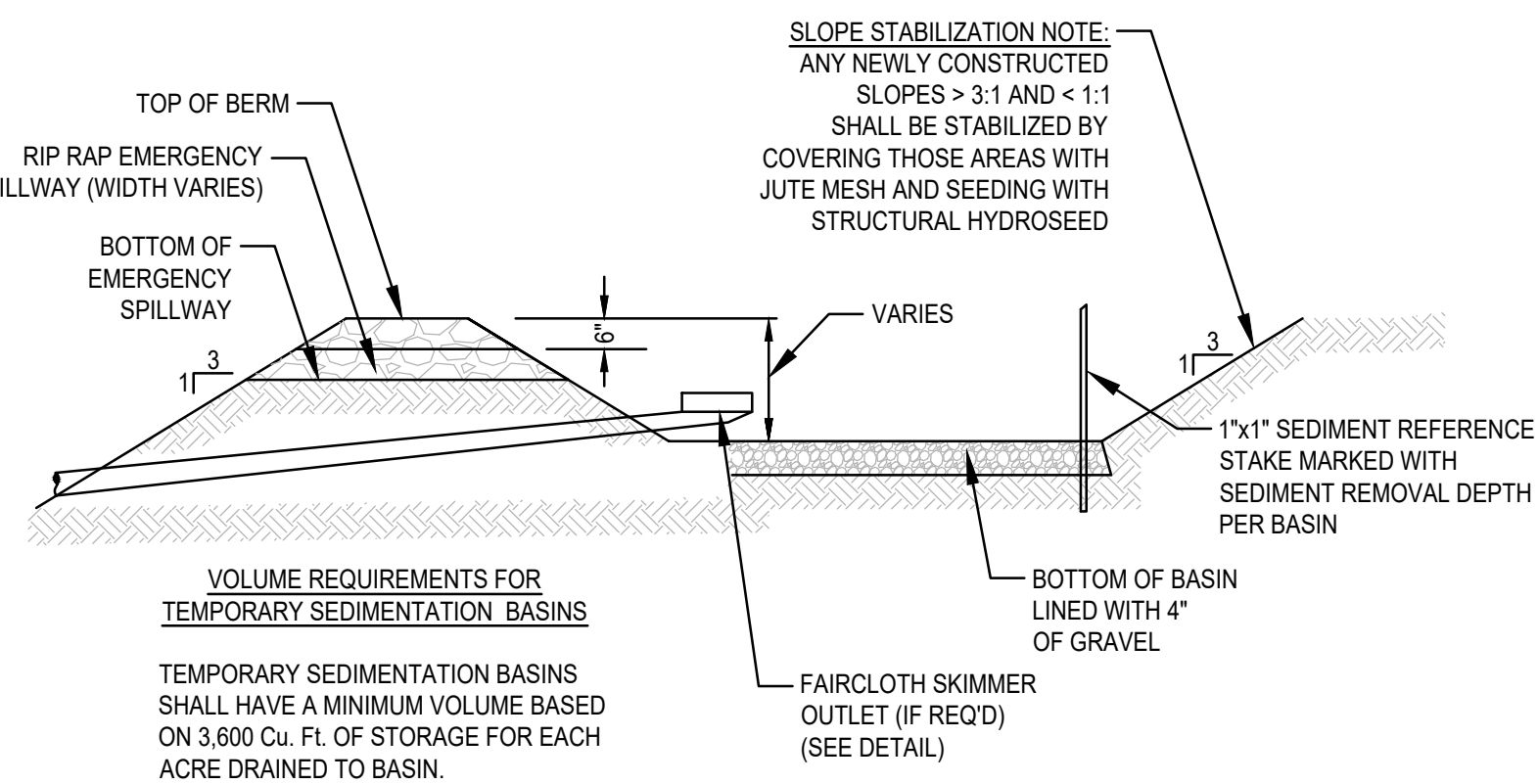
GENERAL NOTES:

1. PROPER DESIGN MUST BE COMPLETED TO MINIMIZE PIPING AROUND DISCHARGE PIPE.
2. PROPER ORIFICE OPENING MUST BE SELECTED TO ENSURE POND DRAINS IN CORRECT AMOUNT OF TIME. MODIFICATIONS MAY BE REQUIRED IF FIELD CONDITIONS WARRANT A CHANGE.
3. EMBANKMENT MUST BE COMPACTED TO DESIGN SPECIFICATIONS.
4. EMERGENCY SPILLWAY MUST BE CORRECTLY SIZED AND EROSION PROTECTION INSTALLED.
5. EROSION PROTECTION MUST BE INSTALLED ALONG THE EMBANKMENT AND AT THE DISCHARGE END OF THE PIPE.
6. INSPECT SYSTEM REGULARLY TO ENSURE IT IS FUNCTIONING IN A CORRECT MANNER.
7. EIGHT SIZES OF SKIMMERS ARE AVAILABLE. REFER TO THE FLOW SHEET, CUT SHEET, AND INSTRUCTIONS ON WEB SITE FOR EACH SIZE.

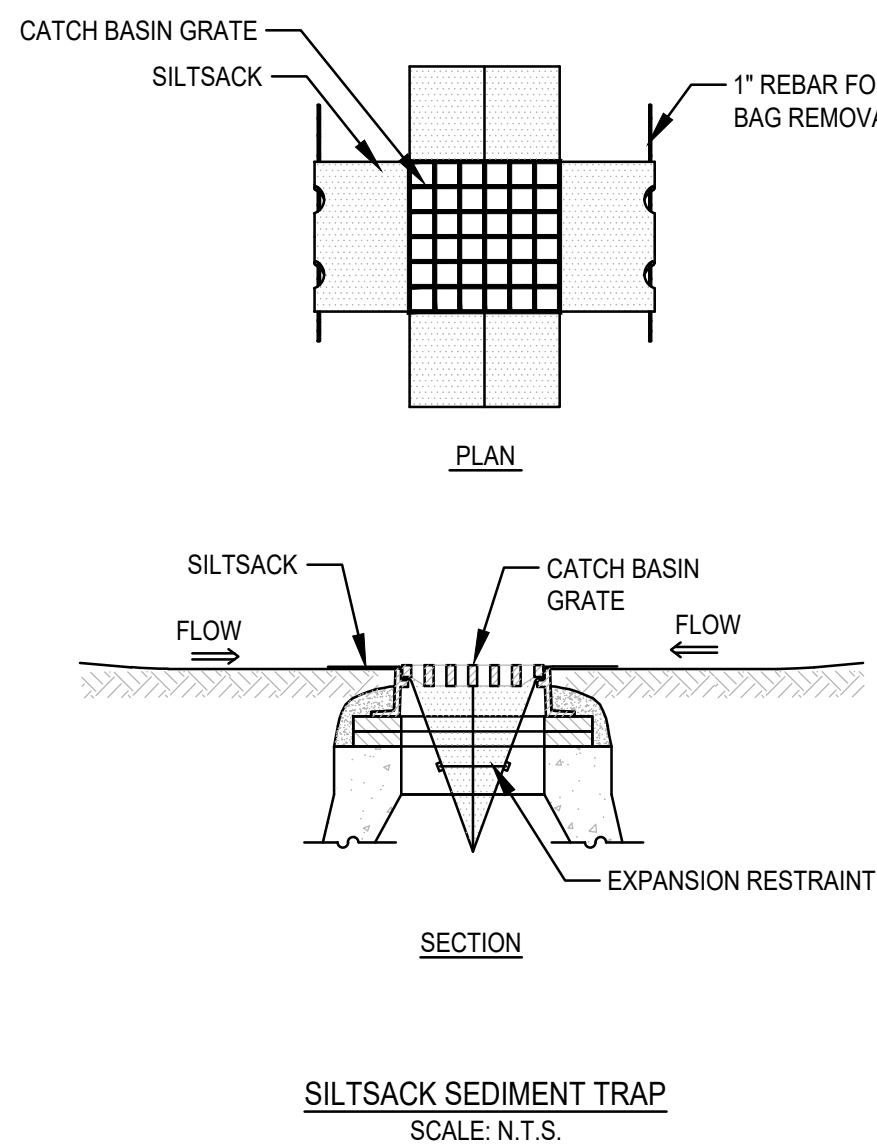
FAIRCLOTH SKIMMER DISCHARGE SYSTEM W/EMBANKMENT
SCALE: N.T.S.



SILT SOCK EROSION CONTROL BARRIER DETAIL
SCALE: N.T.S.



TEMPORARY SEDIMENTATION BASIN
SCALE: N.T.S.

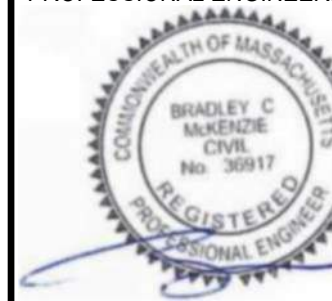


BY	APP	DESCRIPTION	DATE	REV
ESS	BCM	TOWN REVIEW	4/20/23	1
ESS	BCM	SITE LAYOUT	5/4/23	2
ESS	BCM	TOWN REVIEW	7/12/23	3
ESS	BCM			
ESS	BCM			
ESS	BCM			
ESS	BCM			
ESS	BCM			
ESS	BCM			
ESS	BCM			

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PROFESSIONAL ENGINEER:



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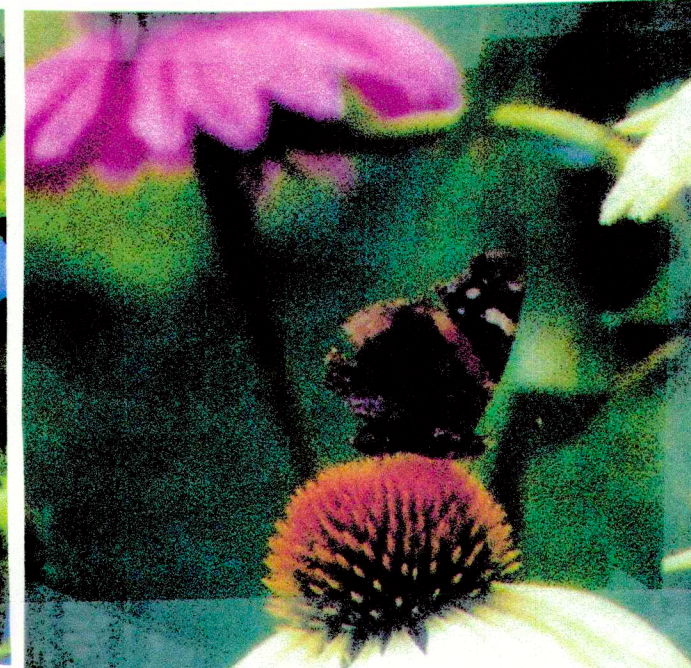
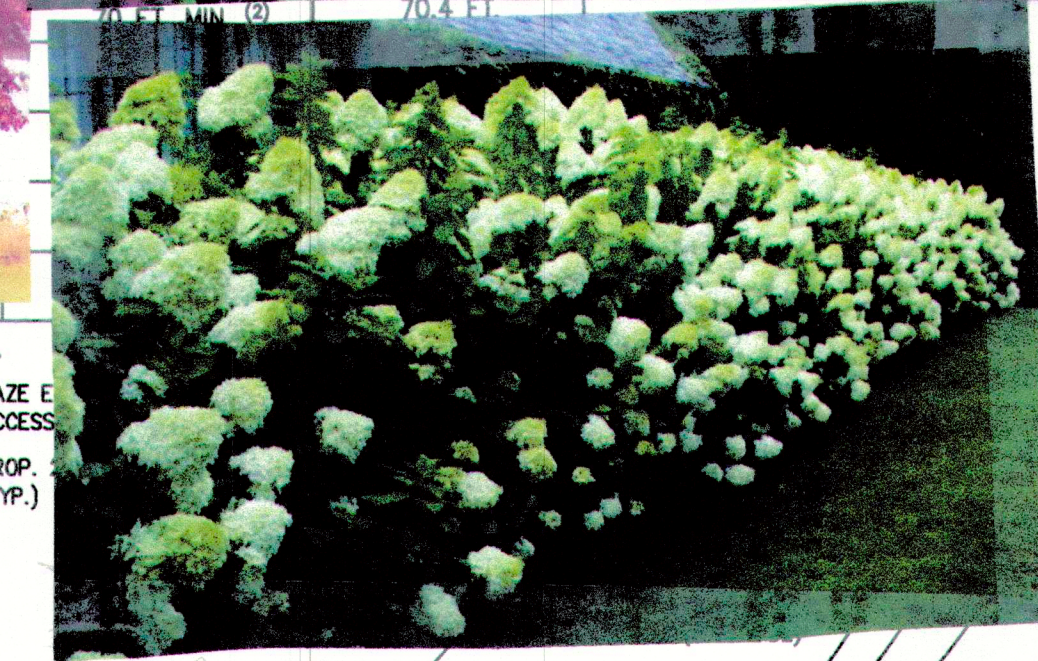
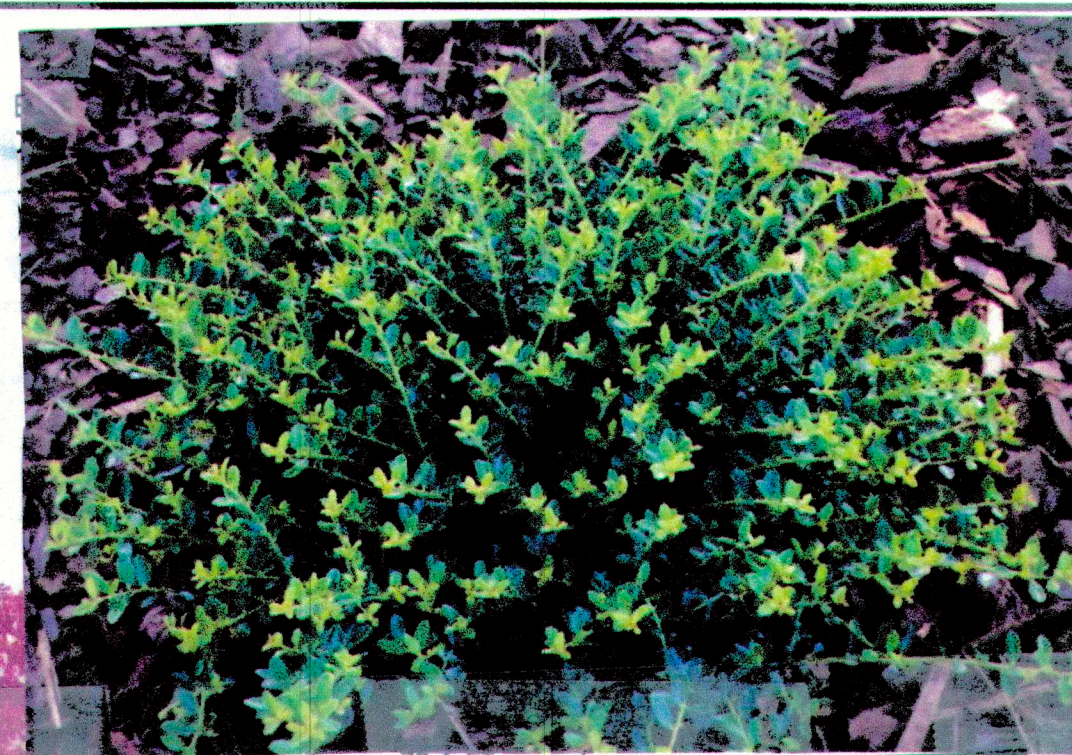
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DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	AS NOTED
PROJECT NO.:	221-187
DWG. TITLE:	

**CONSTRUCTION
DETAILS**

DWG. NO:

D-6

PERMIT PLAN SET



Plant Schedule

Qty.	Latin Name	Common Name	Size	Features
5	Acer rubrum 'October Glory'	October Glory Red Maple	2.5-3" c.	Oval canopy, red fall leaves, native, very hardy, wet or dry
3	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5-3" c.	Broader habit, native, bright yellow leaves, hardy
1	Amelanchier canadensis	Serviceberry	7-8'	White spring flowers, native, not getting too large, hardy
1	Betula populifolia	Gray Birch	8-10'	Native, wet or dry, sun or shade, very hardy variety
1	Calamagrostis Karl Foster	Karl Foster Feather Reed Grass	3' gal.	Very hardy, upright, 2' H, neat, drought tolerant
1	Cornus kousa	Kousa Dogwood	7-8'	White June flowers, berries for the birds, native, hardy
6	Echinacea	Coneflower	1 gal.	24-30" H, perennial, sun loving, June-August, elegant, hardy
50	Hemerocallis Ruby Stella	Ruby Stella	1 gal.	12" H, ruby red flowers, 60-90 days, very hardy, summer
5	Hydrangea paniculata Limelight	Limelight Hydrangea	7 gal.	White summer flowers, 8' H, no care, super hardy
8	Ilex glabra Compacta	Compact Inkberry	24"	Native, naturally rounded, easy care and super hardy
5	Ilex 'HELLER'	Heller Holly	3 gal.	Stays small and dwarf, no care, evergreen, hardy
5	Liriodendron tulipifera	Tulip Tree	3" cal.	Native, beautiful flowers, tulip shapes leaves and flowers
9	Liriope	Lilyturf	1 gal.	Evergreen groundcover grass, very hardy, shade tolerant
3	Malus 'PRAIRIE FIRE'	Bright Pink Crabapple	2.5" c.	Bright pink spring flowers with berries that attract birds, hardy
7	Pennisetum alopecuroides	Dwarf Fountain Grass	2 gal.	18-24" H, hardy, cut back in the late fall
1	Picea pungens	Colorado Blue Spruce	7-8'	Blue evergreen color, specimen tree, very hardy, no care
3	Picea rubens	Red Spruce	7-8'	Native evergreen, super hardy, no care needed
1	Pyrus calleryana 'CLEVELAND SELECT'	Cleveland Select Pear	3" c.	White clustered flowers in early spring, super hardy
8	Nepeta 'CATS PAJAMAS'	Catmint	1 gal.	Purple summer flowers, bees and hummingbirds like
12	Rudbeckia Goldstrum	Black Eyed Susan	1 gal.	Yellow flowers, native, drought tolerant, good for wildlife
7	Spiraea Bumalda Goldmound	Gold Mound Spirea	2 gal.	Yellowish colored leaves, dwarf habit, pink summer
8	Thuja plicata	Green Giant Arborvitae	7-8'	Native, very hardy evergreen, no care once established
50	Vinca	Common periwinkle	2 Trays	Evergreen hardy groundcover, purple May flowers, no care

MCKENZIE ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

SITE DEVELOPMENT PLAN 550-560 WASHINGTON STREET (APN 29-330-3) WEYMOUTH, MASSACHUSETTS

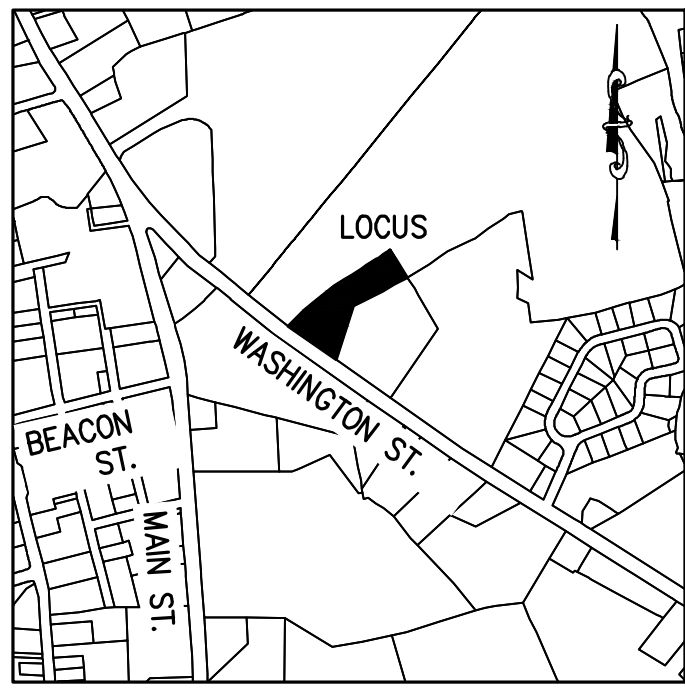
CMG
CARIN GOSSELIN,
LANDSCAPE DESIGNER

OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY: ESS
DESIGNED BY: ESS
CHECKED BY: BCM
APPROVED BY: BCM
DATE: MARCH 24, 2023
SCALE: 1"=20'
PROJECT NO.: 222-182
DWG. TITLE:

**LANDSCAPE
PLAN**

DWG. NO.: **C-1**

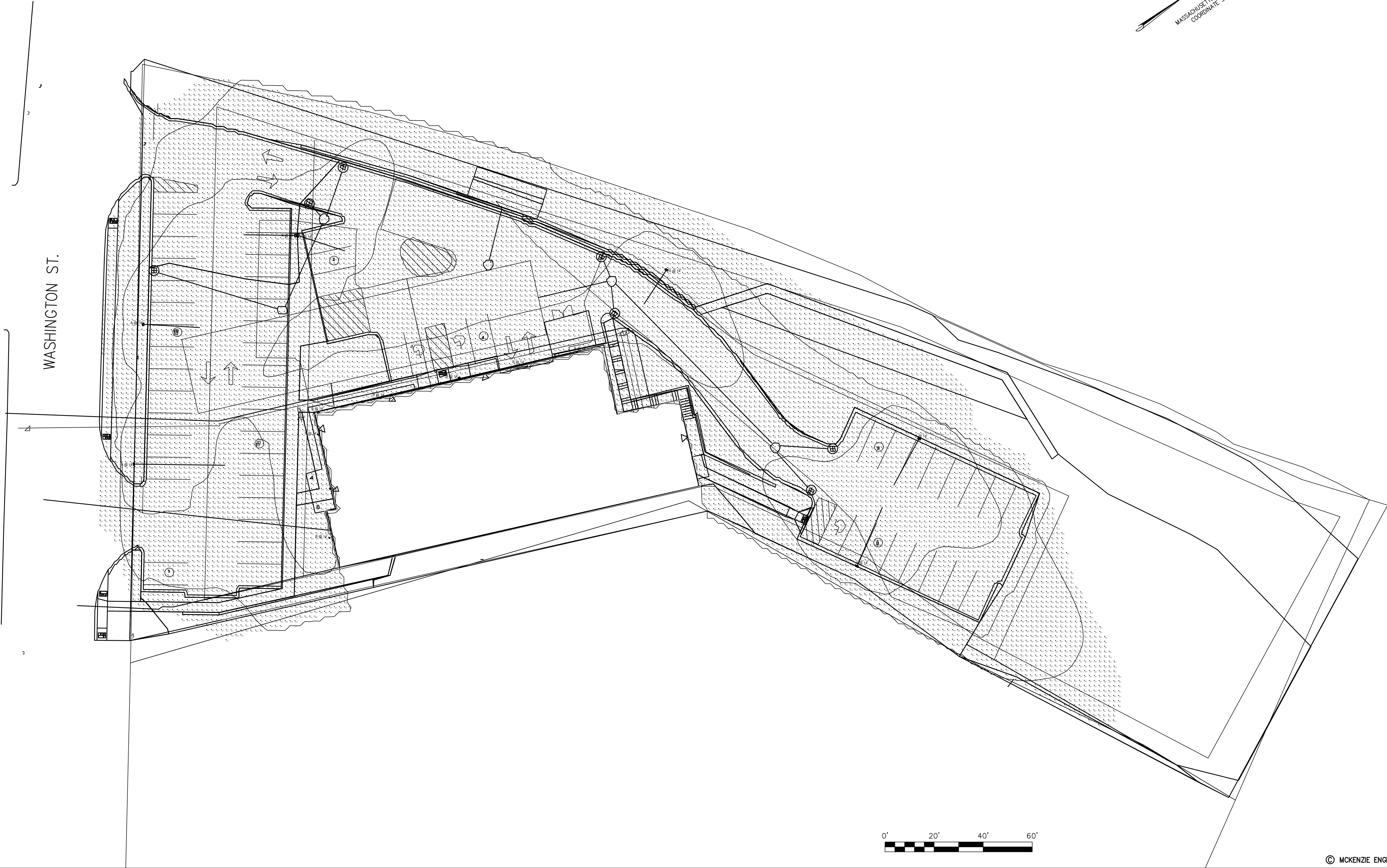
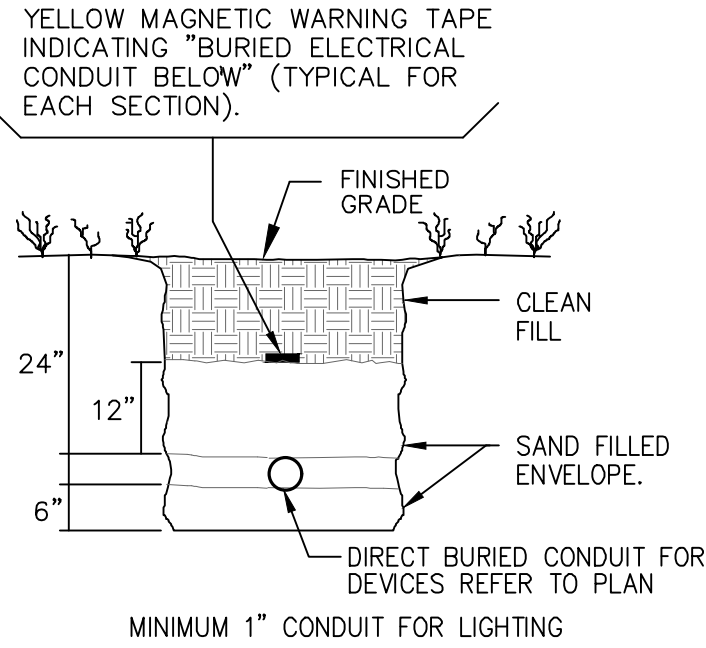
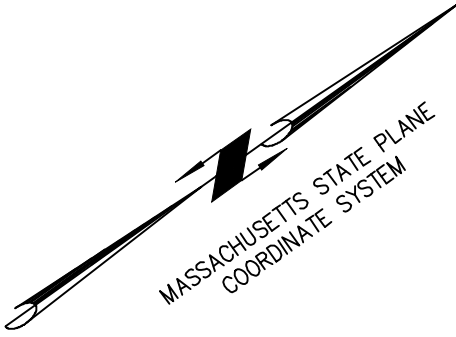


LOCUS MAP
Not to Scale

Schedule											
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
	A		7	DSX1 LED P12 40K 80CRI T3M L90	D-Series Size 1 Area Luminaire P12 Performance Package 4000K CCT 80 CRI Type 3 Medium Optics Rotated 90 Degrees to Left	LED	1	24601	1	205.92	14'-0" AFG
	B		11	WPX1 LED P1 40K Mvolt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts	LED	1	1568	1	11.47	14'-0" AFG

SITE LIGHTING NOTES:

- MINIMUM SIZE UNDERGROUND CONDUIT SHALL BE 1" TRADE SIZE SCHEDULE 40 PVC. FOR 120V CIRCUITS.
- MINIMUM SIZE CONDUCTORS SHALL BE #10 AWG.
- PROVIDE FEEDERS AND BREAKERS TO BE CONTROLLED AND CAPABLE OF HOLIDAY PROGRAMMING, PHOTO SENSOR AND BYPASS. COORDINATE FINAL LOCATION WITH OWNER.
- ALL LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT TO RESTRICT NEW LIGHTING TO THE AREA WITHIN THE PROPERTY LINES WITHOUT DIRECT GLARE FROM ADJACENT PROPERTIES.



REV	DATE	DESCRIPTION	BY	APP
1	4/20/23	TOWN REVIEW	ESS BCM	
2	5/24/23	SITE LAYOUT	ESS BCM	
3	7/3/23	TOWN REVIEW	ESS BCM	

MG
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www.mckeng.com

SITE DEVELOPMENT PLAN
550-560 WASHINGTON STREET
(APN 29-330-3)
WEYMOUTH, MASSACHUSETTS

OWNERS/APPLICANT:
UNION REALTY TRUST
560 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02188

PROFESSIONAL ENGINEER:

PERMIT PLAN SET

DRAWN BY: MH
DESIGNED BY: MH
CHECKED BY: MH
APPROVED BY: MH
DATE: MARCH 24, 2023
SCALE: 1"=20'
PROJECT NO.: 222-182
DWG. TITLE:
SITE LIGHTING PLAN
DWG. NO.:
SL-1

NEW MIXED USE PROJECT
550 - 560 WASHINGTON ST. WEYMOUTH, MA



ARCHITECT:

FISHER ASSOCIATES
35 FISHER ROAD
WEYMOUTH, MA 02190
617-733-8404

LANDSCAPE DESIGN:

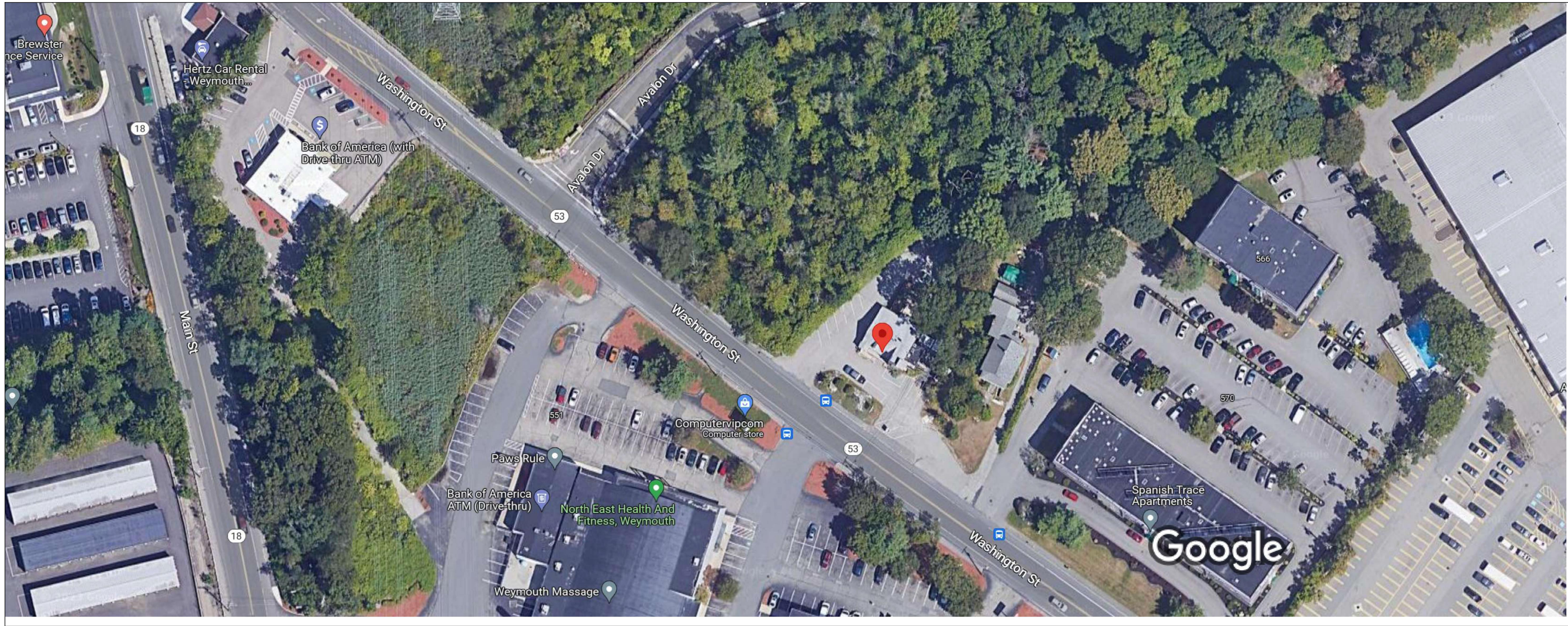
CMG DESIGN
NORWELL, MA

DESIGN TEAM/CONSULTING ENGINEERS

WALTER A. MCKINNON ASSOCIATES, INC.
278 WASHINGTON STREET UNIT 1
WEYMOUTH, MA 02188
781-331-5898

CIVIL ENGINEER:

MCKENZIE ENGINEERING GROUP
150 LONGWATER DRIVE, SUITE 101
NORWELL, MA 02061
781-792-3900



EXISTING SITE
OVERHEAD IMAGERY
SCALE : N.T.S.



EXISTING SITE
STREET PERSPECTIVE IMAGERY
SCALE : N.T.S.



EXISTING SITE
STREET PERSPECTIVE IMAGERY
SCALE : N.T.S.



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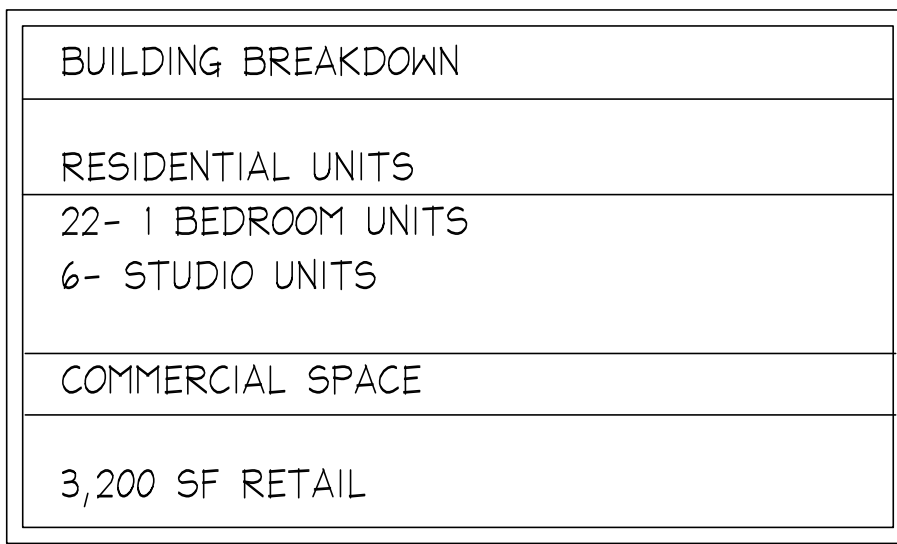
No.	BY	DATE	DESCRIPTION
--	MS	3/23/2023	ZBA revisions
--	MS	4/27/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL

**NEW MIXED USE BUILDING
UNION BREW HOUSE**

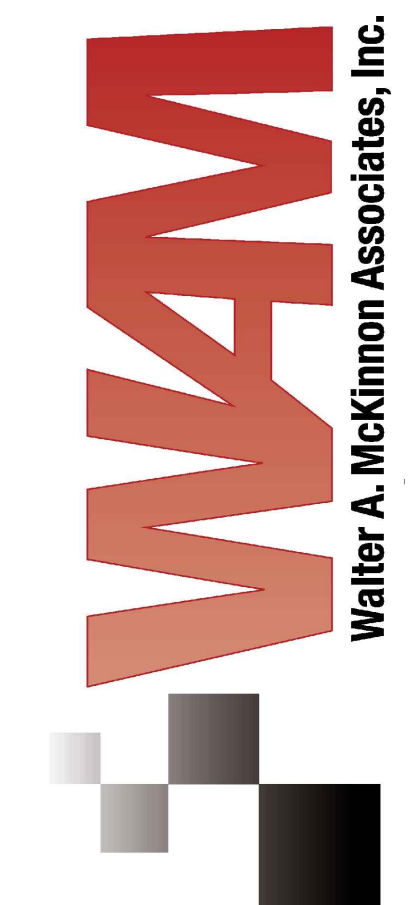
550 - 560 WASHINGTON STREET
WEYMOUTH, MA

EXISTING
CONDITIONS

SCALE: N.T.S.
DRAWN by: MKS
CHK'D by: MKS
PROJECT No: 2019-299



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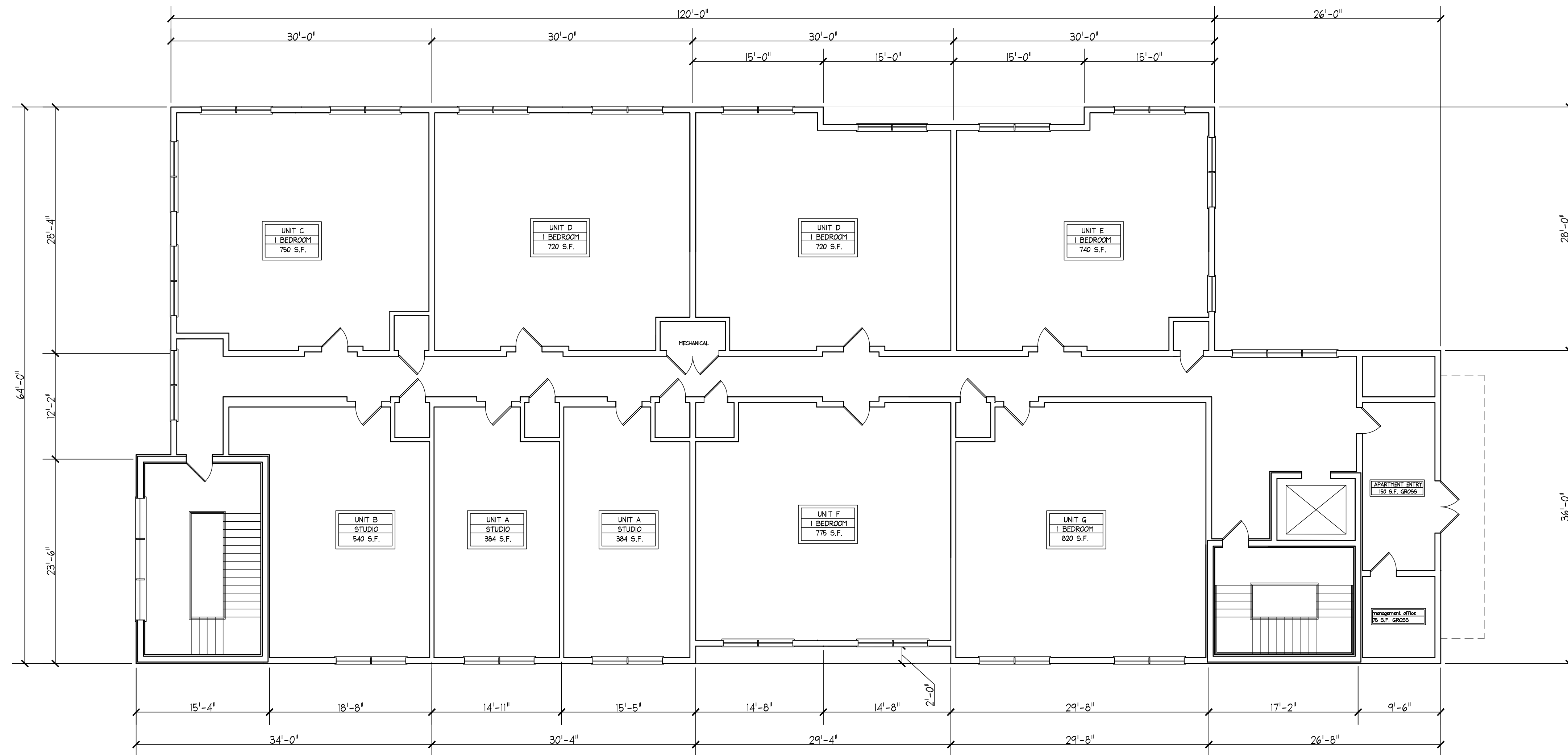
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--	MS	4/27/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL
No.	BY	DATE	DESCRIPTION

NEW MIXED USE BUILDING UNION BREW HOUSE

550 - 560 WASHINGTON STREET
WEYMOUTH, MA

PROPOSED
1ST FLOOR PLAN

SCALE:	1/8"=1'-0"
DRAWN by:	MKS
CHK'D by:	MKS
PROJECT No.:	2019-299



PROPOSED
2nd & 3rd FLOOR PLAN
SCALE: 1/8"=1'-0"



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SCAN QR CODE FOR DIGITAL FILE

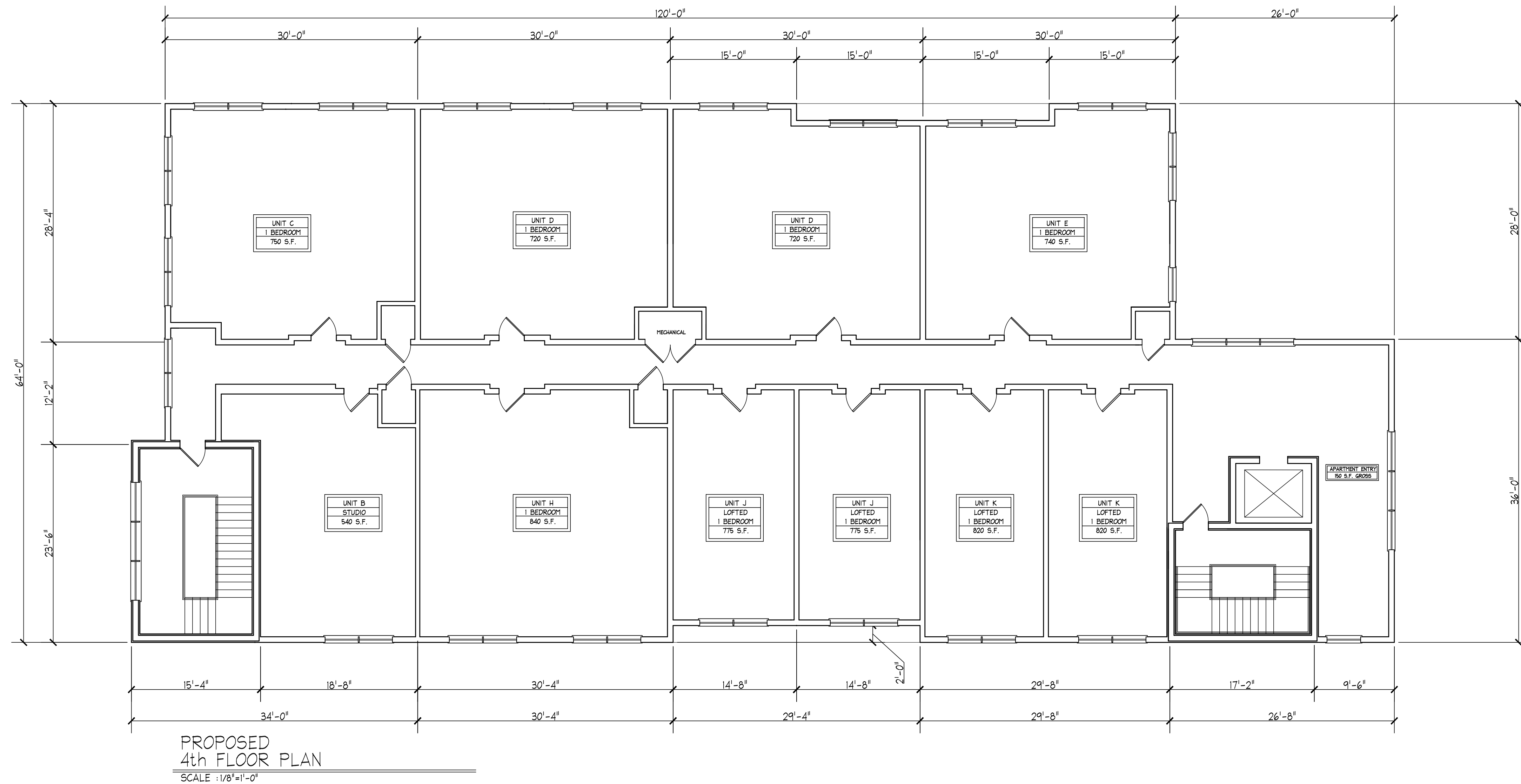
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--	MS	4/21/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL

No.	BY	DATE	DESCRIPTION
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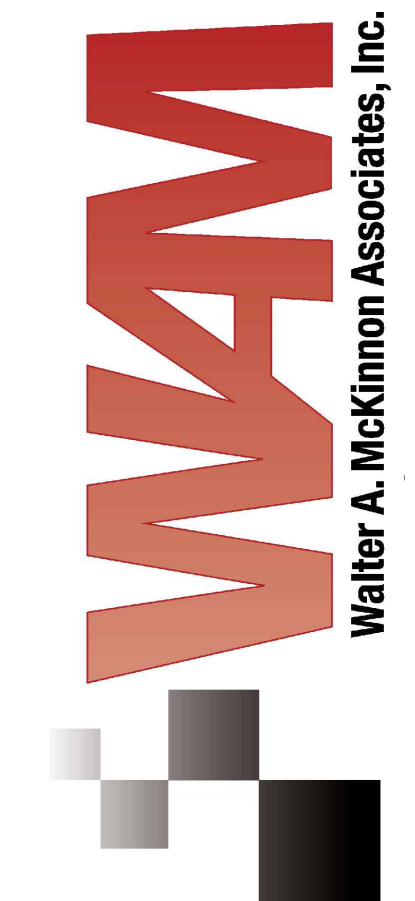
NEW MIXED USE BUILDING
UNION BREW HOUSE
550 - 560 WASHINGTON STREET
WEYMOUTH, MA

PROPOSED
2nd & 3rd FLOOR PLAN

SCALE:	1/8"=1'-0"
DRAWN by:	MKS
CHECKED by:	MKS
PROJECT No:	2019-299



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SCAN QR CODE FOR DIGITAL FILE

--	MS	3/23/2023	ZBA revisions
--	MS	4/27/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL

No.	BY	DATE	DESCRIPTION
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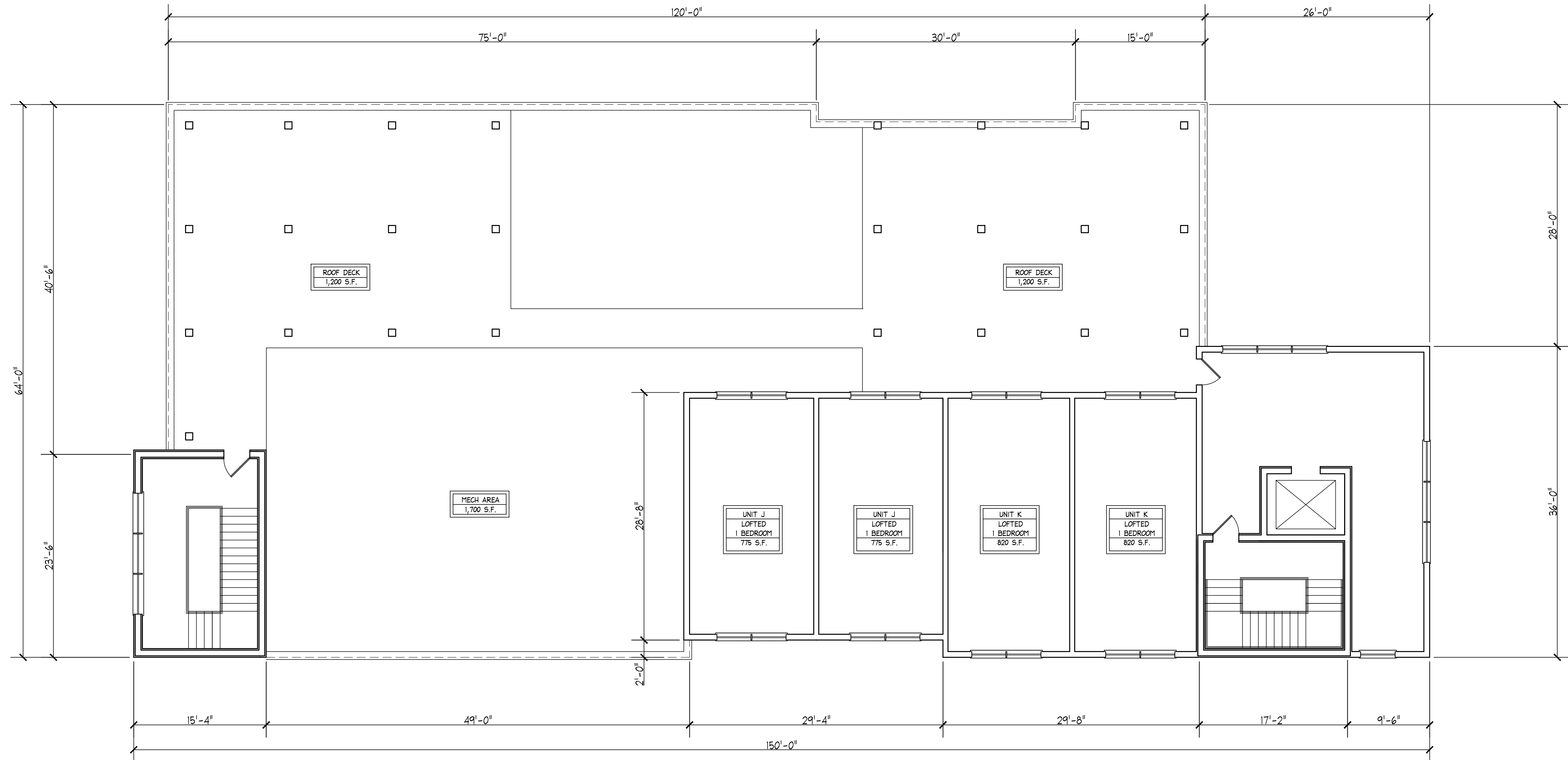
**NEW MIXED USE BUILDING
UNION BREW HOUSE**

550 - 560 WASHINGTON STREET
WEYMOUTH, MA

**PROPOSED
4TH FLOOR PLAN**

SCALE: 1/8"=1'-0"
DRAWN by: MKS
CHK'D by: MKS
PROJECT No: 2019-299

A-3



PROPOSED
ROOF/PENTHOUSE FLOOR PLAN
SCALE : 1/8"=1'-0"



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SCAN QR CODE FOR DIGITAL FILE

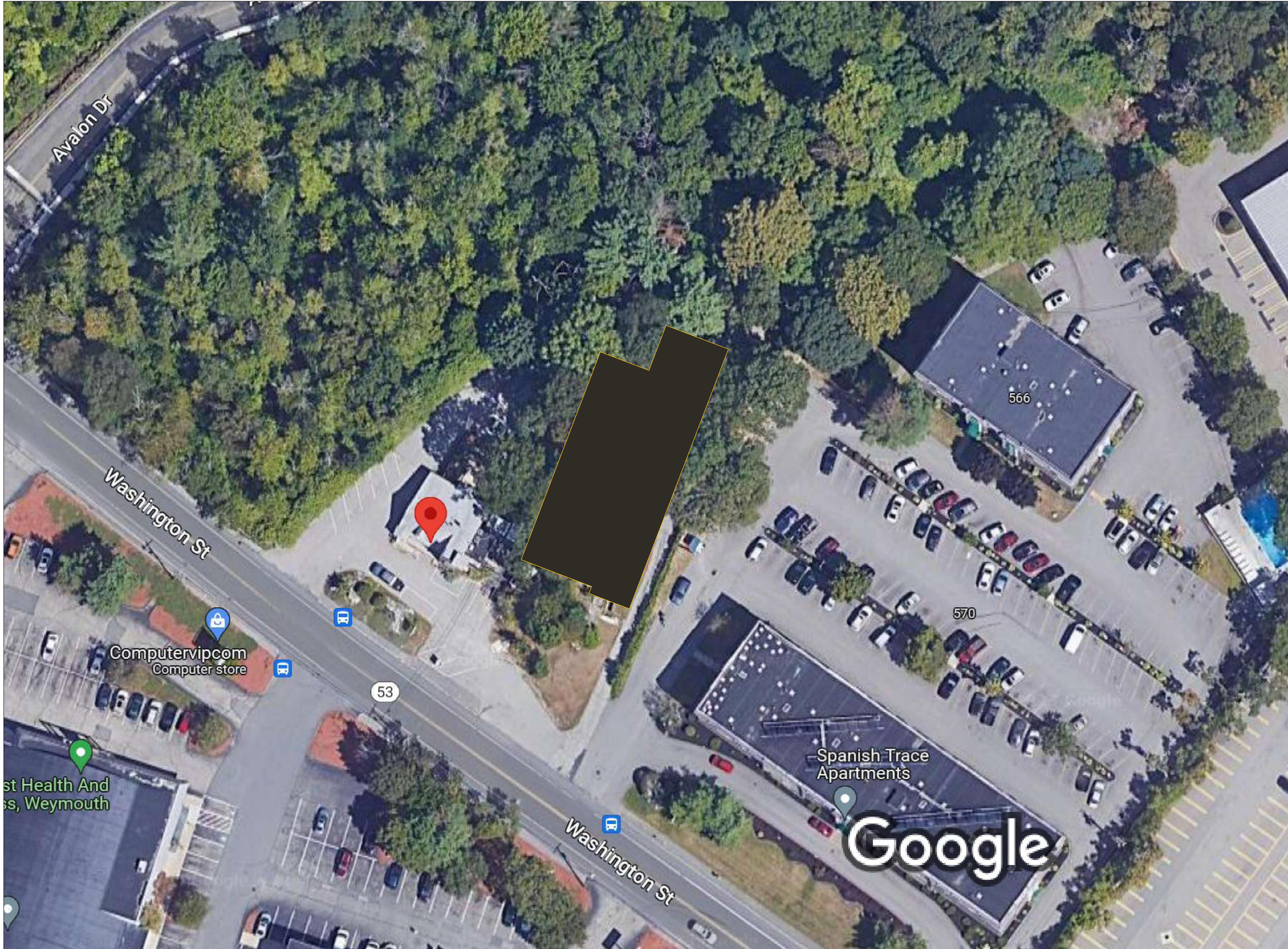
--	MS	3/23/2023	ZBA revisions
--	MS	4/27/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL

No.	BY	DATE	DESCRIPTION
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NEW MIXED USE BUILDING
UNION BREW HOUSE
550 - 560 WASHINGTON STREET
WEYMOUTH, MA

PROPOSED
ROOF/PENTHOUSE
FLOOR PLAN

SCALE:	1/8"=1'-0"
DRAWN by:	MKS
CHK'D by:	MKS
PROJECT No:	2019-299



OVERHEAD IMAGERY
PROPOSED BUILDING LOCATION
SCALE : N.T.S.



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No.	BY	DATE	DESCRIPTION
--	MS	3/23/2023	ZBA revisions
--	MS	4/27/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL

**NEW MIXED USE BUILDING
UNION BREW HOUSE**

550 - 560 WASHINGTON STREET
WEYMOUTH, MA

PROPOSED
CONDITIONS

SCALE:	N.T.S.
DRAWN by:	MKS
CHK'D by:	MKS
PROJECT No:	2019-299



PROPOSED
FRONT ELEVATION
SCALE: 1/8"=1'-0"

LEGEND	
NUMBER	MATERIAL
1	'NICHHA' ROUGHSAWN SERIES WOOD CLADDING (TOBACCO)
2	'NICHHA' LATURA V-GROOVE SERIES CEMENT LAP SIDING (NICKEL)
3	'NICHHA' ILLUMINATION SERIES FIBER CEMENT PANEL (FOG)
4	'NICHHA' NOVENARY SERIES FIBER CEMENT SIDING (OCHRE)
5	ALUMINUM PANELS (BLACK)
6	COMPOSITE FASCIA BOARD (BLACK)
7	'NICHHA' EXTRUDED METAL TRIM (OCHRE)
8	'NICHHA' EXTRUDED METAL FASCIA (OCHRE)
9	STONE VENEER (GREY)
10	METAL PURGOLA CANOPY (BLACK)
11	'NICHHA' ILLUMINATION SERIES FIBER CEMENT PANEL (NICKEL)
12	'NICHHA' RIBBED SERIES FIBER CEMENT PANEL (FOG)



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SCAN QR CODE FOR DIGITAL FILE

-- MS 3/23/2023 ZBA revisions
-- MS 4/27/2021 design meeting
-- MS 12/14/2021 ZONING APPROVAL

No.	BY	DATE	DESCRIPTION
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NEW MIXED USE BUILDING
UNION BREW HOUSE

550 - 560 WASHINGTON STREET
WEYMOUTH, MA

BUILDING ELEVATIONS

SCALE: 1/8"=1'-0"
DRAWN by: MKS
CHECKED by: MKS
PROJECT No: 2019-299

A-6



PROPOSED
LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"



PROPOSED
REAR ELEVATION
SCALE: 1/8"=1'-0"

LEGEND	
NUMBER	MATERIAL
1	'NICHHA' ROUGHSAWN SERIES WOOD CLADDING (TOBACCO)
2	'NICHHA' LATURA V-GROOVE SERIES CEMENT LAP SIDING (NICKEL)
3	'NICHHA' ILLUMINATION SERIES FIBER CEMENT PANEL (FOG)
4	'NICHHA' NOVENARY SERIES FIBER CEMENT SIDING (OCHRE)
5	ALUMINUM PANELS (BLACK)
6	COMPOSITE FASCIA BOARD (BLACK)
7	'NICHHA' EXTRUDED METAL TRIM (OCHRE)
8	'NICHHA' EXTRUDED METAL FASCIA (OCHRE)
9	STONE VENEER (GREY)
10	METAL PURGOLA CANOPY (BLACK)
11	'NICHHA' ILLUMINATION SERIES FIBER CEMENT PANEL (NICKEL)
12	'NICHHA' RIBBED SERIES FIBER CEMENT PANEL (FOG)



PROPOSED
RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



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NEW MIXED USE BUILDING
UNION BREW HOUSE

550 - 560 WASHINGTON STREET
WEYMOUTH, MA

BUILDING ELEVATION

SCALE: 1/8"=1'-0"
DRAWN by: MKS
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PROJECT No: 2019-299

A-7



'NICHHA' LATURA V-GROOVE SERIES - NICKEL



'NICHHA' NOVENARY SERIES - OCHRE



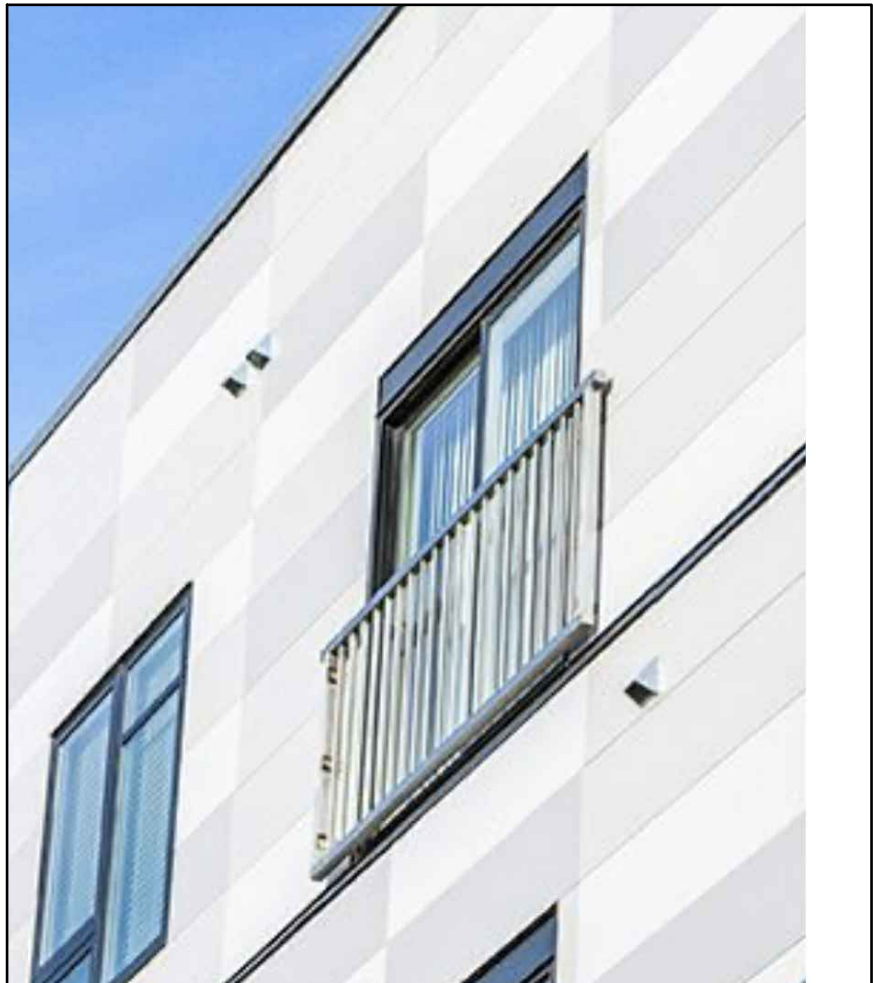
'NICHHA' ROUGHSAWN SERIES - TOBACCO



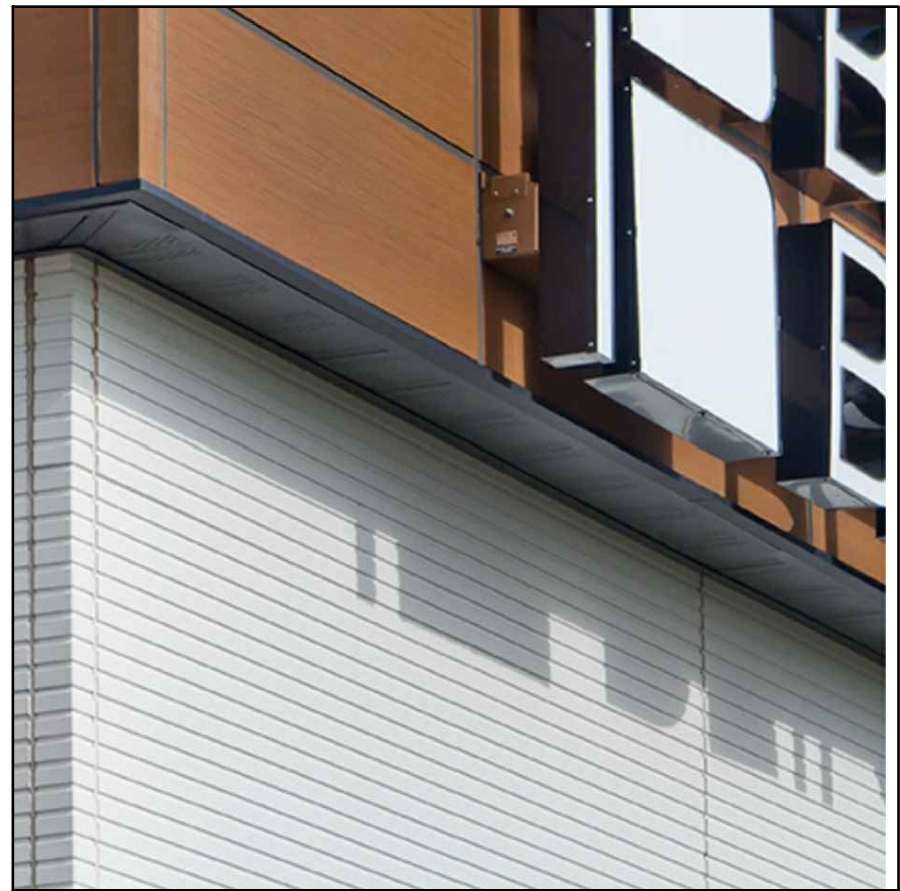
GREY MIXED STACKED STONE VENEER



METAL EXTERIOR PERIMETER CANOPY - BLACK



'NICHHA' ILLUMINATION SERIES - FOG



'NICHHA' RIBBED SERIES - FOG



'NICHHA' ILLUMINATION SERIES - NICKEL



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--	MS	3/23/2023	ZBA revisions
--	MS	4/27/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL

No.	BY	DATE	DESCRIPTION
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NEW MIXED USE BUILDING
UNION BREW HOUSE
550 - 560 WASHINGTON STREET
WEYMOUTH, MA

BUILDING EXTERIOR
FINISHES

SCALE:	N.T.S.
DRAWN by:	MKS
CHK'D by:	MKS
PROJECT No:	2019-299