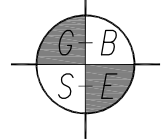
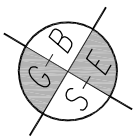


PLAN OF LAND 213-217 WASHINGTON STREET WEYMOUTH, MASSACHUSETTS (NORFOLK COUNTY REGISTRY OF DEEDS)		
PREPARED FOR		
 GREATER BOSTON SURVEYING AND ENGINEERING 19 FREDITH ROAD WEYMOUTH, MA 02189 (781) 331-6128		
CALC BY: PJT	DATE: OCTOBER 8, 2020	SCALE: 1"=10'

WASHINGTON STREET

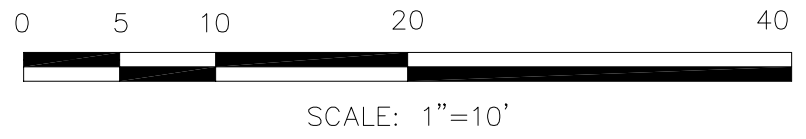
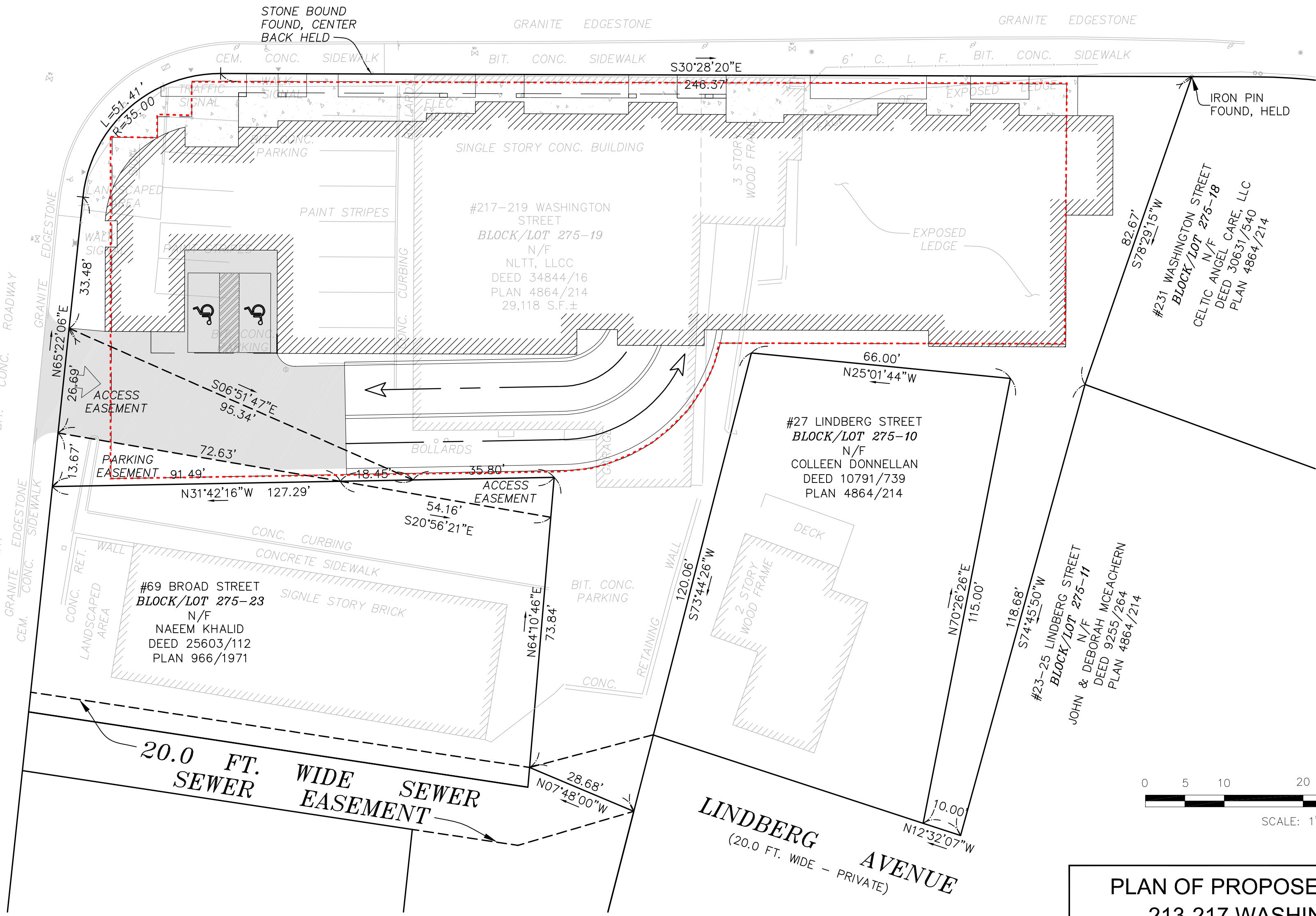
(60.0 FT. WIDE - PUBLIC)



SEE DEED BOOK 27325,
PAGE 488 AND PLAN BOOK
597, PAGE 30 FOR
EASEMENTS

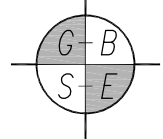
BROAD STREET

(40.0 FT. WIDE - PUBLIC)



PLAN OF PROPOSED CONSTRUCTION
213-217 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS
(NORFOLK COUNTY REGISTRY OF DEEDS)

PREPARED FOR



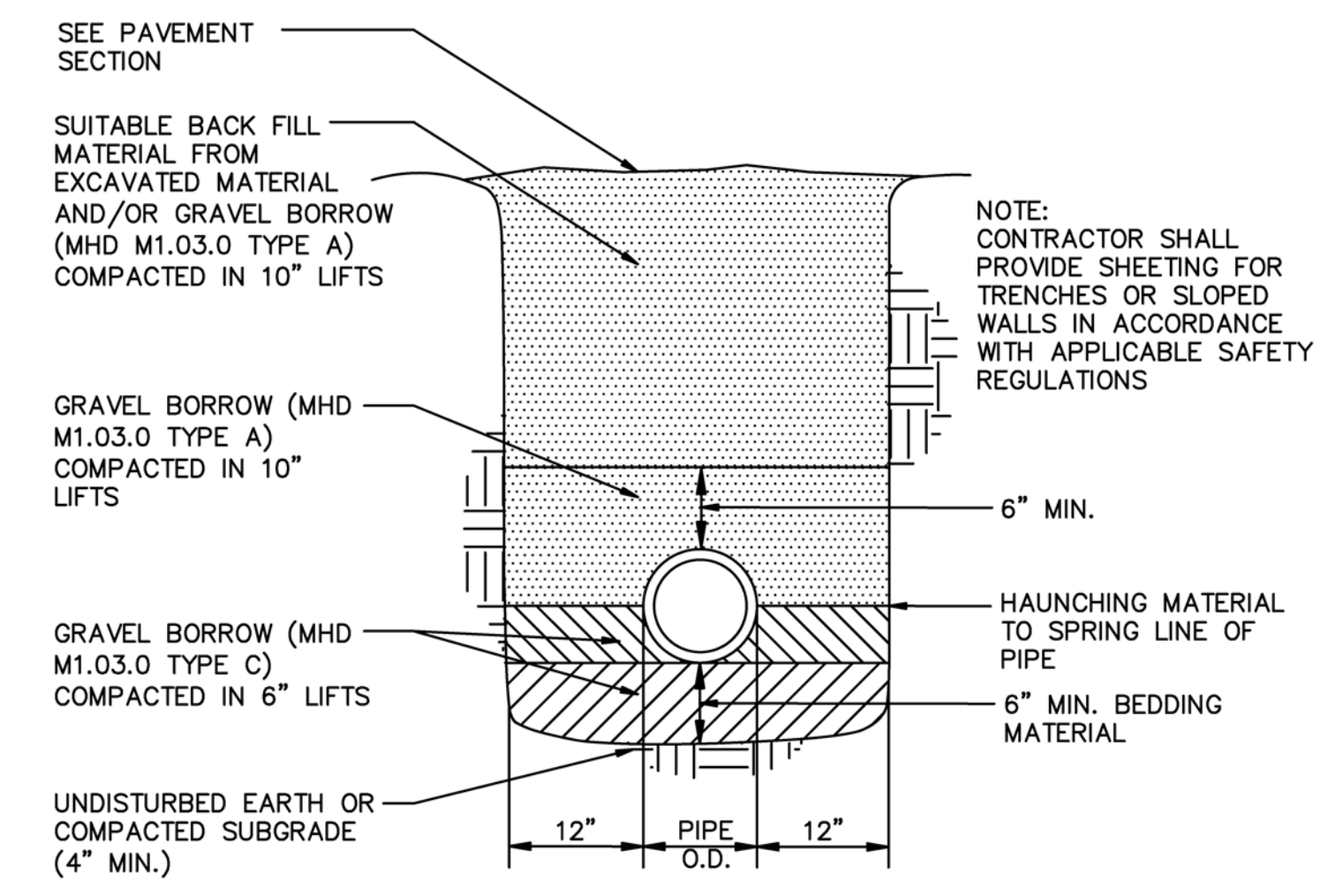
GREATER BOSTON SURVEYING AND ENGINEERING
19 FREDITH ROAD
WEYMOUTH, MA 02189
(781) 331-6128

CALC BY: PJT

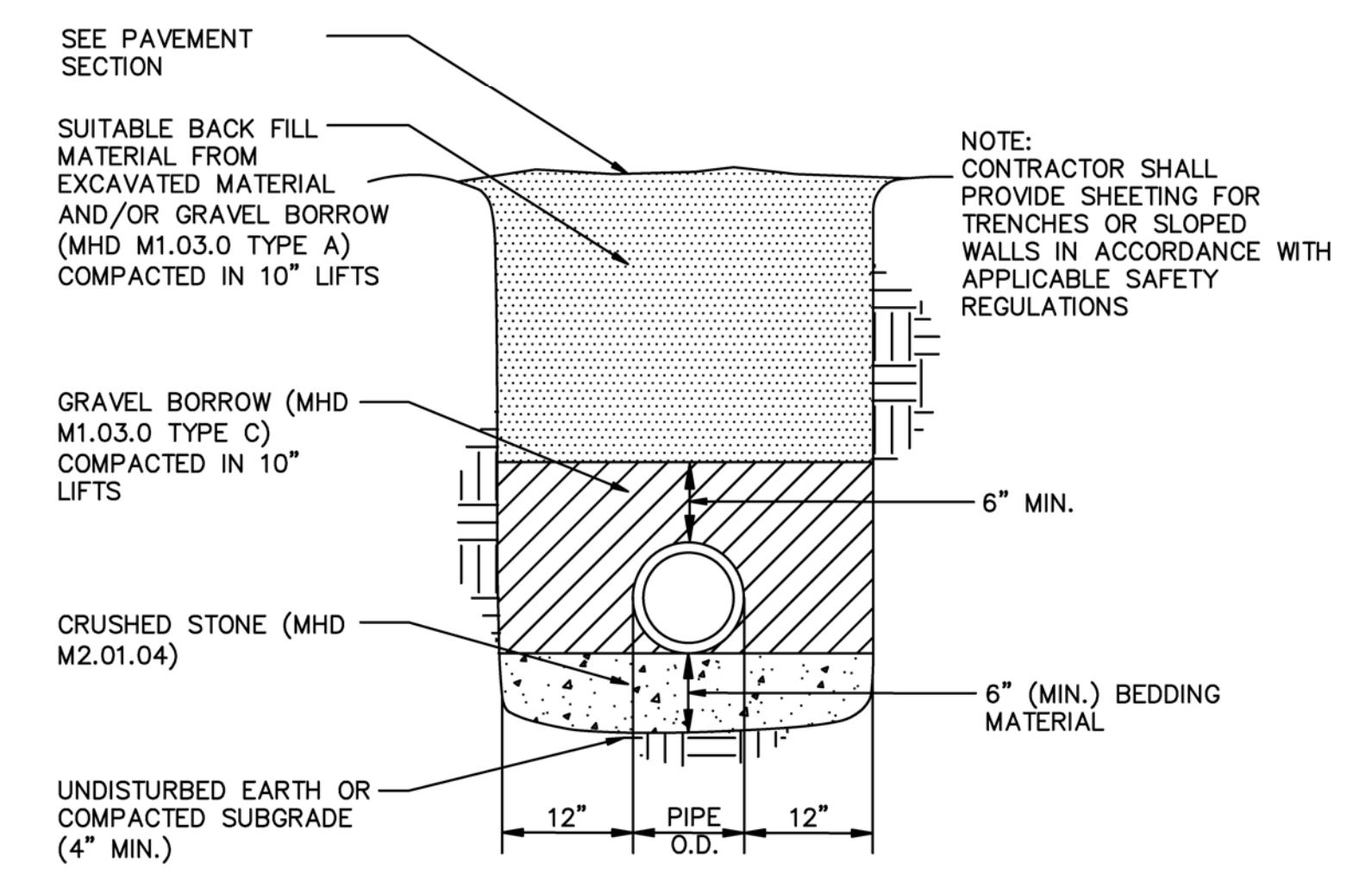
DATE: DECEMBER 17, 2021

SCALE: 1"=20'

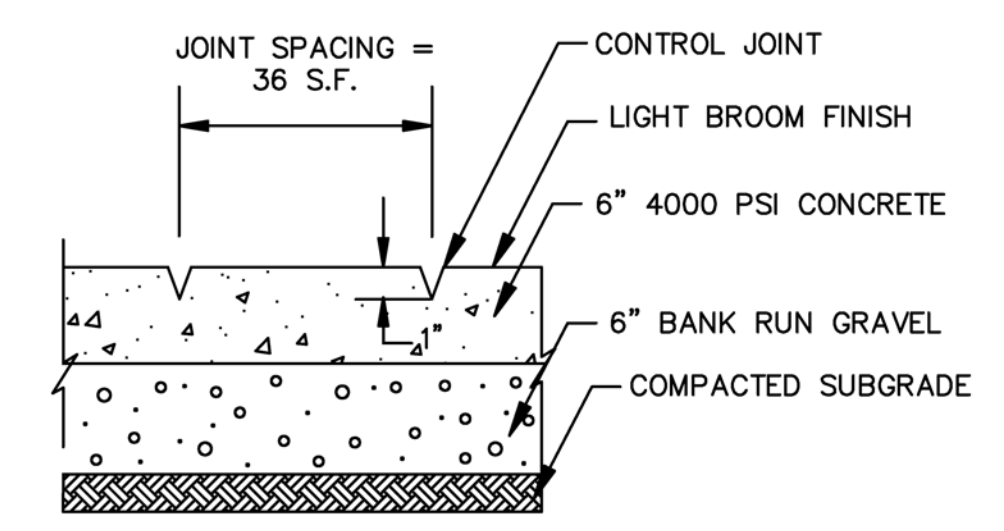
PLAN OF ALTERATION &
WIDENING OF BROAD STREET
PLAN 1065B AT WEYMOUTH
ENGINEERING DEPARTMENT



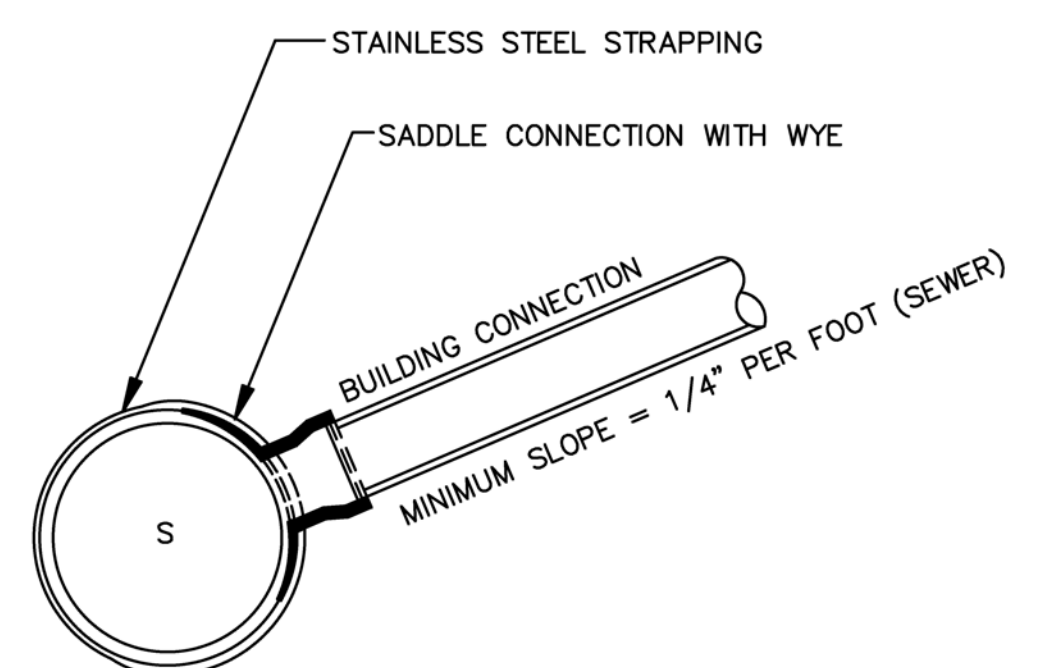
PVC TRENCH DETAIL
NOT TO SCALE



COPPER PIPE TRENCH DETAIL
NOT TO SCALE

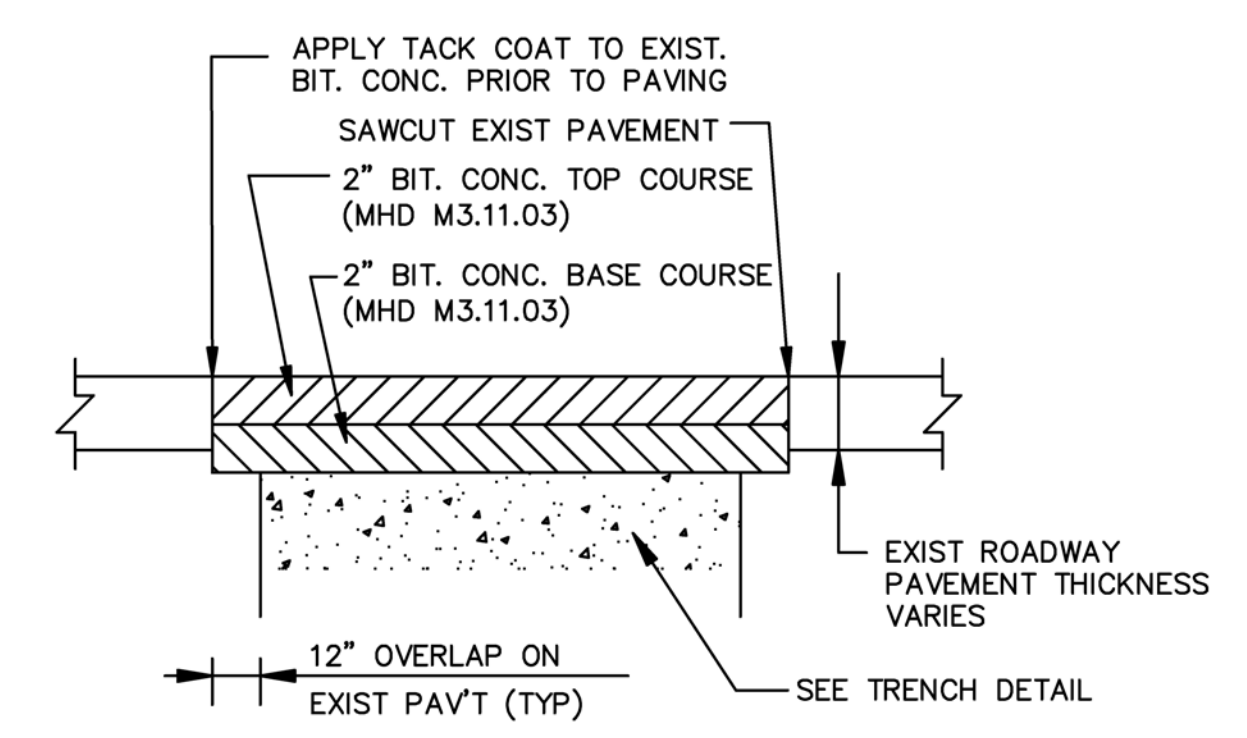


CONCRETE SIDEWALK DETAIL
NOT TO SCALE

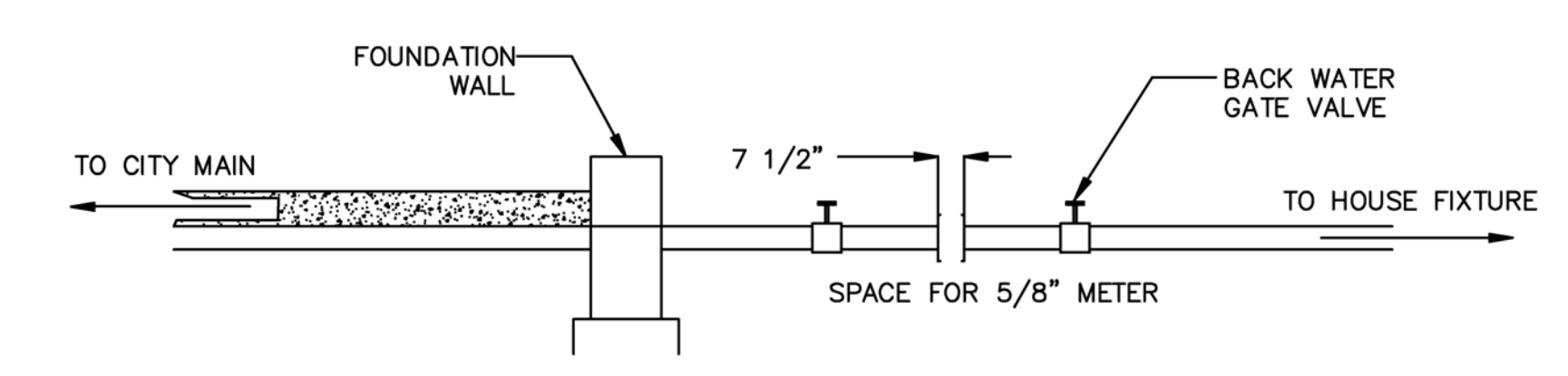


- NOTES:
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

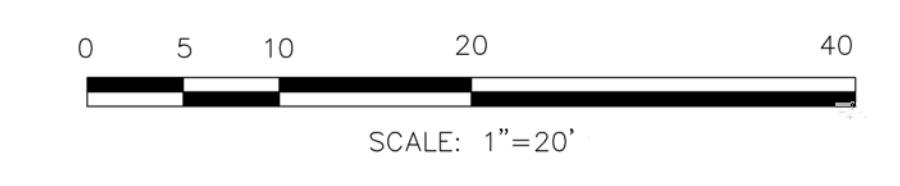
CONNECTION TO EXISTING SEWER
NOT TO SCALE

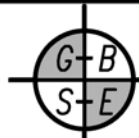


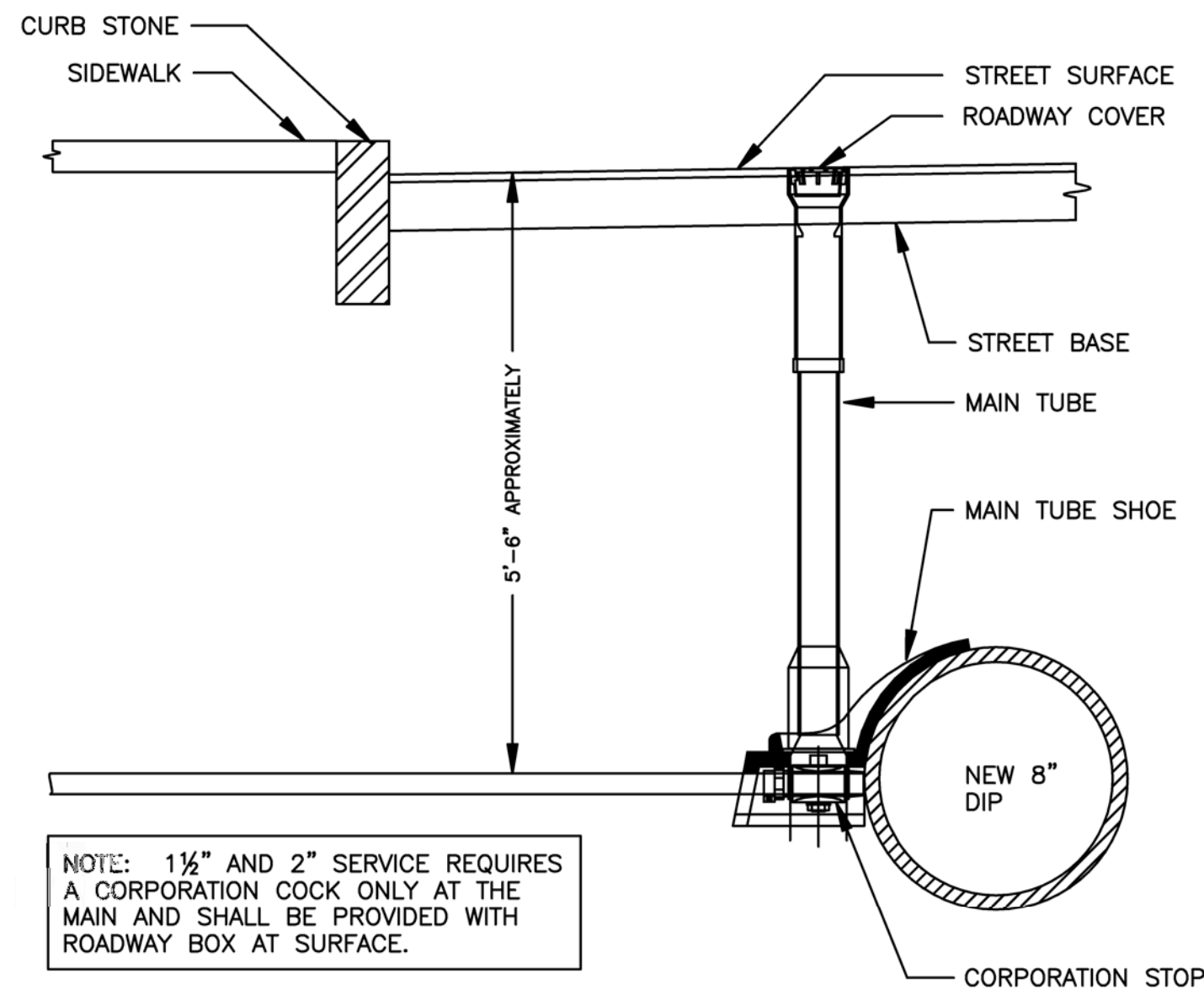
PAVEMENT PATCH DETAIL
NOT TO SCALE



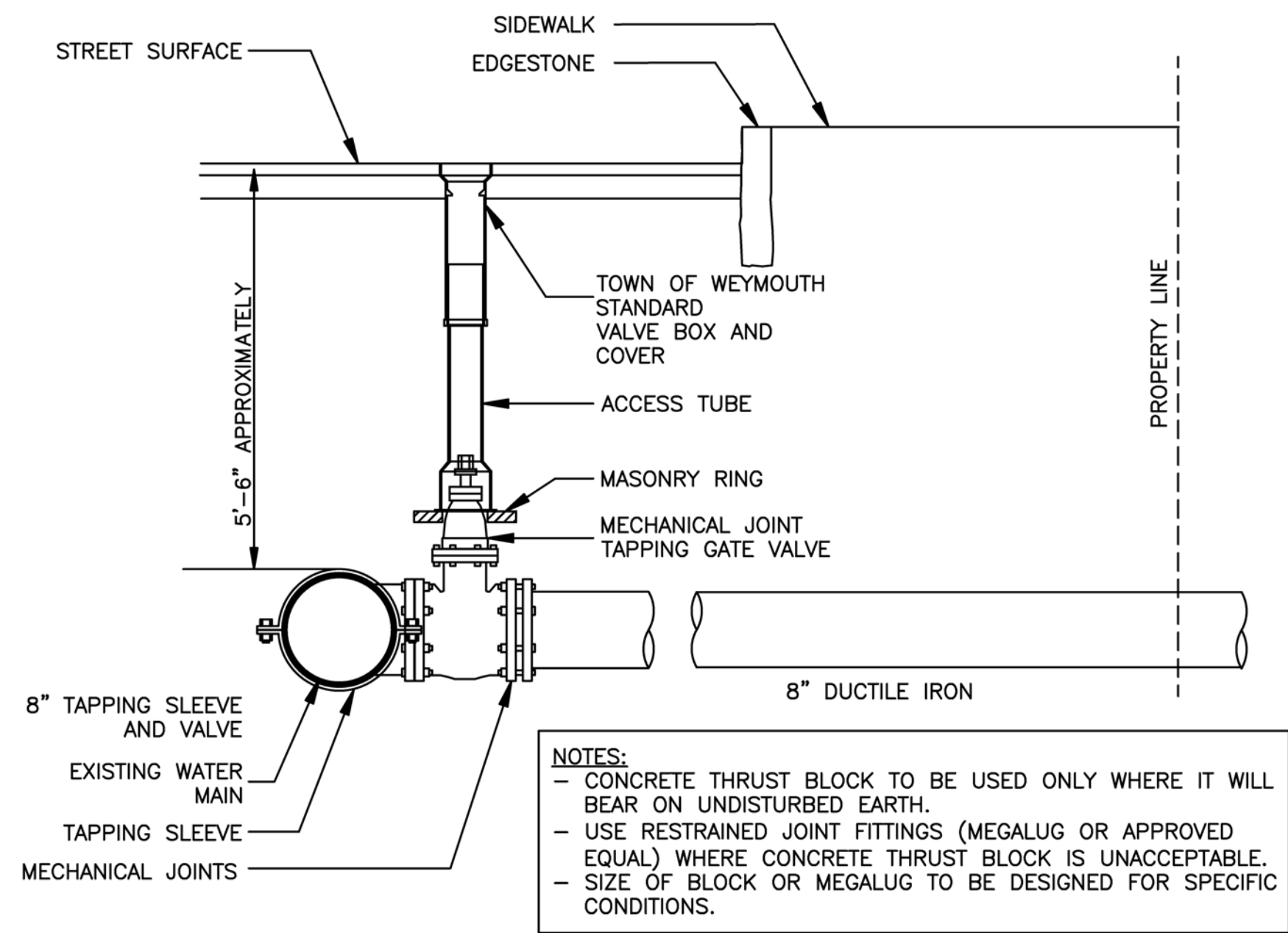
5/8" METER SPACING DETAIL
NOT TO SCALE



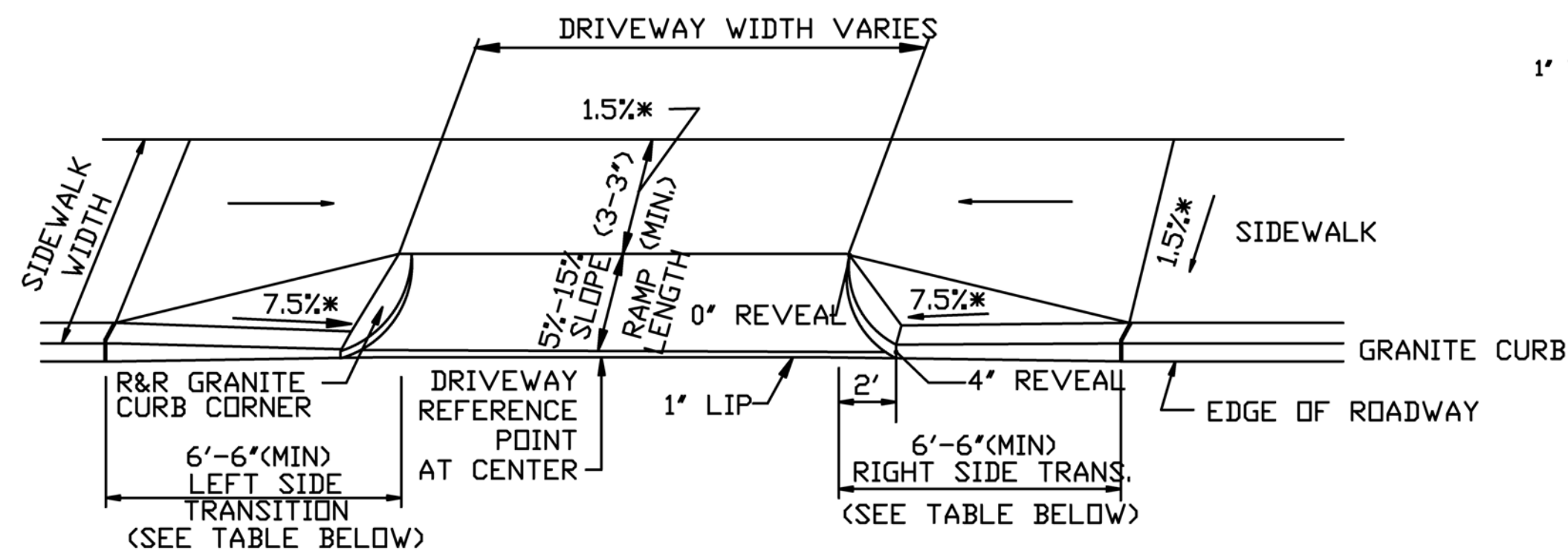
PLAN OF PROPOSED CONSTRUCTION 213-217 WASHINGTON STREET WEYMOUTH, MASSACHUSETTS (NORFOLK COUNTY REGISTRY OF DEEDS)		
PREPARED FOR		
 GREATER BOSTON SURVEYING AND ENGINEERING 19 FREDTH ROAD WEYMOUTH, MA 02189 (781) 331-6128		
DESIGN BY: PJT	DATE: JAN. 26, 2022	SCALE: 1" = 20'



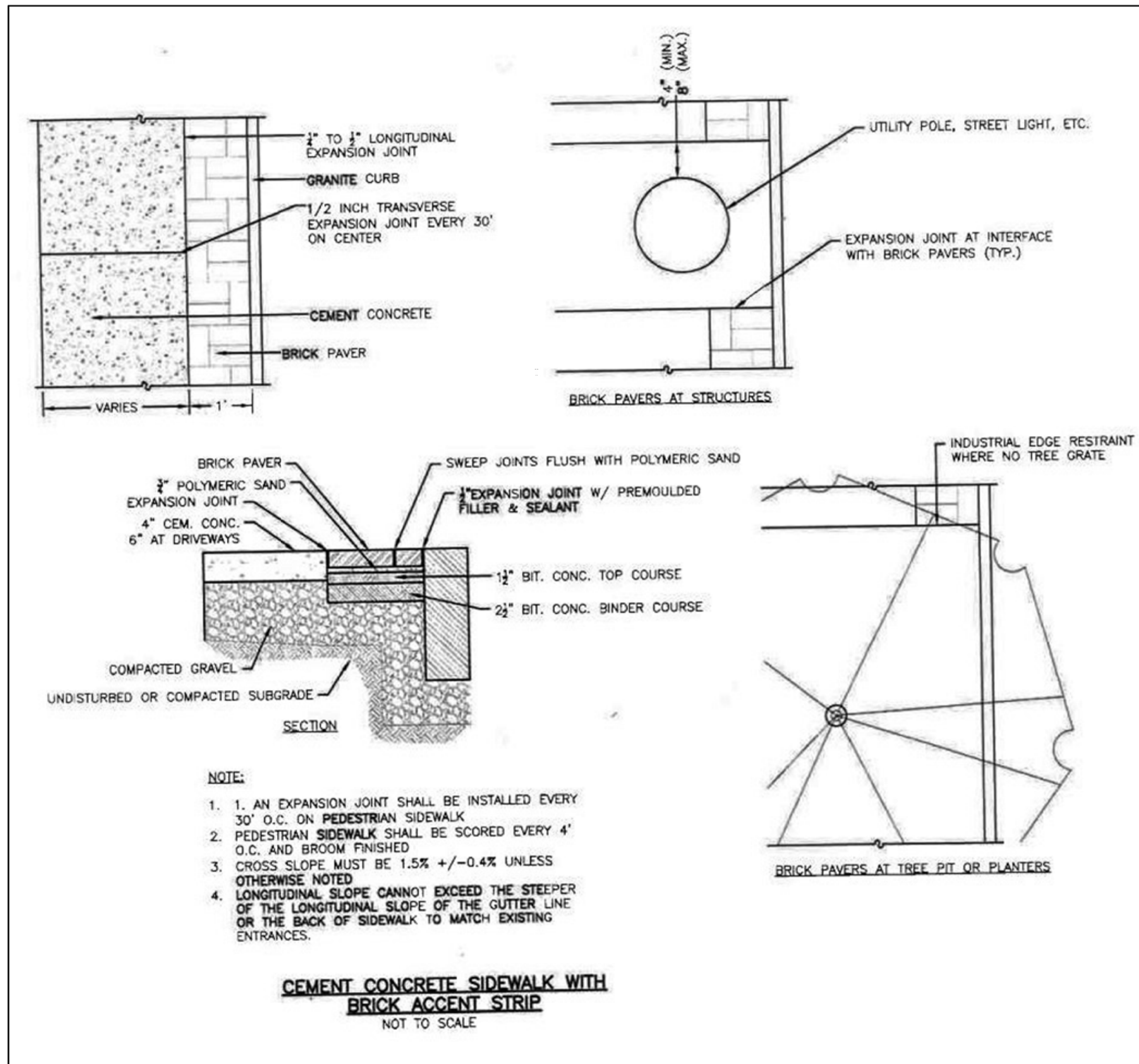
2" WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



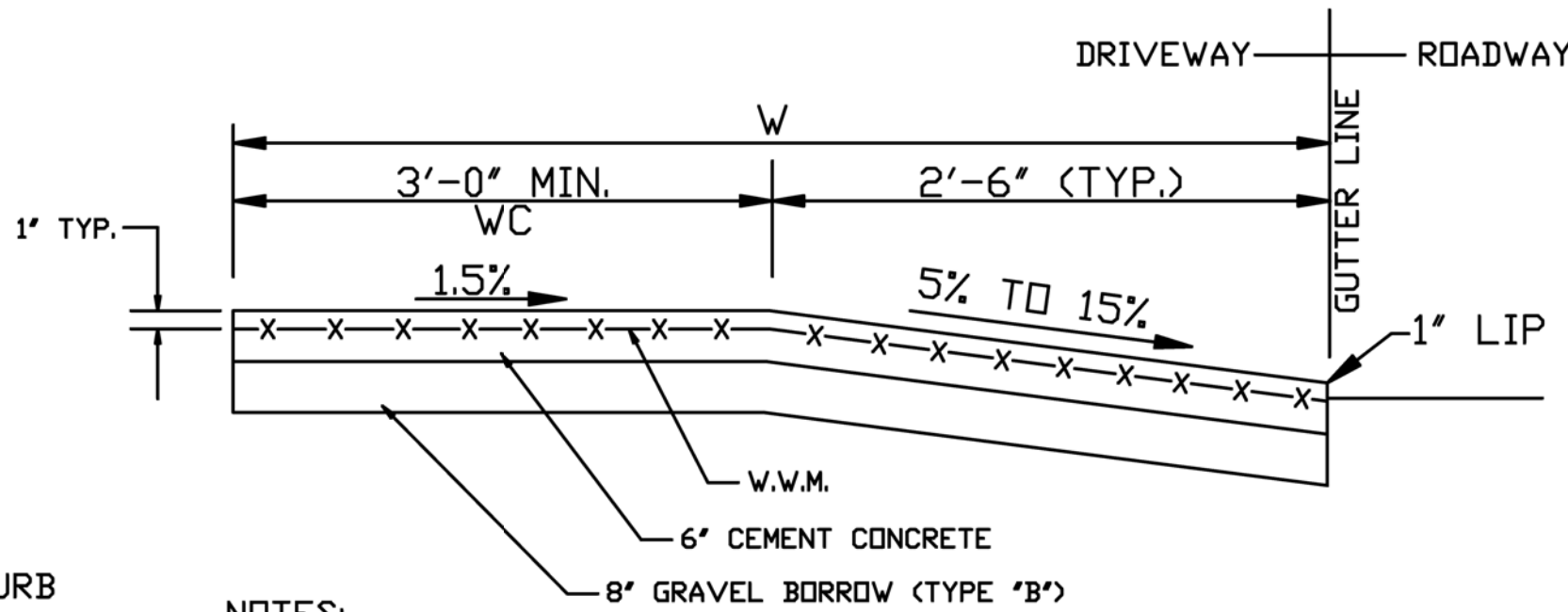
8" MAIN CONNECTION DETAIL
NOT TO SCALE



SIDEWALK THROUGH DRIVEWAYS WITH CURB RETURNS
NOT TO SCALE



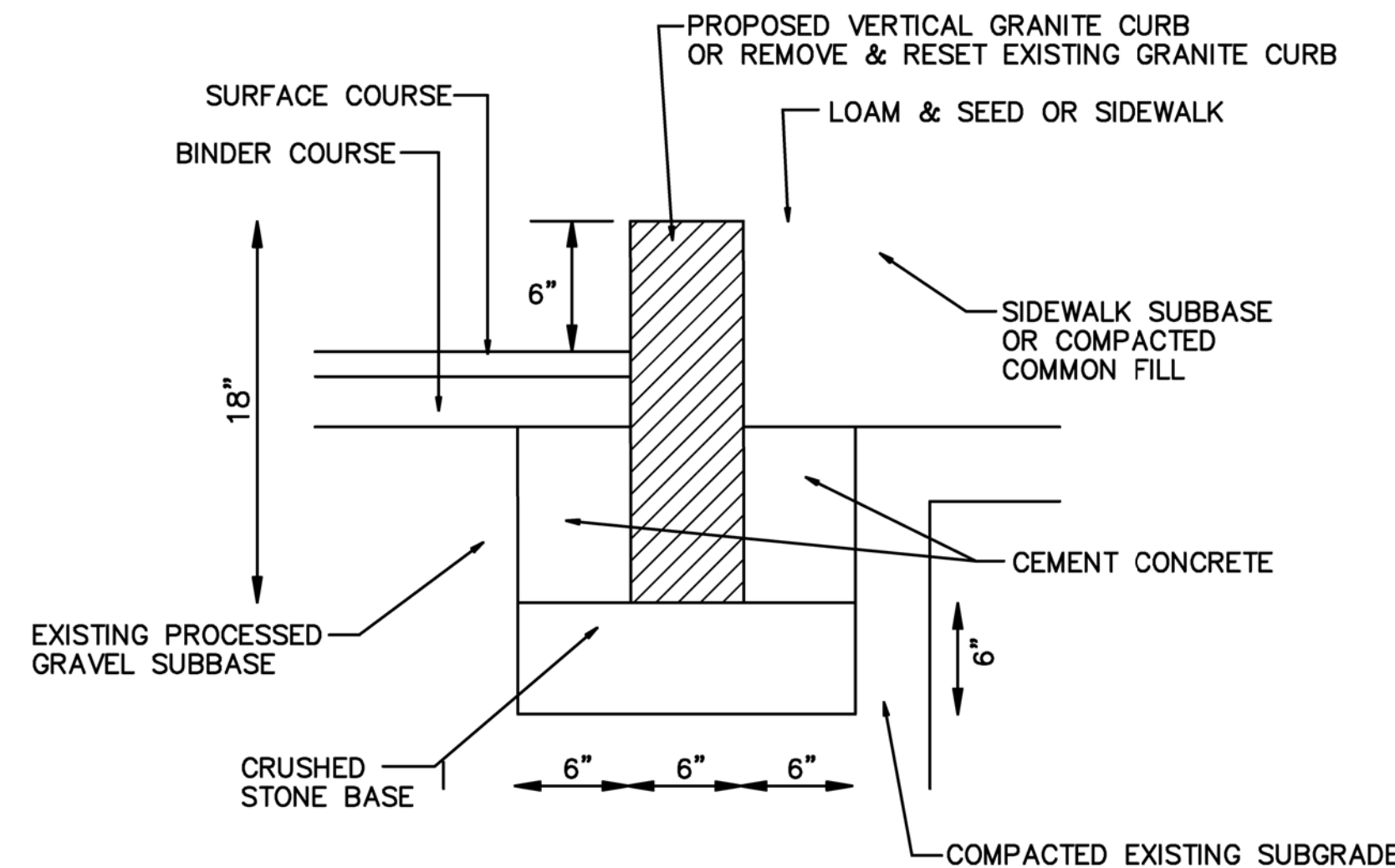
CEMENT CONCRETE SIDEWALK WITH BRICK ACCENT STRIP
NOT TO SCALE



- NOTES:**
1. PROVIDE 6x6 W5.4/5.4 W.W.M. IN CONCRETE
 2. USE 4000 P.S.I. CONCRETE, 6" THICK MIN.


WC = WHEELCHAIR (PATHWAY)
W = SIDEWALK WIDTH
W.W.M. = WELDED WIRE MESH

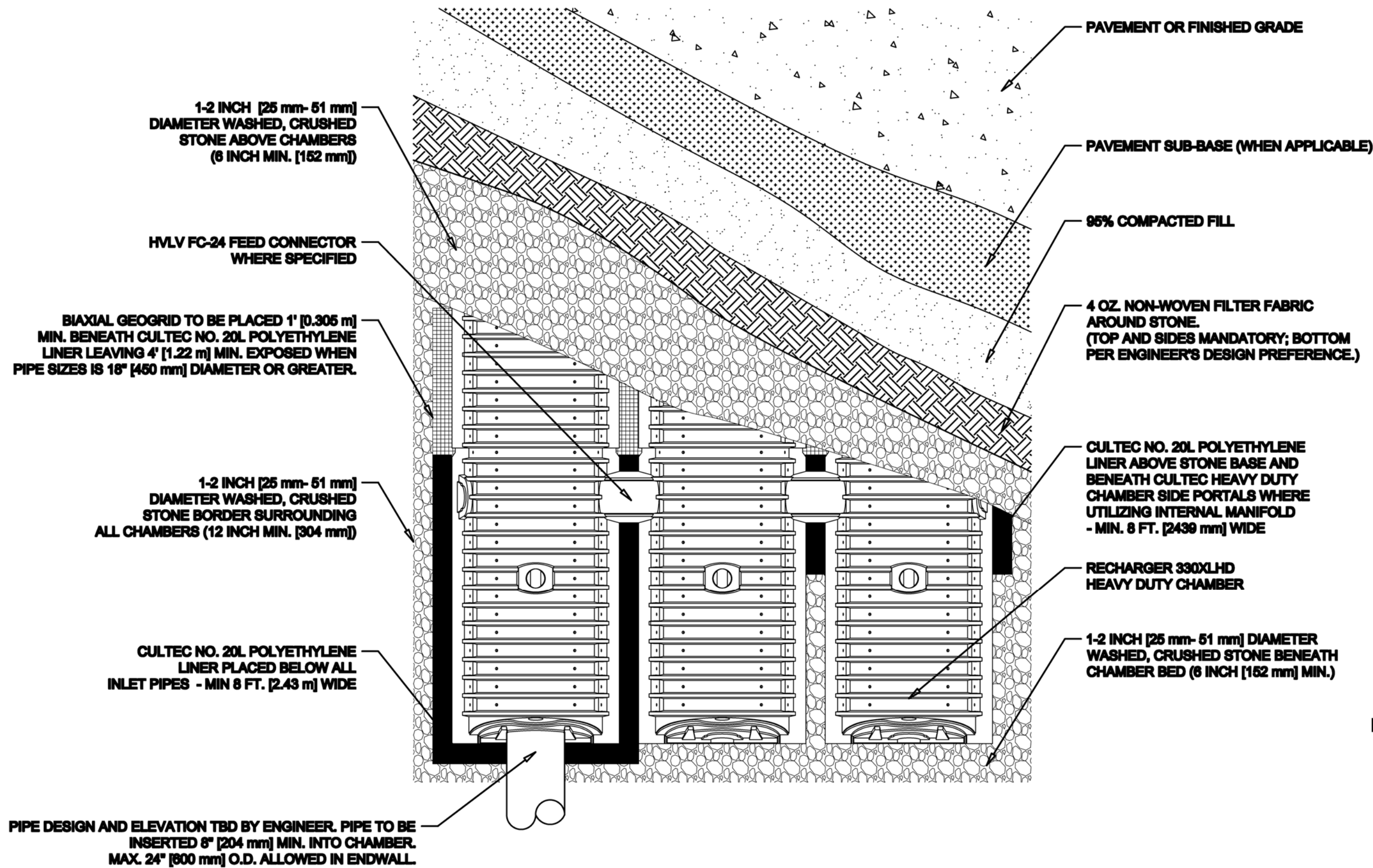
CROSS SECTION OF CEMENT CONCRETE DRIVEWAY APRON
NOT TO SCALE



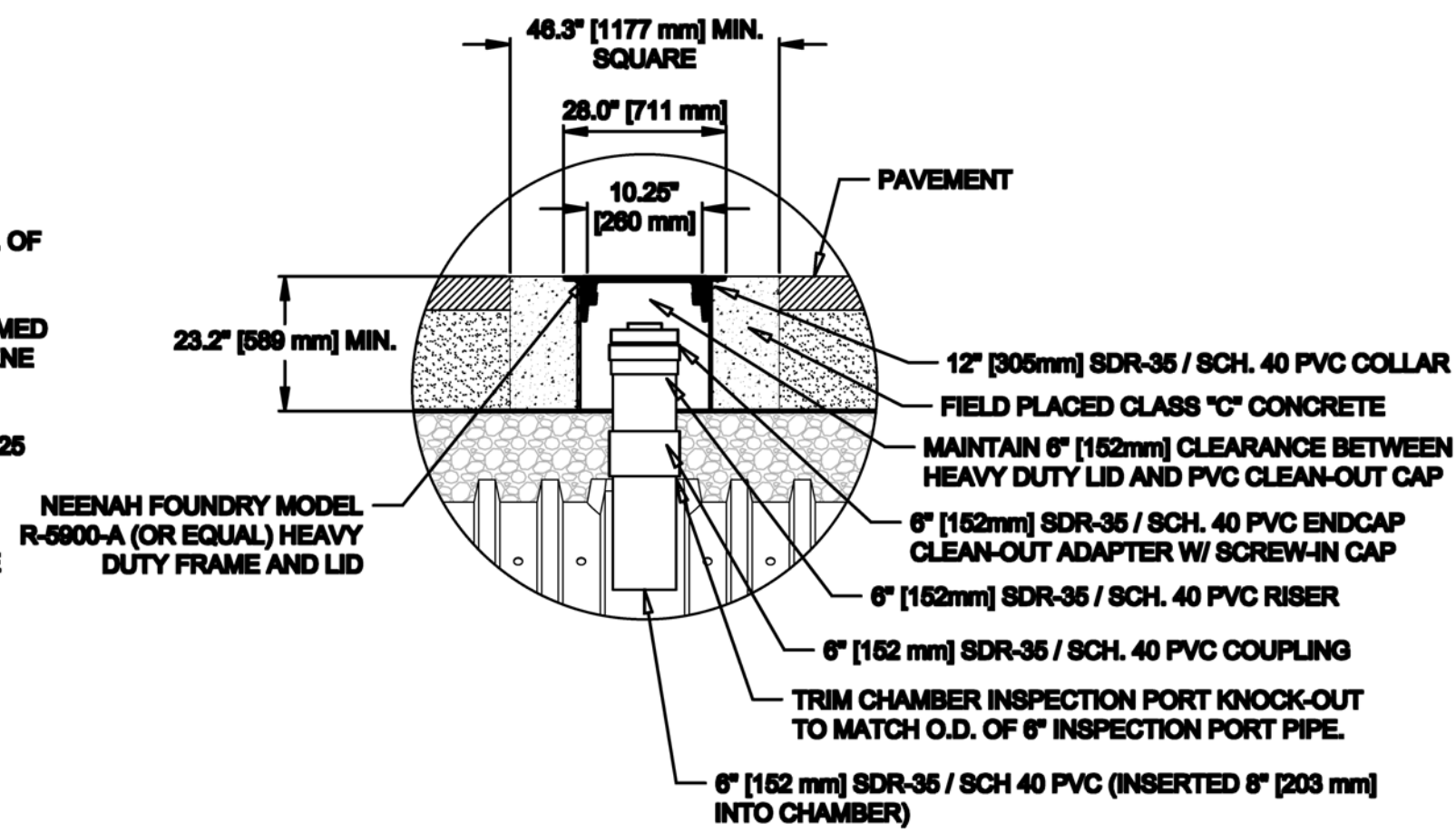
- NOTES:**
1. THIS PROCEDURE IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE OR FOR RESETTNG CURB.
 2. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE PAVEMENT, BASE AND SUBGRADE, PLACE AND COMPACT CRUSHED STONE BASE, SET CURB TO PROPER GRADE, PLACE AND COMPACT GRAVEL SUBBASE, PLACE CEMENT CONCRETE IN FRONT AND BACK OF CURB. WHEN THE CONCRETE IS SUFFICIENTLY CURED, PLACE THE TWO COURSES OF ASPHALT, MORTAR AND POINT THE CURB JOINTS.
 3. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPATABLE UNDER SECTION M4 OF THE STANDARD MHD SPECIFICATIONS MAY BE USED. BITUMINOUS CONCRETE SHALL NOT BE USED AS A SUBSTITUTE.

GRANITE CURB DETAIL
NOT TO SCALE

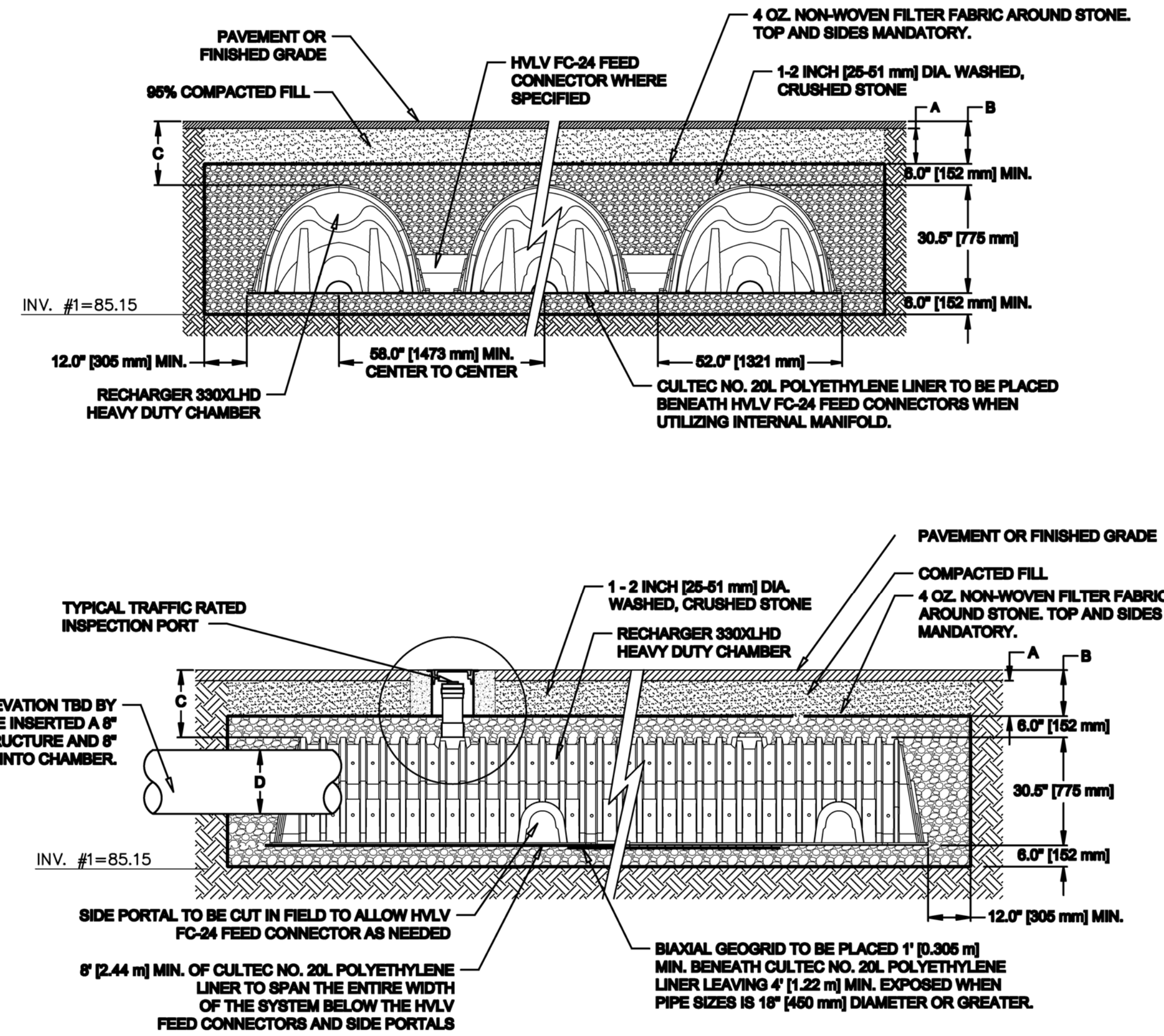
PLAN OF PROPOSED CONSTRUCTION 213-217 WASHINGTON STREET WEYMOUTH, MASSACHUSETTS (NORFOLK COUNTY REGISTRY OF DEEDS)		
PREPARED FOR		
 GREATER BOSTON SURVEYING AND ENGINEERING 19 FREDTH ROAD WEYMOUTH, MA 02189 (781) 331-6128		
DESIGN BY: PJT	DATE: JAN. 26, 2022	SCALE: AS NOTED



- CHAMBER PARAMETERS**
- ALL PRODUCTS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832).
 - THE CHAMBER AND FEEDER WILL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE).
 - THE SYSTEM WILL BE DESIGNED TO WITHSTAND AASHTO H-25 LOAD RATING WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
 - SYSTEM TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURERS INSTALLATION PROCEDURES.



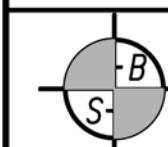
INFILTRAITON SYSTEM DETAIL
NOT TO SCALE



CULTEC RECHARGER 330XLHD CHAMBER (STORAGE PROVIDED = 11.82 CFFFT [1.08 m ³] PER DESIGN UNIT)			
A	MIN. DEPTH REQUIRED OF 96% COMPACTED FILL FOR PAVED APPLICATIONS	10"	254 mm
B	MIN. DEPTH REQUIRED OF 96% COMPACTED FILL FOR UNPAVED APPLICATIONS	12"	305 mm
C	MAX. DEPTH OF COVER ALLOWED ABOVE CROWN OF CHAMBER	12'	3.66 m
D	MAX. INLET/OUTLET PIPE SIZE INTO THE END WALL OF THE CHAMBER	24"	600 mm

PLAN OF PROPOSED CONSTRUCTION
213-217 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS
(NORFOLK COUNTY REGISTRY OF DEEDS)

PREPARED FOR



GREATER BOSTON SURVEYING AND ENGINEERING
19 FREDTH ROAD
WEYMOUTH, MA 02189
(781) 331-6128

DESIGN BY: PJT

DATE: JAN. 26, 2022

SCALE: AS NOTED

213-217 Washington Street
Weymouth, MA 02188

NUMBER OF UNITS	27
RETAIL AREA	4,285 s.f.
LOT AREA	29,118 s.f.
TOTAL GROSS LIVING AREA	32,106 s.f.
FAR	1.10

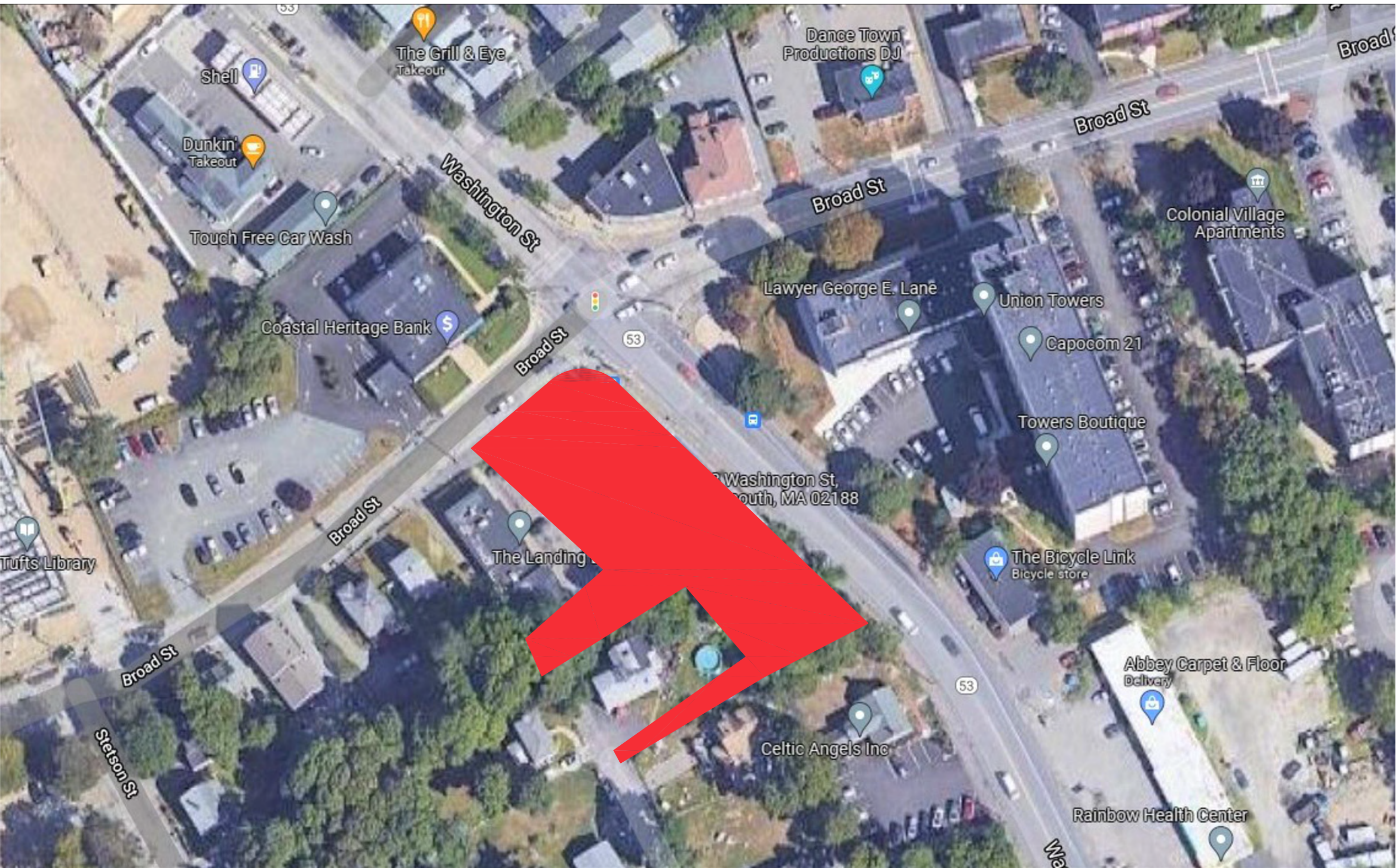
FLOOR AREA RATIO (FAR)
The fixed relation between the lot area and the floor area of all multiple-family residential buildings, excluding the floor area of garages, carports, breezeways, stairways, hallways and balconies and excluding the area of any floor more than four feet below average grade where no part of such basement is used for sleeping rooms or other living quarters, and expressed as a fraction of floor area/lot area.

ZONING	B-2 (Limited Business District)
	R-1 (Resident District)
	VC (Village Center Overlay District)

VC (Village Center Overlay District)	
Maximum Height	4 stories, not to exceed 50 feet by special permit
Front, Side and Rear Setbacks	shall be calculated as follows: the maximum front and street side building setback may not exceed the average front yard depth of the nearest two lots on both sides of the subject lot or 10 feet, whichever is less.
A portion of the building may be set back from the maximum setback line in order to provide an articulated facade or accommodate a building entrance feature, provided that the total area of the space created must not exceed one square foot for every linear foot of building frontage.	

PARKING REQUIREMENTS (20-25-7)	
Dwelling Units	1.5 per unit
Retail	1 per 250 s.f. (min.) of gross area on the 1st floor of a building

PROVIDED PARKING SPACES - 46 TOTAL	
27 Units	36 spaces (1.5 per unit)
Retail	10 spaces for 4,285 s.f. (4,285 / 250 s.f. = 18 spaces req'd.)
Bike	1 Bike per 20 Parking Spaces. (50/20 = 3 Bike spaces req'd.)



LOCATION PLAN

PROPOSED UNIT SQUARE FOOTAGE:

UNIT 1:	TOTAL GROSS LIVING AREA: 1,096 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 2:	TOTAL GROSS LIVING AREA: 1017 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 3:	TOTAL GROSS LIVING AREA: 993 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 4:	TOTAL GROSS LIVING AREA: 1,005 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 5:	TOTAL GROSS LIVING AREA: 1,005 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 6:	TOTAL GROSS LIVING AREA: 1,037 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 7:	TOTAL GROSS LIVING AREA: 1,017 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 8:	TOTAL GROSS LIVING AREA: 993 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 9:	TOTAL GROSS LIVING AREA: 1,005 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02

PROPOSED UNIT SQUARE FOOTAGE:

UNIT 10:	TOTAL GROSS LIVING AREA: 1,005 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 11:	TOTAL GROSS LIVING AREA: 983 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 12:	TOTAL GROSS LIVING AREA: 1,007 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 13:	TOTAL GROSS LIVING AREA: 1,007 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 14:	TOTAL GROSS LIVING AREA: 1,001 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 15:	TOTAL GROSS LIVING AREA: 1,001 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 16:	TOTAL GROSS LIVING AREA: 1,108 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 17:	TOTAL GROSS LIVING AREA: 1,037 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 18:	TOTAL GROSS LIVING AREA: 1,017 S.F. TOTAL NUMBER OF BEDROOMS: 02

PROPOSED UNIT SQUARE FOOTAGE:

UNIT 19:	TOTAL GROSS LIVING AREA: 993 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 20:	TOTAL GROSS LIVING AREA: 1,005 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 21:	TOTAL GROSS LIVING AREA: 1,005 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 22:	TOTAL GROSS LIVING AREA: 983 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 23:	TOTAL GROSS LIVING AREA: 1,007 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 24:	TOTAL GROSS LIVING AREA: 1,007 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 25:	TOTAL GROSS LIVING AREA: 1,001 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 26:	TOTAL GROSS LIVING AREA: 1,001 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02
UNIT 27:	TOTAL GROSS LIVING AREA: 1,108 S.F. TOTAL NUMBER OF BEDROOMS: 02 TOTAL NUMBER OF BATHS: 02



GENERAL NOTE:
VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

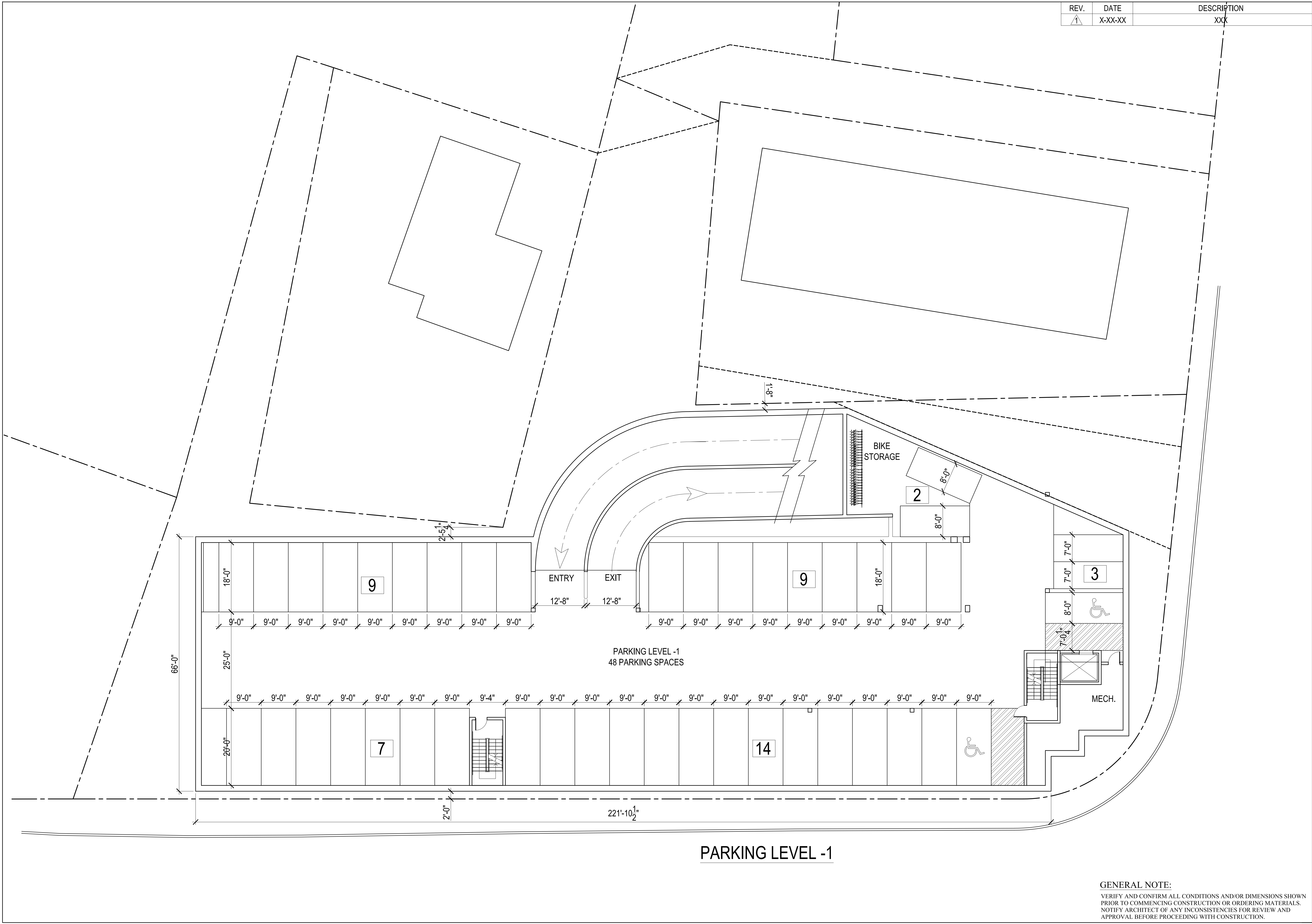
686 ARCHITECTS

213-217 WASHINGTON STREET
WEYMOUTH MA, 02184

PROJECT #
21-072
DATE: 10-19-21
REV:
SCALE: 3/32" = 1'-0"
DRAWN BY: L.P.
CHECKED BY: W.C.

ZONING ANALYSIS AND
LOCATION PLAN

TO



REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX

686 ARCHITECTS

1156 Dorchester Avenue
Dorchester, Massachusetts 02125
Tel: 617-282-0030

213-217 WASHINGTON STREET
WEYMOUTH MA, 02184

PROJECT #
21-072

DATE: 03-14-23
REV:

SCALE:
3/32" = 1'-0"

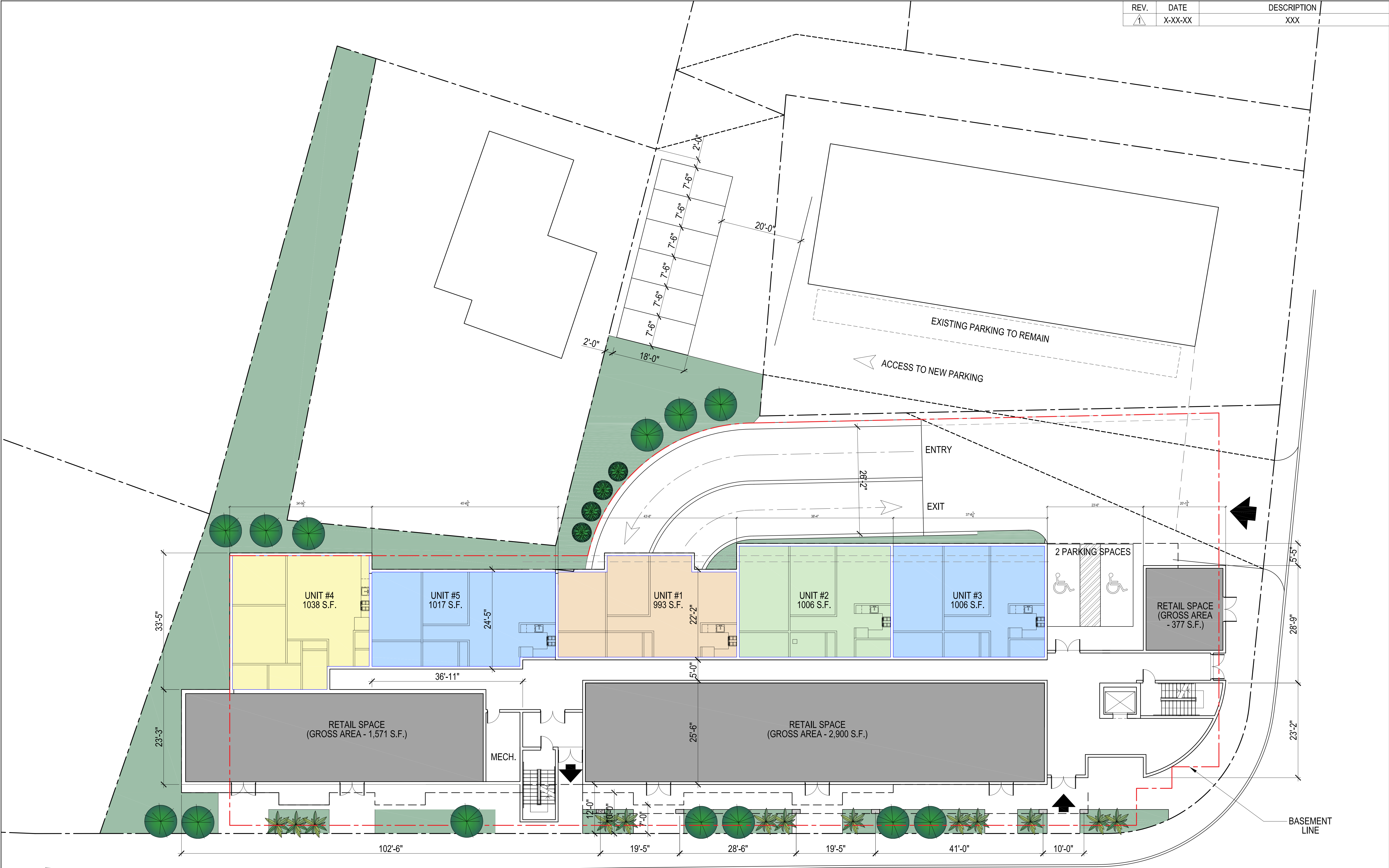
DRAWN BY:
L.P./R.P.B.

CHECKED BY:
W.C.

PROPOSED BASEMENT
PLAN

A1

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



FIRST FLOOR PLAN (GROUND LEVEL)
RESIDENTIAL GROSS LIVING AREA - 3,238 S.F.
RETAIL GROSS AREA - 2,900 S.F.

GENERAL NOTE:
VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN
PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS.
NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND
APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

686 ARCHITECTS

1156 Dorchester Avenue
Dorchester, Massachusetts 02125
Tel: 617-282-0030

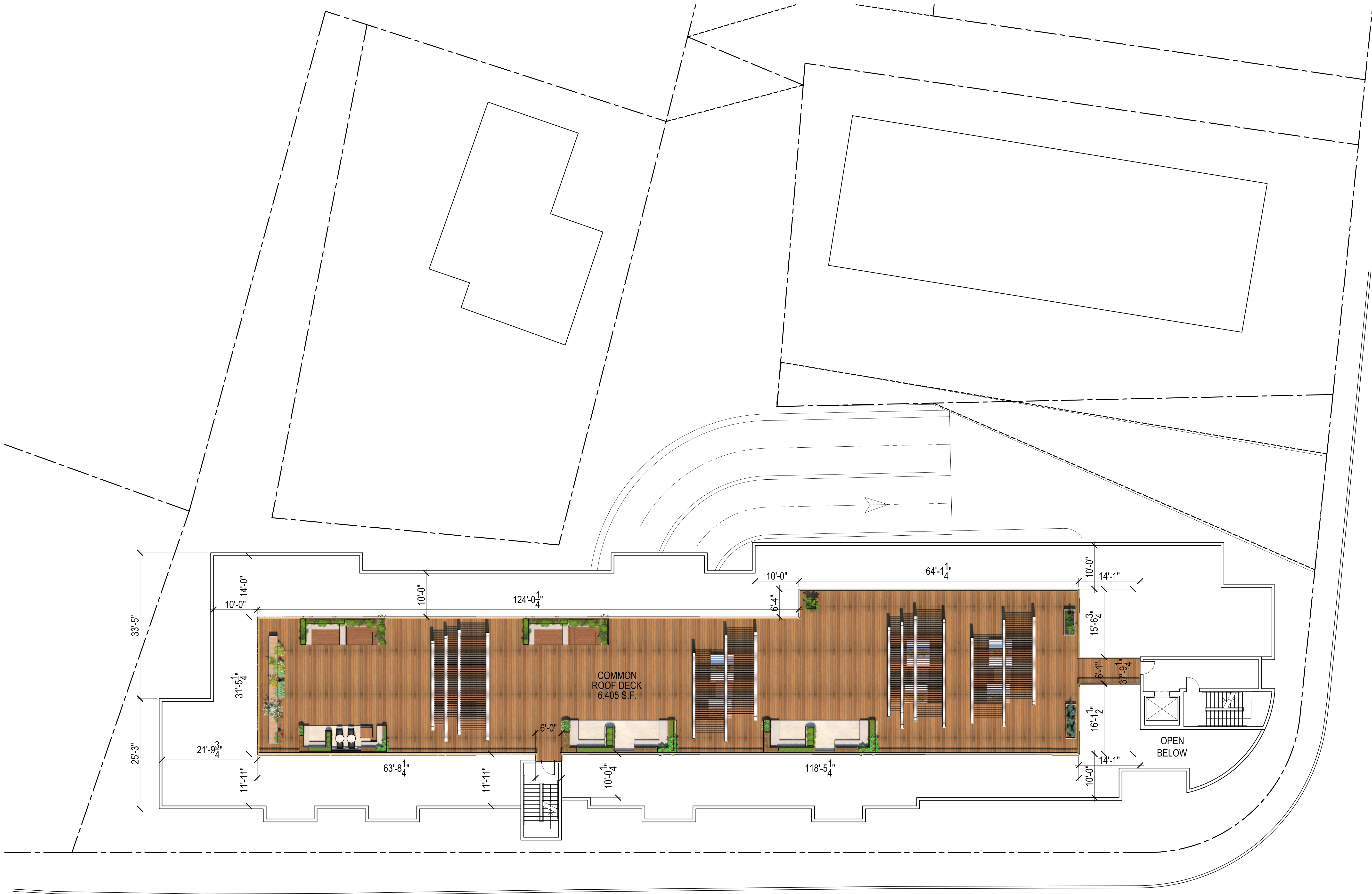
213-217 WASHINGTON STREET
WEYMOUTH MA, 02184

PROJECT #
21-072
DATE: 03-14-23
REV:
SCALE:
3/32" = 1'-0"
DRAWN BY:
L.P./R.P.B.
CHECKED BY:
W.C.

PROPOSED FIRST FLOOR
PLAN

A2

REV.	DATE	DESCRIPTION
	X-XX-XX	XXX



ROOF DECK PLAN

GENERAL NOTE:
VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN
PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS.
NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND
APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

686 ARCHITECTS

1156 Dorchester Avenue Dorchester, Massachusetts 02125 Tel: 617-282-0030

213-217 WASHINGTON STREET
WEYMOUTH MA, 02184

PROJECT #
21-072

DATE: 11-22-21
REV:

SCALE:
3/32" = 1'-0"

DRAWN BY:
L.P.

CHECKED BY:
W.C.

PROPOSED ROOF DECK

A4

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

GENERAL NOTE:
VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN
PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS.
NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND
APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

686 ARCHITECTS

1156 Dorchester Avenue
Dorchester, Massachusetts 02125
Tel: 617-282-0030

213-217 WASHINGTON STREET
WEYMOUTH MA, 02184

PROJECT #
21-072
DATE: 10-19-21
REV:
SCALE: 3/32" = 1'-0"
DRAWN BY: L.P.
CHECKED BY: W.C.

PROPOSED ELEVATIONS

A5

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



GENERAL NOTE:
VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN
PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS.
NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND
APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

686 ARCHITECTS

1156 Dorchester Avenue
Dorchester, Massachusetts 02125
Tel: 617-282-0030

213-217 WASHINGTON STREET
WEYMOUTH MA, 02184

PROJECT #
21-072

DATE: 10-19-21
REV:

SCALE:
3/32" = 1'-0"

DRAWN BY:
L.P.

CHECKED BY:
W.C.

3D RENDERS

A6

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



686 ARCHITECTS

1156 Dorchester Avenue
Dorchester, Massachusetts 02125
Tel: 617-282-0030

213-217 WASHINGTON STREET
WEYMOUTH MA, 02184

PROJECT #
21-072

DATE: 10-19-21
REV:

SCALE:
3/32" = 1'-0"

DRAWN BY:
L.P.

CHECKED BY:
W.C.

3D RENDERS

A7

GENERAL NOTE:
VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN
PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS.
NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND
APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.



