

DRAWING REVISIONS		
ACTION	DATE	DESCRIPTION

**DATAS:**  
ELEVATIONS SHOWN HEREON REFERENCE AN ASSUMED VERTICAL DATUM.

**REMARKS:**  
LOCUS LIES IN F.I.R.M. ZONE X AS SHOWN ON COMMUNITY PANEL NO. 2502/00226 DATED JULY 17, 2012.

LOCUS LIES WITHIN THE TOWN OF WEYMOUTH WATERSHED PROTECTION DISTRICT ACCORDING TO CURRENT PROPERTY RECORD CARD.

**OWNER OF RECORD:**  
ROBERT H. SMART, TRUSTEE OF THE ROBERT H. SMART FAMILY TRUST - 2001  
RUTH SCOTT, TRUSTEE OF THE RUTH SCOTT FAMILY TRUST - 2001  
560 WASHINGTON STREET  
WEYMOUTH, MA 02188  
ASSESSOR'S PARCEL: #29-330-3  
DEED BOOK: 15086, PAGE: 66  
DEED BOOK: 15083, PAGE: 569

**PLAN REFERENCES:**  
1. LAND COURT PLAN NO. 35395A  
2. LAND COURT PLAN NO. 28000A  
3. LAND COURT PLAN NO. 28233C

**UTILITIES:**  
UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON VISIBLE ABOVE GROUND UTILITIES AND RECORD INFORMATION OF BELOW GROUND UTILITIES AND ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL NECESSARY PRECAUTIONS BEFORE BEGINNING ANY EXCAVATION. (DIGSAFE 1-800-322-4844)

**SURVEY NOTES:**  
1. ALL MONUMENTS SHOWN HEREON WERE FOUND AND FIELD LOCATED BY CAVANARO CONSULTING, INC. ON SEPTEMBER 7, 2018.  
2. ANY EASEMENTS SHOWN HEREON ARE IN ACCORDANCE WITH CURRENT DEED DESCRIPTIONS AND/OR THOSE THAT ARE VISIBLE OR OF PUBLIC RECORD. LEGAL STATUS OF SAID EASEMENTS ARE NOT KNOWN.  
3. RESOURCE AREA SHOWN HEREON IS APPROXIMATE ONLY AS SHOWN ON MA DEP RECORD MAPPING. SITE IS CURRENTLY UNDER REVIEW BY A BOTANIST FOR POTENTIAL RESOURCE AREAS ON/WITHIN 100 FEET OF LOCUS PARCEL.

**EXISTING CONDITIONS NOTE:**  
THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE SITE CONDITIONS FOUND AT THE TIME OF FIELD SURVEY CONDUCTED BY CAVANARO CONSULTING, INC. CAVANARO CONSULTING, INC. HAS NOT PREPARED AND/OR PROVIDED ANY PERMIT PLANS FOR THIS PROJECT TO DATE. THE STATUS OF ANY OPEN PERMITS IS NOT KNOWN. THIS PLAN DOES NOT EXPRESS OR IMPLY COMPLIANCE WITH CURRENT ZONING BYLAWS AND/OR OTHER REGULATORY AGENCY THRESHOLDS.

draft

SCALE: 1" = 30'

0' 15' 30' 60' 90'

**CAVANARO CONSULTING**  
687 MAIN STREET  
P.O. BOX 5175  
NORWELL, MASSACHUSETTS 02061  
PHONE: 781.659.8187  
FAX: 781.659.8186

**CERTIFIED PLOT PLAN**  
550-560 WASHINGTON STREET  
WEYMOUTH, MA

PREPARED FOR:  
JENNINGS, JENNINGS & FISHMAN  
775 PLEASANT STREET, SUITE 7  
WEYMOUTH, MA 02189

PROJECT NO. : 19.144	DRAWING NO.
SCALE : AS SHOWN	CPP
DATE : 09/11/19	
DESIGNED BY : -	SHEET NO. 1 OF 1
DRAWN BY : OB	
CHECKED BY : BPS	FILENAME: 2:\projects\2019\19.144\plot\CPP.dwg

LEGEND NOT TO SCALE			
EM	ELECTRIC METER	OT	TRANSFORMER
DMH	DRAIN MANHOLE	HM	HAND HOLE
SMH	SEWER MANHOLE	RD	ROOF DRAIN
CBN	CATCH BASIN	SS	EXIST. CONTOUR
HYD	HYDRANT	WBT	WETLAND BUFFER ZONE
WG	WATER GATE	FZ	FLOOD ZONE
WS	WATER SERVICE	OW	OVERHEAD WIRES
UP	UTILITY POLE	SW	STONE WALL
LT	LIGHT	ET	EXISTING TREES AND SHRUBS
YL	YARD LIGHTING	TL	TREELINE/LANDSCAPE
GV	GAS VALVE	WL	WETLAND LINE
IR	IRRIGATION VALVE		

ZONING REQUIREMENTS LIMITED BUSINESS DISTRICT "B-1"	
AREA	REQUIRED
LOT WIDTH	100 FEET
LOT COVERAGE	50% AND MIN. LANDSCAPED AREA
BUILDING HEIGHT	6 STORIES, NOT TO EXCEED 80 FEET
MINIMUM YARDS:	
FRONT	30 FEET, EXCLUDING SIGN
SIDE	10 FEET
REAR	10 FEET
NOTE: REFER TO CURRENT WEYMOUTH ZONING BY-LAW FOR ADDITIONAL RESTRICTIONS/ REQUIREMENTS THAT MAY BE APPLICABLE.	
ALL YARD LOCATIONS TO BE CONFIRMED WITH BUILDING INSPECTOR PRIOR TO COMPLETION OF FINAL PERMIT PLANS.	

ZONING REQUIREMENTS COMMERCIAL CORRIDOR OVERLAY DISTRICT (AS APPLICABLE TO THE WASHINGTON STREET CORRIDOR)	
BUILDING HEIGHT	REQUIRED
FLOOR AREA RATIO	3 STORY MINIMUM
COVERAGE	5 STORY MAXIMUM AND 70 FEET
	1.00 MAXIMUM
	15% MINIMUM OPEN SPACE
	60% MAXIMUM BUILDING COVERAGE
	75% MAXIMUM IMPERVIOUS MATERIAL
MINIMUM YARDS:	
FRONT	70 FEET MAXIMUM/75 FEET MINIMUM**
SIDE	10 FEET
REAR	15 FEET
* TAKEN AS AN AVERAGE ACROSS THE BUILDING FRONTAGE TO ALLOW FOR A MINIMUM 5' LANDSCAPE AREA ALONG THE FRONTAGE, A ROW OF PARKING, AND A TRAVEL AISLE.	
** THE MINIMUM FRONT YARD SETBACK WILL INCLUDE A MINIMUM 5' LANDSCAPE AREA ALONG THE FRONTAGE.	

**ZONING NOTE:**  
PARCELS WITHIN THE OVERLAY DISTRICT ARE SUBJECT TO EITHER THE ADDITIONAL REQUIREMENTS OF THE OVERLAY DISTRICT OR THE UNDERLYING DISTRICT AT THE APPLICANT'S OPTION. IN CASES WHERE A CONFLICT EXISTS, THE REGULATIONS OF THE OVERLAY ZONING OR THE UNDERLYING ZONING SHALL APPLY. BASED UPON THE SCHEME THE APPLICANT INTENDS TO COMPLY.





LOCUS MAP  
Not to Scale

LAND USAGE TABLES

WEYMOUTH ZBL: TABLE 1 - SCHEDULE OF DISTRICT REGULATIONS  
ARTICLE VII.B: COMMERCIAL CORRIDOR OVERLAY DISTRICT (WASHINGTON ST. CORRIDOR)

LIMITED BUSINESS (B-1) ZONING DISTRICT COMMERCIAL CORRIDOR (CCOD) OVERLAY DISTRICT			
CRITERIA	REQUIRED (B-1)	REQUIRED (CCOD)	PROPOSED
MIN. LOT SIZE	10,000 S.F.	-	72,597 S.F.
MIN. LOT WIDTH	100 FT.	100 FT.	199 FT.
BUILDING HEIGHT	6 STORIES/80 FT. MAX.	3 STORY/45 FT. MIN. 5 STORY/70 FT. MAX.	<5 STORIES
MAX. LOT COVERAGE	50%	75% <sup>(1)</sup>	47.7%
MIN. FRONT YARD DEPTH	30 FT.	25 FT. MIN. (1) 70 FT. MIN. (2)	82.0 FT.
MIN. SIDE YARD DEPTH	10 FT.	10 FT.	10.1 FT.
MIN. REAR YARD DEPTH	10 FT.	15 FT.	142.1 FT.
FLOOR AREA RATIO	-	1.00	X
OPEN SPACE	-	15%	52.3%

TABLE NOTES

- (1) SEC. 120-25.17.B: THE MINIMUM FRONT YARD SETBACK SHALL INCLUDE A MINIMUM 5 FT. LANDSCAPED AREA ALONG THE FRONTAGE.
- (2) SEC. 120-25.17.B: WHEN A SETBACK AVERAGING LESS THAN 70 FT. IS PROPOSED, THE HEIGHT OF THE BUILDING WILL BE LIMITED TO 2 STORIES AND 35 FT. FROM THE FRONT OF THE BUILDING TO THE 70 FT. SETBACK LINE. WHEN THE FRONT SETBACK IS USED FOR PARKING, A MIN. 70 FT. WILL BE PROVIDED TO ALLOW FOR A MIN. 5 FT. LANDSCAPED AREA ALONG THE FRONTAGE, A ROW OF PARKING, AND A TRAVEL AISLE.
- (3) SEC. 120-25.18: MAXIMUM BUILDING COVERAGE OF 60% SHALL APPLY AND ONLY 75% OF THE SITE SHALL BE IMPERVIOUS.

ZBL 120-25.20(A) REQUIRED PARKING & 120-74(D) MINIMUM REQUIRED SPACES

COMPONENT	MINIMUM SPACES	MAXIMUM SPACES	REQUIRED (MIN.)	REQUIRED (MAX.)
STUDIOS & ONE BEDROOM DWELLING UNITS 32 TOTAL UNITS	1.25 PER UNIT	1.5 PER UNIT	40 SPACES	48 SPACES
EATING/DRINKING ESTABLISHMENT 3,000 SF 66 SEATS	2 SPACE FOR EACH 100 SF OF GROSS FLOOR AREA OR 1 SPACE PER 3 SEATS	-	22 SPACES	22 SPACES
				PROVIDED
				62 SPACES (33 EXTERIOR) (29 INTERIOR)

ABBREVIATIONS  
FFB FIRST FLOOR ELEVATION  
BT CONC. BITUMINOUS CONCRETE PAVEMENT  
CCB CAPE COD BEAM  
EP EDGE OF PAVEMENT  
BC BRICK  
(AM) RET. WALL  
CONC. CONCRETE  
RSP REINFORCED CONCRETE PIPE  
VOC VERTICAL GRANITE CURB  
ETW EDGE OF TRAVEL WAY  
MIL METAL BERM  
VCC VERTICAL CONCRETE CURB  
CWP CORRUGATED METAL PIPE  
LSA LANDSCAPED AREA

LEGEND

- SURVEY SYMBOLS
- REDAR
  - ANGLE IRON
  - CONCRETE BOUND WITH DRILL HOLE
  - STONE BOUND
  - STONE BOUND
- UTILITY SYMBOLS
- CHIMNEY
  - ELECTRIC HAND HOLE
  - GUY POLE
  - GUY WIRE
  - HVAC UNIT
  - BUILDING LIGHT W/MAST
  - BUILDING LIGHT
  - TRANSFORMER
  - WATER GATE
  - EXHAUST VENT
  - AIR VENT
  - DRAINAGE SUMP
  - ELECTRIC MANHOLE
  - SEWER MANHOLE
  - DRAIN MANHOLE
  - TELEPHONE MANHOLE
  - DRAINAGE CATCH BASIN
  - DOOR WAY THRESHOLD
  - STORMWATER
  - POST INDICATOR VALVE
  - UTILITY POLE
  - YARD LIGHT
  - RIP RAP
  - BOLLARD
  - SIGN
  - FIRE ALARM
  - DECIDUOUS TREE
  - CONIFEROUS TREE
- LINE DESIGNATORS
- WATER MAIN
  - HANDRAIL
  - JERSEY BARRIER
  - GUARD RAIL
  - OVERHEAD WIRES
  - GAS LINE
  - WATER SERVICE
  - UNDERGROUND ELECTRIC
  - STORM DRAIN LINE
  - SANITARY SEWER LINE
  - DRAINAGE SWALE
  - CHAIN LINK FENCE

RIVERFRONT AREA CALCULATIONS

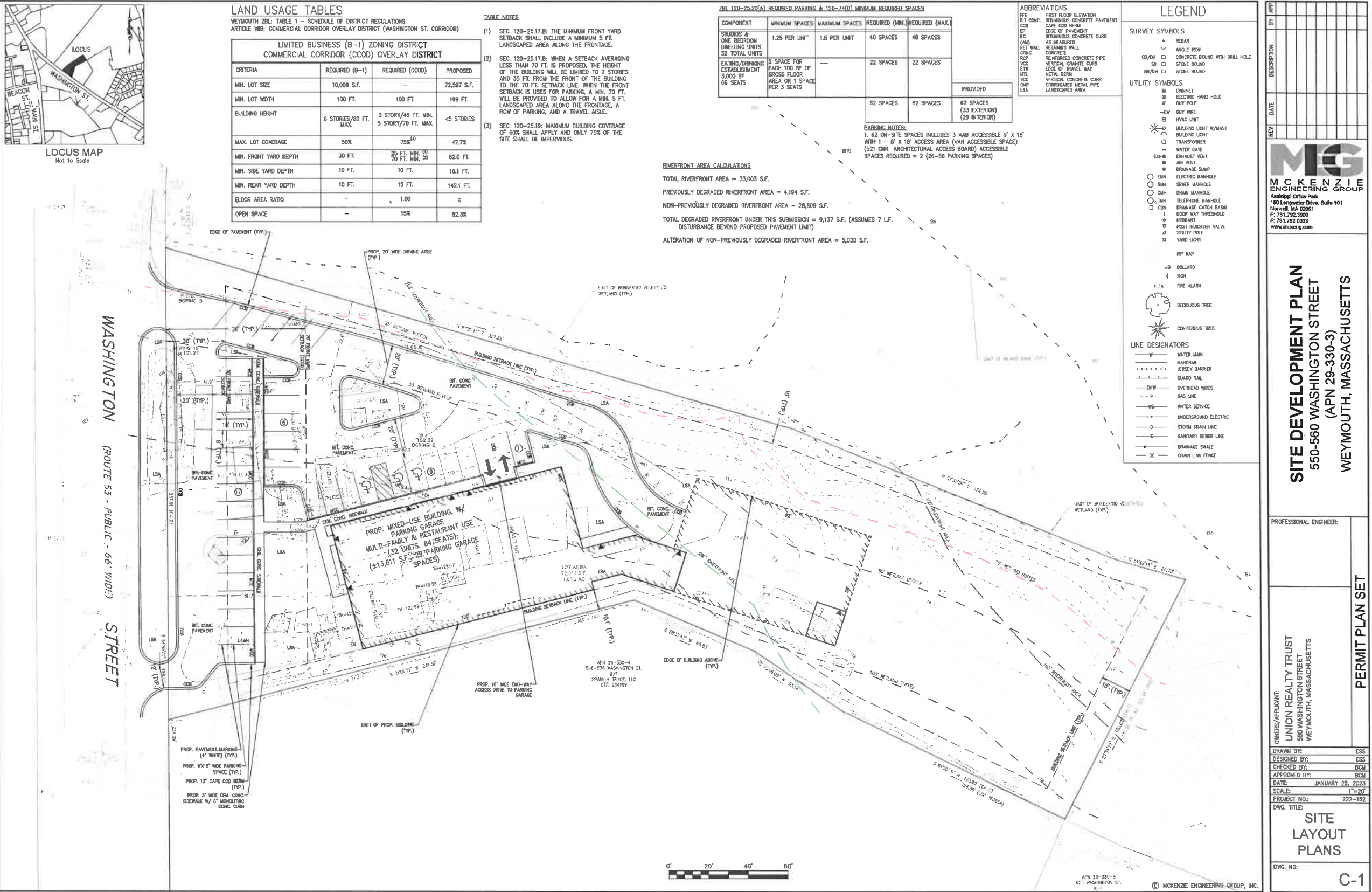
TOTAL RIVERFRONT AREA = 33,003 S.F.

PREVIOUSLY DEGRADED RIVERFRONT AREA = 4,184 S.F.

NON-PREVIOUSLY DEGRADED RIVERFRONT AREA = 28,809 S.F.

TOTAL DEGRADED RIVERFRONT UNDER THIS SUBMISSION = 9,137 S.F. (ASSUMES 7 L.F. DISTURBANCE BEYOND PROPOSED PAVEMENT LIMIT)

ALTERATION OF NON-PREVIOUSLY DEGRADED RIVERFRONT AREA = 5,000 S.F.



**SITE DEVELOPMENT PLAN**  
550-560 WASHINGTON STREET  
(APN 29-330-3)  
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:

OWNERS/APPLICANT:  
UNION REALTY TRUST  
550 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS

DRAWN BY: ESS  
DESIGNED BY: ESS  
CHECKED BY: BCM  
APPROVED BY: BCM  
DATE: JANUARY 25, 2023  
SCALE: 1"=20'  
PROJECT NO.: 222-182  
DWG. TITLE:

**SITE  
LAYOUT  
PLANS**

DWG. NO:

**C-1**

PERMIT PLAN SET