

LOCUS MAP  
Not to Scale

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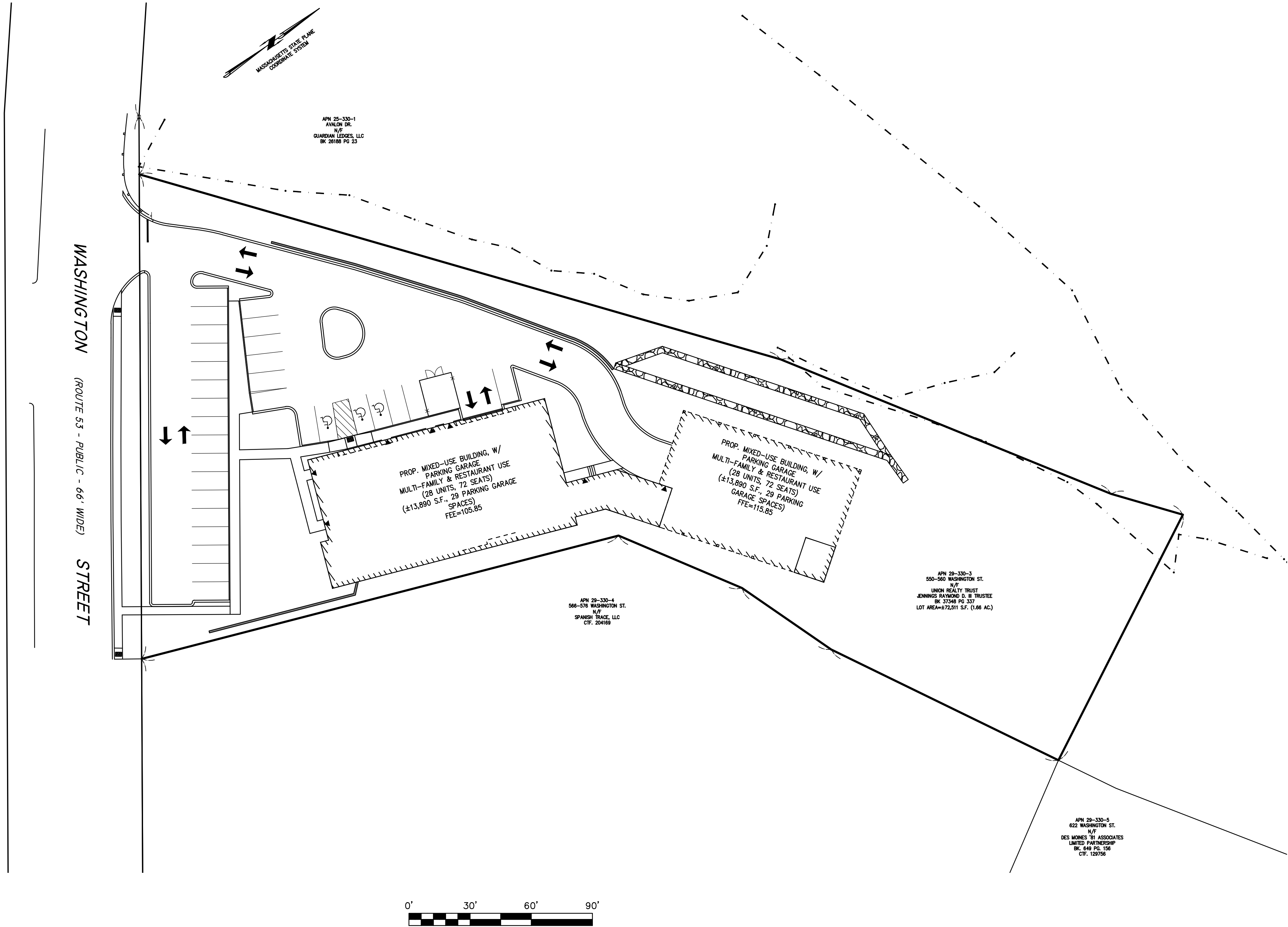
Owner/Applicant:

UNION REALTY TRUST  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

Engineer/Surveyor:

MCKENZIE ENGINEERING GROUP, INC.  
150 LONGWATER DRIVE  
SUITE 101  
NORWELL, MASSACHUSETTS 02061

# SITE DEVELOPMENT PLAN 550-560 WASHINGTON STREET (APN 29-330-3) IN WEYMOUTH, MASSACHUSETTS



ISSUE DATE: MARCH 24, 2023

REV	DATE	DESCRIPTION	BY	APP

**MG**  
MCKENZIE  
ENGINEERING GROUP  
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**SITE DEVELOPMENT PLAN**  
550-560 WASHINGTON STREET  
(APN 29-330-3)  
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:

OWNERS/APPLICANT:  
UNION REALTY TRUST  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

PERMIT PLAN SET

DRAWN BY:	ESS
DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	1" = 30'
PROJECT NO.:	221-187
DWG. TITLE:	COVER SHEET

DWG. NO:

**CS-1**

ABBREVIATIONS

ABAN	ABANDONED
ACP	ASBESTOS CEMENT PIPE
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
ASPH	ASPHALT
ACOMP	ASPHALT COATED CORRUGATED METAL PIPE
B	BOLLARD
BD	BOUND
BLDG	BUILDING
BIT CONC	BITUMINOUS CONCRETE
BM	BENCHMARK
BS	BOTTOM OF SLOPE
CAP	CORRUGATED ALUMINUM PIPE
CB	CATCH BASIN
C&C	CUT AND CAPPED
CB/DH	CONC. BOUND/DRILL HOLE
CB/EP/LP	CB/ESCUTCHEON
OCB	CAPE COD BERM
CIP	CAST IRON PIPE
CIT	CHANGE IN TYPE
C	CENTERLINE
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC	CONCRETE
COND	CONDUIT
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CS	COMBINED SEWER
CSMH	COMBINED SEWER MANHOLE
CULV	CULVERT
Δ	DELTA ANGLE
D	DRAIN
DCB	DOUBLE CATCH BASIN
DIP	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
E	ELECTRIC
ECC	EXTRUDED CONCRETE CURB
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
E/T/C	ELECTRIC, TELEPHONE, & CABLE TV
EW	END WALL
EXIST	EXISTING
FAB	FIRE ALARM BOX
FES	FLARED END SECTION
FND	FOUND
FND	FOUNDATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
G	GAS
GD	GROUND
GG	GAS GATE
GIP	GALVANIZED IRON PIPE
GP	GUARD POST
GS	GAS SERVICE
GR	GUARD RAIL
GRAN.	GRANITE
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HOR	HORIZONTAL
HP	HIGH PRESSURE
HWL	HEADWALL
HYD	HYDRANT
INV	INVERT
I.P.	IRON PIN
I.R.	IRON ROD
L	LEAD
LSA	LANDSCAPED AREA
LP	LIGHT POLE
MAX	MAXIMUM
MC	METAL COVER
MCC	MONOLITHIC CONCRETE CURB
MH	MANHOLE
MHB	MASS. HIGHWAY BOUND
MIN	MINIMUM
MLP	METAL LIGHT POLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PB	PULL BOX
PE	POLYETHYLENE PIPE
P	PROPERTY LINE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
PVM	PAVEMENT
PWW	PAVED WATER WAY
RCP	REINFORCED CONCRETE PIPE
REM	REMOVE
REMOD	REMODEL
RET	RETAIN
ROW	RIGHT OF WAY
RR	RAILROAD
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
S	SEWER
SB	STONE BOUND
SB/DH	STONE BOUND/DRILL HOLE
SGE	SLOPED GRANITE EDGING
SMH	SEWER MANHOLE
STA	STATION
SS	SEWER SERVICE
STL	STEEL
SW	SIDEWALK
T	TELEPHONE
TCB	TRAFFIC CONTROL BOX
TL	TRAFFIC LIGHT
TMH	TELEPHONE MANHOLE
T	TREE
TRANS	TRANSFORMER
TS	TOP OF SLOPE
TSV	TAPPING SLEEVE, VALVE AND BOX
TYP	TYPICAL
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
VERT	VERTICAL
VGC	VERTICAL GRANITE CURB
W	WATER MAIN
WG	WATER GATE

LEGEND

Existing	Proposed	Description
x 100.50	+ 100.50	SPOT ELEVATIONS
100.50	100.50	TOP & BOTTOM ELEVATIONS
100.00	100.00	
100.50	100.50	SPOT ELEVATIONS WITH LEADER
		HYDRANT
		WATER GATE VALVE
		WELL
		GAS GATE
		ELECTRIC HANDHOLE
		LIGHT POLE
		UTILITY POLE
		GUY POLE
		GUY ANCHOR
		DRAIN MANHOLE
		SEWER MANHOLE
		CATCH BASIN
		DOUBLE CATCH BASIN
		TEST PIT
		BORING
		SIGN SINGLE POST
		GRANITE OR CONCRETE BOUND
		WETLAND FLAG
		EXISTING BUILDING
		PROPOSED BUILDING
		MAJOR CONTOUR
		MINOR CONTOUR
		CHAINLINK FENCE
		CABLE TV LINE
		ELECTRIC, TELEPHONE, CABLE TV DUCTBANK
		OVERHEAD ELECTRIC
		NATURAL GAS LINE
		SANITARY SEWER MAIN
		DRAIN PIPE
		TELEPHONE LINE
		WATER MAIN
		FIRE PROTECTION LINE
		RETAINING WALL
		TREE LINE
		HAYBALE & SILT FENCE
		LIMIT BORDERING VEGETATED WETLAND RESOURCE(1)
		100' WETLAND BUFFER ZONE

GENERAL NOTES

SURVEY NOTES:

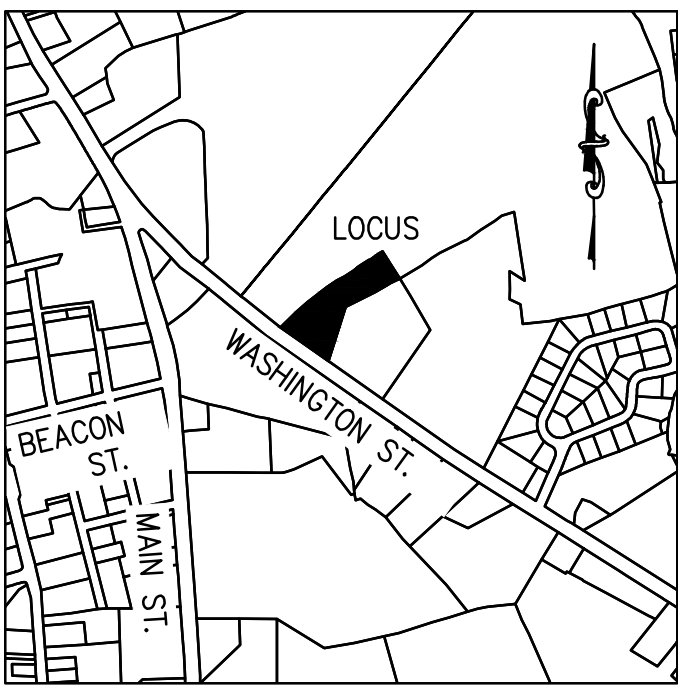
- LOCUS IS SHOWN AS PARCEL NUMBER 29-330-3 ON THE TOWN OF WEYMOUTH ASSESSORS MAPS.
- DEED TO LOCUS IS RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS AT BOOK 37348, PAGE 337.
- OWNER: N/F RAYMOND D. JENNINGS III, TRUSTEE OF UNION REALTY TRUST.
- THIS SURVEY WAS MADE ON THE GROUND IN OCTOBER OF 2022 BY MCKENZIE ENGINEERING GROUP, INC.
- ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- WETLAND RESOURCE AREAS WERE DELINEATED BY ENVIRONMENTAL CONSULTING & RESTORATION, LLC ON JULY 7, 2021.
- LOCUS IS ZONED LIMITED BUSINESS (B-1)
- MINIMUM SETBACK REQUIREMENTS:  
FRONT YARD 30'  
SIDE YARD 10'  
REAR YARD 10'
- LOCUS IS SITUATED IN ZONE X AS SHOWN ON F.I.R.M. No 25021C0229E, EFFECTIVE JULY 17, 2012.
- LOCUS IS LOCATED IN THE TOWN OF WEYMOUTH LIMITED BUSINESS (B-1) ZONING DISTRICT AND COMMERCIAL CORRIDOR OVERLAY (CCOD) DISTRICT, WASHINGTON STREET CORRIDOR.
- LOCUS IS NOT LOCATED IN A DEP ZONE 2. LOCUS IS LOCATED IN THE TOWN OF WEYMOUTH WATERSHED PROTECTION DISTRICT.
- UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.
- PLAN REFERENCES:  
L.C. PLAN NO. 35395A  
L.C. PLAN NO. 29909A  
PL. BK. 391, PLAN NO. 325 OF 1990  
LAYOUT PLAN NO. 1640 (1915)

DRAINAGE NOTES:

- ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTH MOVING ACTIVITIES.
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES, ADDITIONAL SILTATION FENCING AND FILTER FABRIC FOR INSTALLATION AS DIRECTED BY THE TOWN TO MITIGATE ANY EMERGENCY CONDITIONS.
- UPON COMPLETION OF ALL SITE WORK THE CONTRACTOR SHALL INSPECT ALL ON-SITE AND OFF-SITE CATCH BASINS (THAT RECEIVED CATCH BASIN PROTECTION) AND DRAINAGE MANHOLES AND REMOVE ALL SEDIMENT AND DEBRIS THAT HAS ACCUMULATED DURING THE COURSE OF CONSTRUCTION.
- UNSATURABLE SOILS AND LIMITS OF THE SUBSURFACE INFILTRATION SYSTEMS SHALL BE REMOVED PRIOR TO INSTALLATION OF THE SYSTEM. THE BOTTOM OF EXCAVATION SHALL BE INSPECTED BY THE PROJECT ENGINEER PRIOR TO THE PLACEMENT OF THE SUBSURFACE CHAMBERS.
- SUBSURFACE INFILTRATION SYSTEM SUBSOIL SHALL BE OVEREXCAVATED UNTIL THE NATIVE SAND MATERIALS ARE ENCOUNTERED. THE SUBSURFACE INFILTRATION SYSTEM SHALL BE PLACED OVER IMPORTED SAND CONFORMING WITH THE REQUIREMENTS OF THE MASSACHUSETTS SANITARY CODE (TITLE V) AS NEEDED.

UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- THE CONTRACTOR SHALL COORDINATE ALL STREET WORK WITH THE WEYMOUTH DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR SHALL EXCAVATE THE TEST PITS PRIOR TO INSTALLING THE DOMESTIC WATER SERVICE TO VERIFY THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING ANY WORK.
- ALL WATER AND FIRE SERVICES SHALL BE INSTALLED WITH 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
- THE DOMESTIC WATER AND FIRE SERVICES SHALL BE CEMENT LINED DUCTILE IRON (C.L.D.I.) AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED TAPPING SLEEVE, GATE VALVE AND BOX.
- ALL WATER SERVICE APPURTENANCES, MATERIALS, METHODS OF INSTALLATION SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- THE DOMESTIC WATER SERVICE SHALL BE ADEQUATELY PROTECTED AGAINST BACKFLOW (BACKFLOW PREVENTION) AT THE BUILDING.
- AFTER PRESSURE TESTING AND CHLORINATION IS COMPLETED, SAMPLES SHALL BE TAKEN FROM THE DOMESTIC WATER SERVICE AND SHALL BE TESTED AT 200 PSI FOR A MINIMUM OF 2 HOURS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE WEYMOUTH WATER DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE TESTING.
- THE DOMESTIC WATER SERVICE SHALL BE TESTED IN ACCORDANCE WITH DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. A MINIMUM OF 2 SEPARATE WATER SAMPLES SHALL BE TESTED AT A STATE CERTIFIED LABORATORY.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER SERVICES AND WATER SERVICE. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER SERVICE THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER SERVICE. ALL OTHER UTILITIES REQUIRE MINIMUM 5' SEPARATION FROM OTHER UTILITIES.
- ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- THE LOCATIONS OF PROPOSED ELECTRIC, TELEPHONE AND COMMUNICATION (E.T.C.) SERVICES ARE APPROXIMATE. THE PROJECT ELECTRICAL ENGINEER SHALL VERIFY THESE LOCATIONS PRIOR TO THE START OF CONSTRUCTION. COORDINATE ALL E.T.C. WORK WITH THE APPROPRIATE UTILITY COMPANIES.
- THE PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL COORDINATE THE GAS SERVICE INSTALLATION WITH THE MUNICIPAL GAS COMPANY.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH WEYMOUTH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- ALL EXISTING UTILITIES WITHIN THE SITE ARE TO BE REMOVED UNLESS OTHERWISE STATED TO REMAIN.
- IF DURING THE CONSTRUCTION PROCESS THE NEED FOR EXCAVATION DEWATERING ARISES, A DEWATERING FILTER PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROPRIATE STORMWATER MANAGEMENT AND ENGINEERING PRACTICES.



LOCUS MAP  
Not to Scale

REV	DATE	DESCRIPTION	BY	APP

**MCKENZIE**  
ENGINEERING GROUP  
Assinippi Office Park  
150 Longwater Drive, Suite 101  
Norwell, MA 02061  
P: 781.792.3900  
F: 781.792.0333  
www.mckeng.com

**SITE DEVELOPMENT PLAN**  
**550-560 WASHINGTON STREET**  
**(APN 29-330-3)**  
**WEYMOUTH, MASSACHUSETTS**

PROFESSIONAL ENGINEER:

OWNERS/APPLICANT:  
**UNION REALTY TRUST**  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

PERMIT PLAN SET

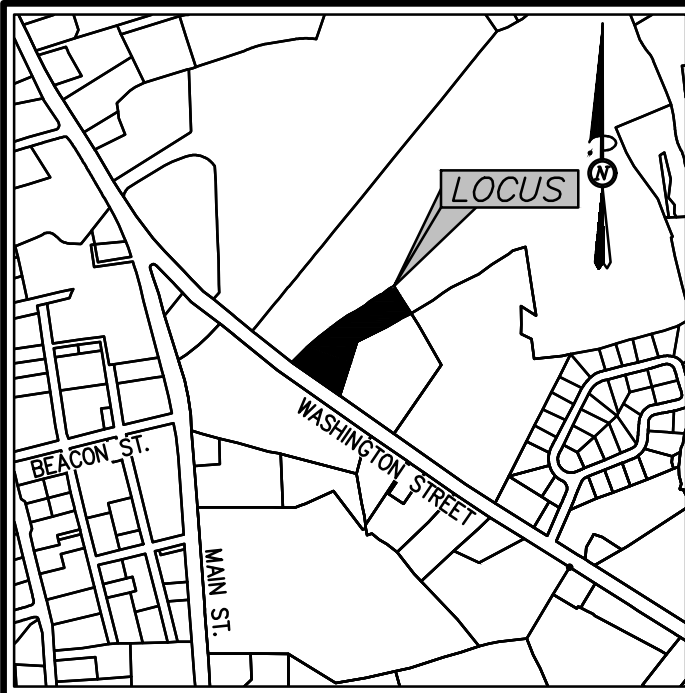
DRAWN BY:	ESS
DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	
PROJECT NO.:	221-187
DWG. TITLE:	

**LEGEND,**  
**ABBREVIATIONS**  
**& GENERAL**  
**NOTES**

DWG. NO:

**L-1**





LOCUS MAP

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L.C. PLAN NO. 35395A  
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PL. BK. 391, PLAN NO. 325 OF 1990  
LAYOUT PLAN NO. 1640 (1915)

ABBREVIATIONS

FTE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET. WALL	RETAINING WALL
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
VGC	VERTICAL GRANITE CURB
ETW	EDGE OF TRAVEL WAY
MTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE

LEGEND

SURVEY SYMBOLS

- REBAR
- ANGLE IRON
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND
- STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT

LINE DESIGNATORS

- WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- OVERHEAD WIRES
- GAS LINE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DRAINAGE SWALE
- CHAIN LINK FENCE

EXISTING CONDITION PLAN  
(ASSESSOR'S PARCEL ID 29-330-3)  
550-560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL SURVEYOR:

OWNERS/APPLICANT:  
UNION REALTY TRUST  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY: ESS  
DESIGNED BY:  
CHECKED BY: RTJH  
APPROVED BY: RJH  
DATE: MARCH 17, 2023  
SCALE: 1"=20'  
PROJECT NO.: 222-182  
DWG. TITLE:

EXISTING CONDITIONS PLAN

DWG. NO.: EX-1

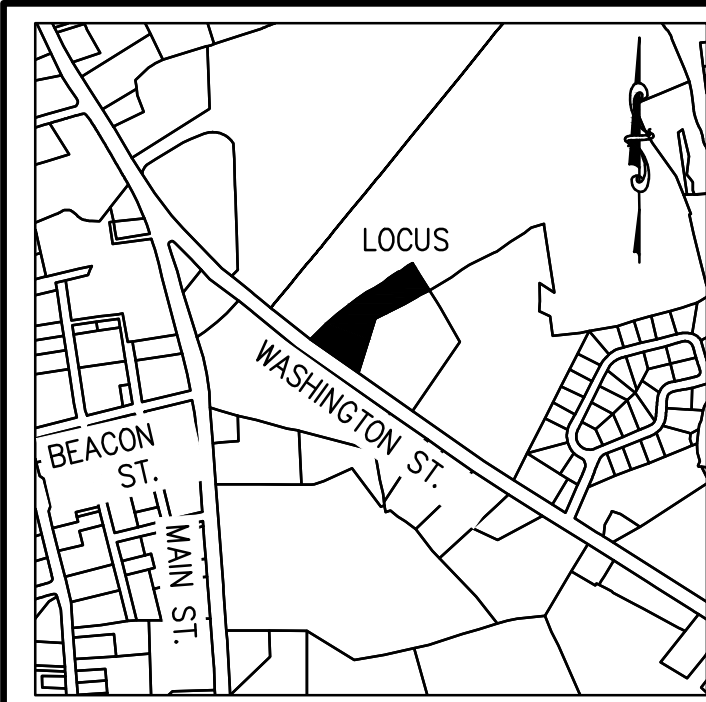
NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY CONDUCTED BY MCKENZIE ENGINEERING GROUP, INC. IN OCTOBER, 2022.

RICHARD J. HOOD, PLS DATE







LOCUS MAP  
Not to Scale

## LAND USAGE TABLES

WEYMOUTH ZBL: TABLE 1 - SCHEDULE OF DISTRICT REGULATIONS  
ARTICLE VIIB: COMMERCIAL CORRIDOR OVERLAY DISTRICT (WASHINGTON ST. CORRIDOR)

LIMITED BUSINESS (B-1) ZONING DISTRICT COMMERCIAL CORRIDOR (CCOD) OVERLAY DISTRICT			
CRITERIA	REQUIRED (B-1)	REQUIRED (CCOD)	PROPOSED
MIN. LOT SIZE	10,000 S.F.	—	72,597 S.F.
MIN. LOT WIDTH	100 FT.	100 FT.	199 FT.
BUILDING HEIGHT	6 STORIES/80 FT. MAX.	3 STORY/45 FT. MIN. 5 STORY/70 FT. MAX.	<5 STORIES
MAX. LOT COVERAGE	50%	75% <sup>(3)</sup>	48.0%
MIN. FRONT YARD DEPTH	30 FT.	25 FT. MIN. <sup>(1)</sup> 70 FT. MIN. <sup>(2)</sup>	82.0 FT.
MIN. SIDE YARD DEPTH	10 FT.	10 FT.	10.1 FT.
MIN. REAR YARD DEPTH	10 FT.	15 FT.	142.1 FT.
FLOOR AREA RATIO	—	1.00	0.29
OPEN SPACE	—	15%	53.1%

### TABLE NOTES

- SEC. 120-25.17.B: THE MINIMUM FRONT YARD SETBACK SHALL INCLUDE A MINIMUM 5 FT. LANDSCAPED AREA ALONG THE FRONTAGE.
- SEC. 120-25.17.B: WHEN A SETBACK AVERAGING LESS THAN 70 FT. IS PROPOSED, THE HEIGHT OF THE BUILDING WILL BE LIMITED TO 2 STORIES AND 35 FT. FROM THE FRONT OF THE BUILDING TO THE 70 FT. SETBACK LINE. WHEN THE FRONT SETBACK IS USED FOR PARKING, A MIN. 70 FT. WILL BE PROVIDED TO ALLOW FOR A MIN. 5 FT. LANDSCAPED AREA ALONG THE FRONTAGE, A ROW OF PARKING, AND A TRAVEL AISLE.
- SEC. 120-25.19: MAXIMUM BUILDING COVERAGE OF 60% SHALL APPLY AND ONLY 75% OF THE SITE SHALL BE IMPERVIOUS.

### ZBL 120-25.20(A) REQUIRED PARKING & 120-74(D) MINIMUM REQUIRED SPACES

COMPONENT	MINIMUM SPACES	MAXIMUM SPACES	REQUIRED (MIN.)	REQUIRED (MAX.)
STUDIOS & ONE BEDROOM DWELLING UNITS 28 TOTAL UNITS	1.25 PER UNIT	1.5 PER UNIT	35 SPACES	42 SPACES
EATING/DRINKING ESTABLISHMENT 3,200 SF 72 SEATS	2 SPACE FOR EACH 100 SF OF GROSS FLOOR AREA OR 1 SPACE PER 3 SEATS	—	24 SPACES	24 SPACES
				PROVIDED
				59 SPACES (30 EXTERIOR) (29 INTERIOR)

#### PARKING NOTES:

- 59 ON-SITE SPACES INCLUDES 3 AAB ACCESSIBLE 9' X 18' WITH 1 - 8' X 18' ACCESS AREA (VAN ACCESSIBLE SPACE) (521 CMR: ARCHITECTURAL ACCESS BOARD) ACCESSIBLE SPACES REQUIRED = 3 (51-75 PARKING SPACES)

### ABBREVIATIONS

FTE FIRST FLOOR ELEVATION  
BIT CONC. BITUMINOUS CONCRETE PAVEMENT  
CCB CAPE COD BERM  
EP EDGE OF PAVEMENT  
BC BITUMINOUS CONCRETE CURB  
(AM) AS MEASURED  
RET WALL RETAINING WALL  
CONC. CONCRETE  
RCP REINFORCED CONCRETE PIPE  
VGC VERTICAL GRANITE CURB  
ETW METAL BERM  
WTL METAL BERM  
VCC VERTICAL CONCRETE CURB  
CMP CORRUGATED METAL PIPE  
LSA LANDSCAPED AREA

## LEGEND

### SURVEY SYMBOLS

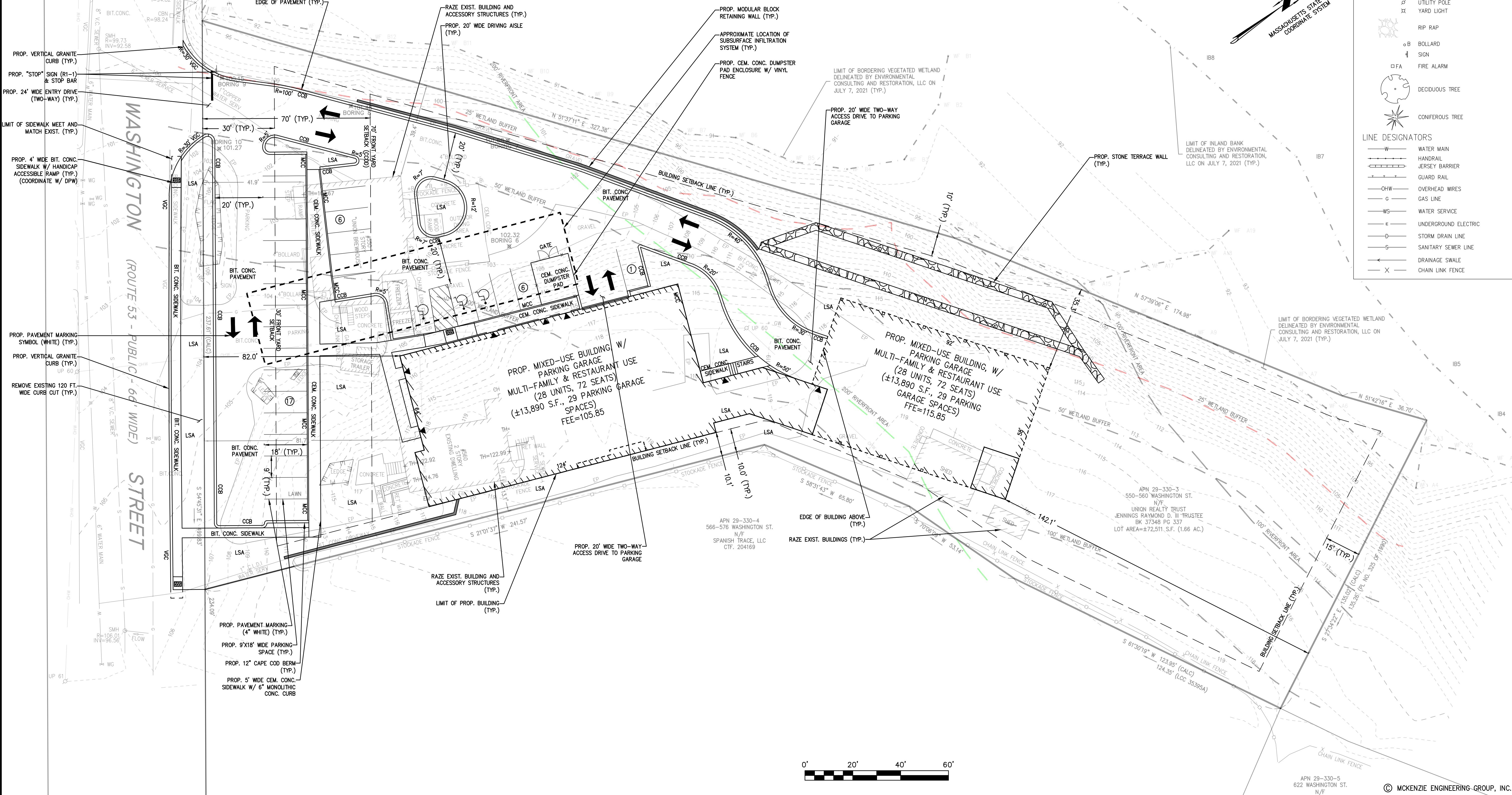
- REBAR
- ✓ ANGLE IRON
- CB/DH CONCRETE BOUND WITH DRILL HOLE
- SB STONE BOUND
- SB/DH STONE BOUND

### UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT
- RIP RAP
- BOLLARD
- SIGN
- FIRE ALARM
- DECIDUOUS TREE
- CONIFEROUS TREE

### LINE DESIGNATORS

- W WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- OHW OVERHEAD WIRES
- G GAS LINE
- WS WATER SERVICE
- E UNDERGROUND ELECTRIC
- S STORM DRAIN LINE
- S SANITARY SEWER LINE
- D DRAINAGE SWALE
- X CHAIN LINK FENCE



BY	APP	DESCRIPTION	DATE	REV

**MCKENZIE ENGINEERING GROUP**  
Assinippi Office Park  
150 Longwater Drive, Suite 101  
Norwell, MA 02061  
P: 781.792.3900  
F: 781.792.0333  
www.mckeng.com

# SITE DEVELOPMENT PLAN

550-560 WASHINGTON STREET  
(APN 29-330-3)

## WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:

OWNERS/APPLICANT:  
**UNION REALTY TRUST**  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

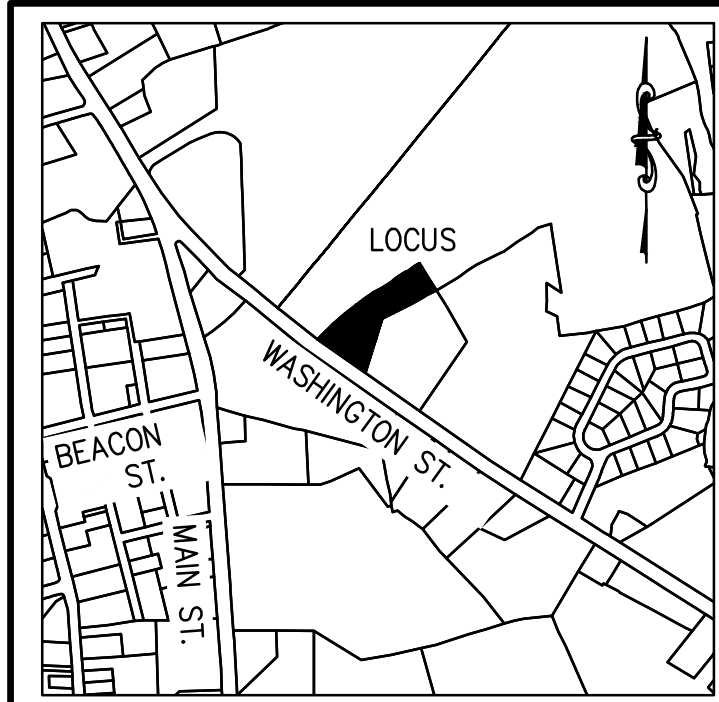
DRAWN BY: ESS  
DESIGNED BY: ESS  
CHECKED BY: BCM  
APPROVED BY: BCM  
DATE: MARCH 24, 2023  
SCALE: 1"=20'  
PROJECT NO.: 222-182  
DWG. TITLE:

## SITE LAYOUT PLAN

DWG. NO.: **C-1**

PERMIT PLAN SET





LOCUS MAP  
Not to Scale

- DRAINAGE NOTES:**
1. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTH MOVING ACTIVITIES.
  2. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES, ADDITIONAL SILTATION FENCING AND FILTER FABRIC FOR INSTALLATION AS DIRECTED BY THE TOWN TO MITIGATE ANY EMERGENCY CONDITIONS.
  3. UPON COMPLETION OF ALL SITE WORK THE CONTRACTOR SHALL INSPECT ALL ON-SITE AND OFF-SITE CATCH BASINS (THAT RECEIVED CATCH BASIN PROTECTION) AND DRAINAGE MANHOLES AND REMOVE ALL SEDIMENT AND DEBRIS THAT HAS ACCUMULATED DURING THE COURSE OF CONSTRUCTION.
  4. UNSUITABLE SOILS AND LEDGE LOCATED WITHIN THE LIMITS OF THE SUBSURFACE INFILTRATION SYSTEMS SHALL BE REMOVED PRIOR TO INSTALLATION OF THE SYSTEM. THE BOTTOM OF EXCAVATION SHALL BE INSPECTED BY THE PROJECT ENGINEER PRIOR TO THE PLACEMENT OF THE SUBSURFACE CHAMBERS.
  5. SUBSURFACE INFILTRATION SYSTEM SUBSOIL SHALL BE OVEREXCAVATED UNTIL THE NATIVE SAND MATERIALS ARE ENCOUNTERED. THE SUBSURFACE INFILTRATION SYSTEM SHALL BE PLACED OVER IMPORTED SAND CONFORMING WITH THE REQUIREMENTS OF THE MASSACHUSETTS SANITARY CODE (TITLE V) AS NEEDED.

**RIVERFRONT AREA CALCULATIONS**

TOTAL RIVERFRONT AREA = 33,003 S.F.

PREVIOUSLY DEGRADED RIVERFRONT AREA = 4,194 S.F.

TOTAL DEGRADED RIVERFRONT AREA UNDER THIS SUBMISSION = 9,137 S.F.

ALTERATION OF NON-PREVIOUSLY DEGRADED RIVERFRONT AREA = 4,943 S.F.

MITIGATION AREA PROVIDED = 11,230 S.F. (2.27:1)

**ABBREVIATIONS**

FTE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET WALL	RETAINING WALL
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
VGC	VERTICAL GRANITE CURB
ETW	EDGE OF TRAVEL WAY
WTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE
LSA	LANDSCAPED AREA

**LEGEND**

**SURVEY SYMBOLS**

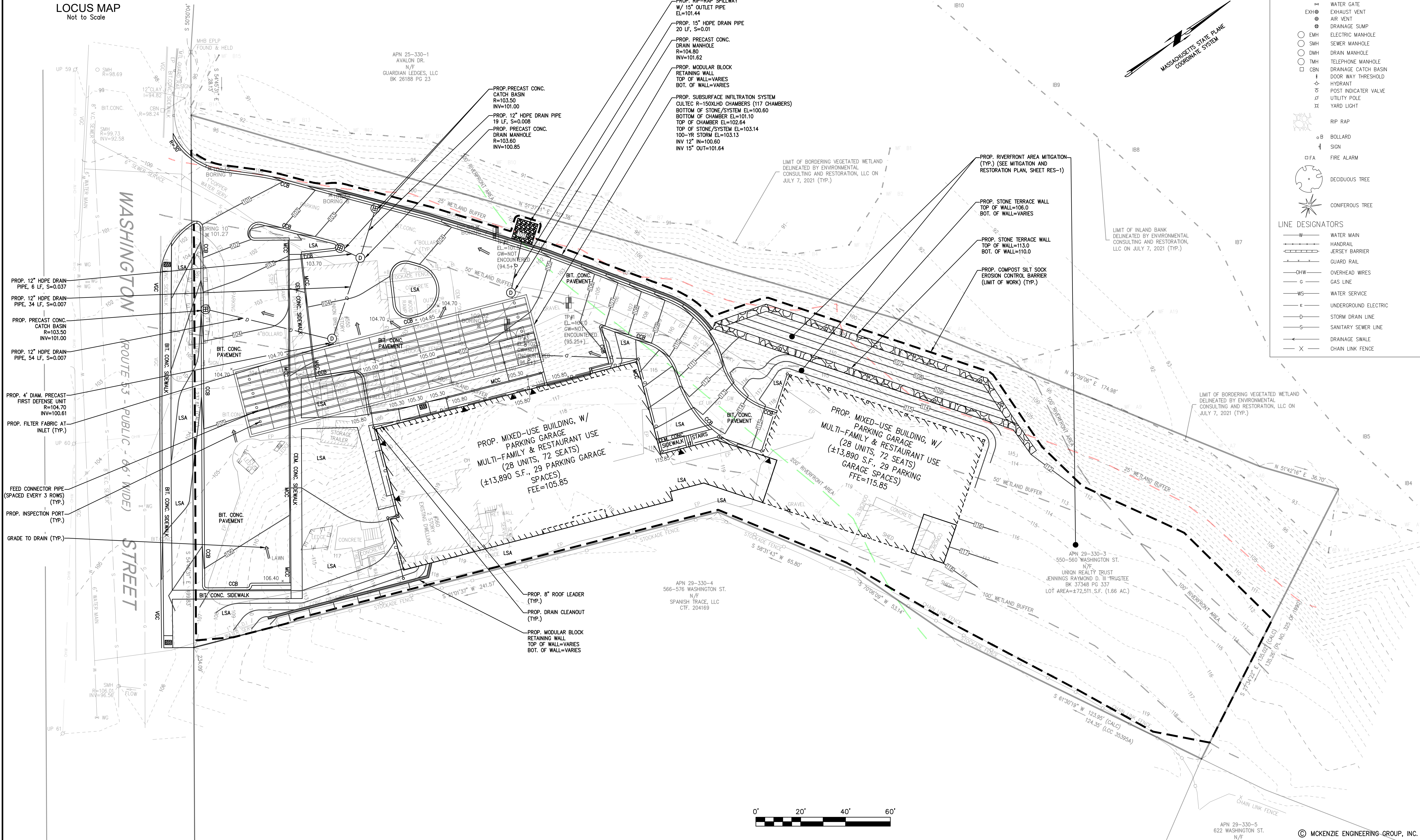
- REBAR
- ✓ ANGLE IRON
- CB/DH □ CONCRETE BOUND WITH DRILL HOLE
- SB □ STONE BOUND
- SB/DH □ STONE BOUND

**UTILITY SYMBOLS**

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- EMH ELECTRIC MANHOLE
- SMH SEWER MANHOLE
- DMH DRAIN MANHOLE
- TMH TELEPHONE MANHOLE
- CSN DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT
- RIP RAP
- BOLLARD
- SIGN
- FIRE ALARM
- DECIDUOUS TREE
- CONIFEROUS TREE

**LINE DESIGNATORS**

- W WATER MAIN
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- GUARD RAIL
- OHW OVERHEAD WIRES
- G GAS LINE
- WS WATER SERVICE
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**SITE DEVELOPMENT PLAN**  
550-560 WASHINGTON STREET  
(APN 29-330-3)

**WEYMOUTH, MASSACHUSETTS**

**PERMIT PLAN SET**

**OWNERS/APPLICANT:**  
UNION REALTY TRUST  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

**DESIGNED BY:** ESS  
**CHECKED BY:** BCM  
**APPROVED BY:** BCM  
**DATE:** MARCH 24, 2023  
**SCALE:** 1"=20'  
**PROJECT NO.:** 222-182  
**DWG. TITLE:** GRADING AND DRAINAGE PLAN  
**DWG. NO.:** C-2

**PROFESSIONAL ENGINEER:**

**MCKENZIE ENGINEERING GROUP**  
Assinippi Office Park  
150 Longwater Drive, Suite 101  
Norwell, MA 02061  
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## ABBREVIATIONS























FFE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET WALL	RETAINING WALL
CONC.	CONCRETE
RPC	REINFORCED CONCRETE PIPE
VCC	VERTICAL GRANITE CURB
ETW	EDGE OF TRAVEL WAY
MTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE
LSA	LANDSCAPED AREA







### LEGEND

## SURVEY SYMBOLS

- REBAR  
 √ ANGLE IRON  
 CB/DH ☐ CONCRETE BOUND WITH DRILL HOLE  
 SB ☐ STONE BOUND  
 SB/DH ☐ STONE BOUND

## UTILITY SYMBOLS

- |   |                       |
|---|-----------------------|
|  | CHIMNEY               |
|  | ELECTRIC HAND HOLE    |
|  | GUY POLE              |
|  | GUY WIRE              |
|  | HVAC UNIT             |
|  | BUILDING LIGHT W/MAS* |
|  | BUILDING LIGHT        |
|  | TRANSFORMER           |
|  | WATER GATE            |
|  | EXHAUST VENT          |
|  | AIR VENT              |
|  | DRAINAGE SUMP         |
|  | ELECTRIC MANHOLE      |
|  | SEWER MANHOLE         |
|  | DRAIN MANHOLE         |
|  | TELEPHONE MANHOLE     |
|  | DRAINAGE CATCH BASIN  |
|  | DOOR W/ THRESHOLD     |
|  | HYDRANT               |
|  | POST INDICATOR VALVE  |
|  | UTILITY POLE          |
|  | YARD LIGHT            |

- |   |                 |
|---|-----------------|
|  | RIP RAP         |
|  | BOLLARD         |
|  | SIGN            |
|  | FIRE ALARM      |
|  | DECIDUOUS TREE  |
|  | CONIFEROUS TREE |

## LINE DESIGNATORS

- |     |                      |
|-----|----------------------|
| W   | WATER MAIN           |
|     | HANDRAIL             |
|     | JERSEY BARRIER       |
| G   | GUARD RAIL           |
| OHW | OVERHEAD WIRES       |
| G   | GAS LINE             |
| WS  | WATER SERVICE        |
| E   | UNDERGROUND ELECTRIC |
| D   | STORM DRAIN LINE     |
| S   | SANITARY SEWER LINE  |
|     | DRAINAGE SWALE       |
| X   | CHAIN LINK FENCE     |

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# SITE DEVELOPMENT PLAN

550-560 WASHINGTON STREET  
(APN 29-330-3)

WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER:

OWNERS/APPLICANT:  
UNION REALTY TRUST  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

PERMIT PLAN SET

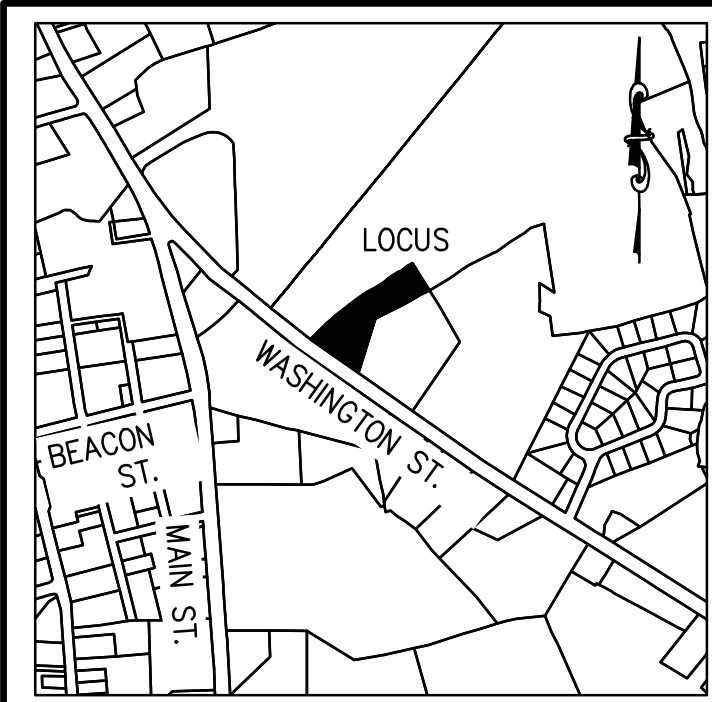
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CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	1"=20'
PROJECT NO.:	222-182
DWG. TITLE:	

# UTILITY PLAN

DWG. NO:

C-3





LOCUS MAP  
Not to Scale

CONSTRUCTION PHASE BMP OPERATION AND MAINTENANCE NOTES:

- STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOCK, EROSION CONTROL BARRIERS, STABILIZED CONSTRUCTION ENTRANCES, CONCRETE WASH STATIONS, STOCKPILE AREAS, AND INLET PROTECTION.
- STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
- OPERATOR PERSONNEL AND/OR ITS CONSULTANTS MUST INSPECT THE CONSTRUCTION SITE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT 1 INCH OR GREATER. THE INSPECTOR SHOULD REVIEW THE EROSION AND SEDIMENT CONTROLS WITH RESPECT TO THE FOLLOWING:
  - WHETHER OR NOT THE BMP WAS INSTALLED/PERFORMED CORRECTLY.
  - WHETHER OR NOT THERE HAS BEEN DAMAGE TO THE BMP SINCE IT WAS INSTALLED OR PERFORMED.
  - WHAT SHOULD BE DONE TO CORRECT ANY PROBLEMS WITH THE BMP.
- THE INSPECTOR SHALL COMPLETE THE INSPECTION SCHEDULE AND EVALUATION CHECKLIST FOR FINDINGS AND SHOULD REQUEST THE REQUIRED MAINTENANCE OR REPAIR.
- ALL SLOPES EXCEEDING 15% RESULTING FROM SITE GRADING SHALL BE BOTH COVERED WITH FOUR INCHES OF TOPSOIL AND PLANTED WITH A VEGETATED COVER SUFFICIENT TO PREVENT EROSION.

CONSTRUCTION SEQUENCE

- TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.
- THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN & PLACE SILTATION FENCE ON THE SITE PLANS.
  - CLEAR AND GRUB UP AS REQUIRED FOR THE CONSTRUCTION OF THE ROADWAY, PARKING AREAS AND RELATED INFRASTRUCTURE.
  - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
  - EXCAVATE TOPSOIL AND SUBSOIL FROM CUT AND FILL AREAS AND STOCKPILE ON SITE IN LOCATIONS SHOWN ON THE PLAN. CONSIDERATION SHOULD BE GIVEN TO LOCATING STOCKPILES ON THE UPHILL SIDE OF DISTURBED AREAS, WHERE POSSIBLE, TO ACT AS TEMPORARY DIVERSIONS.
  - CONSTRUCT CUT AND FILL AREAS, INSTALLING HAYBALE CHECK DAMS AT TOES OF ALL 3:1 OR GREATER SLOPES, AND AT ENDS OF ALL CUT AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS. PLACE ALL SLOPE PROTECTION WHERE INDICATED ON THE PLAN. THE SUBSURFACE INFILTRATION SYSTEM SHALL BE CONSTRUCTED IMMEDIATELY AFTER THE ROADWAY ROUGH GRADING IS COMPLETED AND THE AREA HAS BEEN CLEARED OF VEGETATION.
  - INSTALL CLOSED DRAINAGE SYSTEM AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE COVERED WITH SILTSACK OR EQUIVALENT INLET PROTECTION.
  - GRADE ROADWAY AND PARKING AREAS TO SUBGRADE ELEVATION AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE WARRANTED. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN.
  - EXCAVATE AND CONSTRUCT BUILDING FOUNDATION.
  - PLACE GRAVEL SUBBASE.
  - PLACE THE BITUMINOUS CONCRETE BINDER COURSE ON ROADWAY AND PARKING AREAS.
  - CONSTRUCT BUILDING STRUCTURES AND ASSOCIATED UTILITY CONNECTIONS.
  - GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL SLOPES INTO EXISTING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH.
  - PLACE THE FINAL WEARING COURSE OF PAVEMENT.
  - COMPLETE FINE GRADING OF SHOULDERS AND PLACE PAVEMENT IN MISCELLANEOUS AREAS.
  - REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.

ABBREVIATIONS

FFE	FIRST FLOOR ELEVATION
BIT CONC.	BITUMINOUS CONCRETE PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET WALL	RETAINING WALL
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
VCC	VERTICAL GRANITE CURB
ETW	EDGE OF TRAVEL WAY
WTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE
LSA	LANDSCAPED AREA

LEGEND

SURVEY SYMBOLS

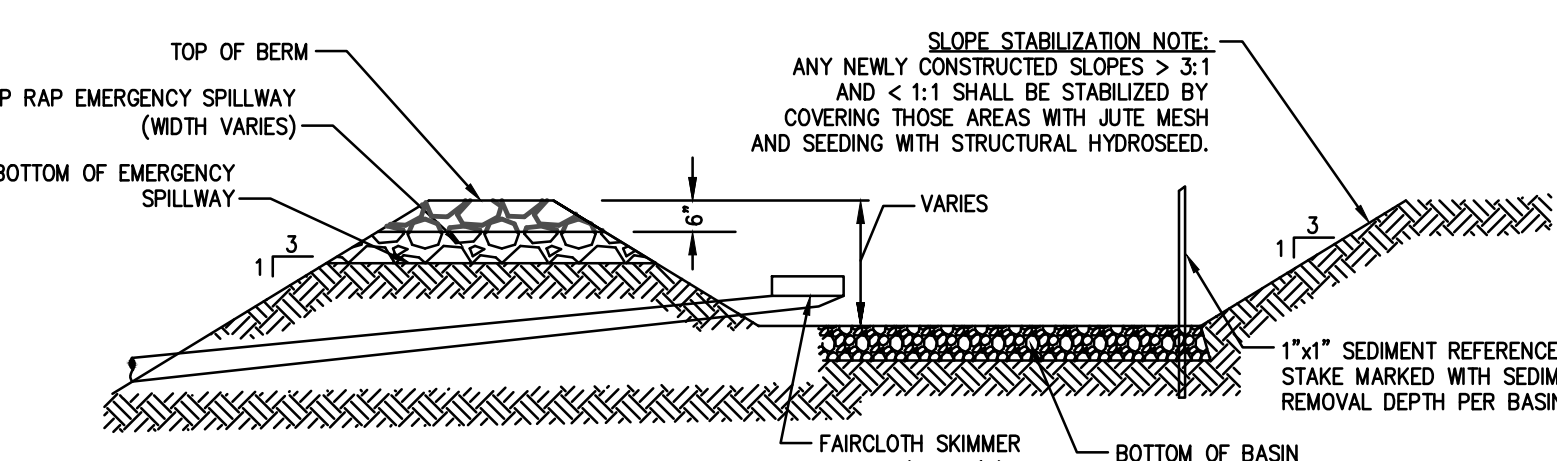
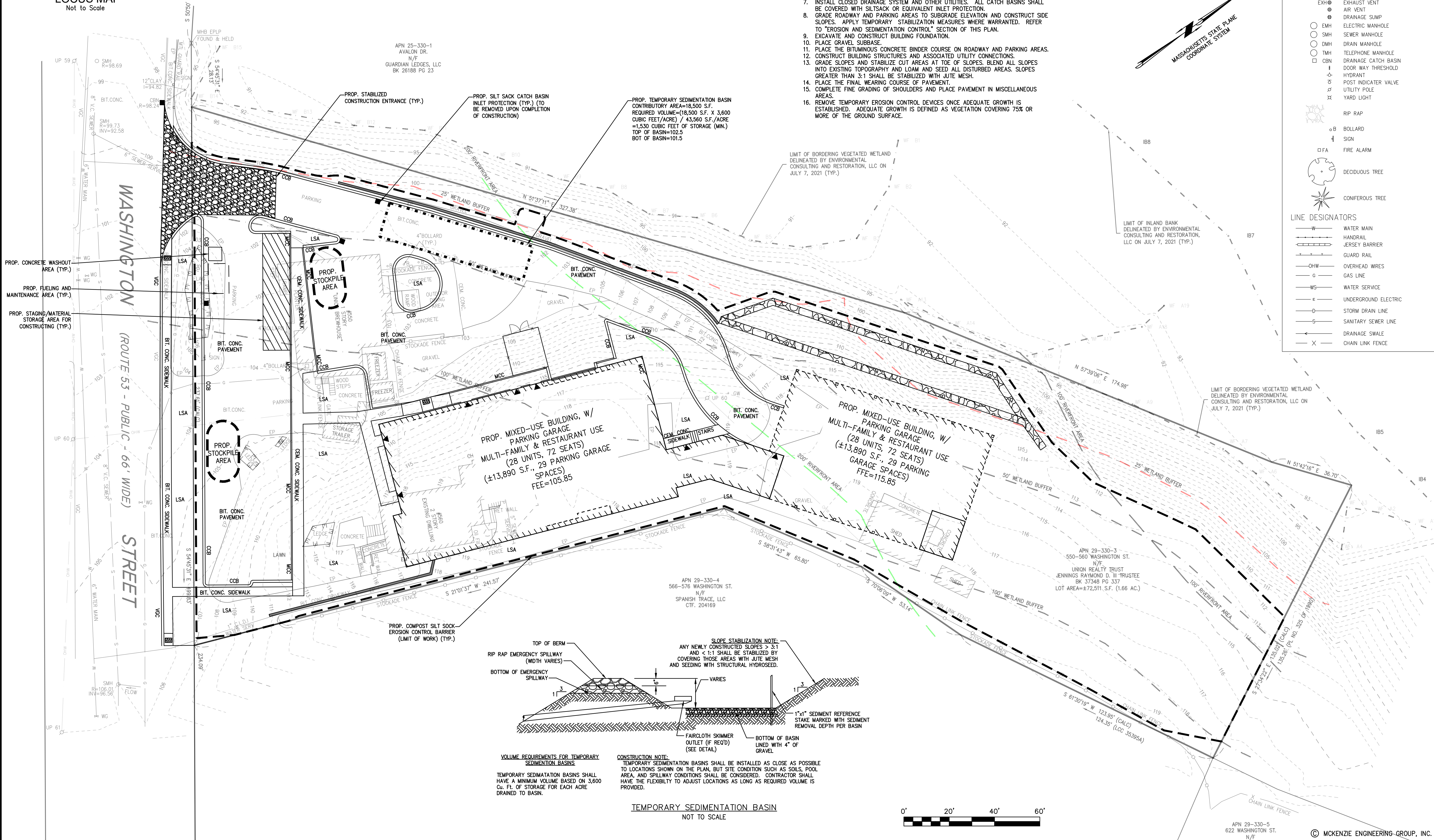
- REBAR
- ANGLE IRON
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND
- STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
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LINE DESIGNATORS

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- GAS LINE
- WATER SERVICE
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- STORM DRAIN LINE
- SANITARY SEWER LINE
- DRAINAGE SWALE
- CHAIN LINK FENCE



VOLUME REQUIREMENTS FOR TEMPORARY SEDIMENTATION BASINS  
TEMPORARY SEDIMENTATION BASINS SHALL HAVE A MINIMUM VOLUME BASED ON 3,600 CU. FT. OF STORAGE FOR EACH ACRE DRAINED TO BASIN.

CONSTRUCTION NOTE:  
TEMPORARY SEDIMENTATION BASINS SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO LOCATIONS SHOWN ON THE PLAN, BUT SITE CONDITION SUCH AS SOILS, POOL AREA, AND SPILLWAY CONDITIONS SHALL BE CONSIDERED. CONTRACTOR SHALL HAVE THE FLEXIBILITY TO ADJUST LOCATIONS AS LONG AS REQUIRED VOLUME IS PROVIDED.

TEMPORARY SEDIMENTATION BASIN  
NOT TO SCALE



APN 29-330-5  
622 WASHINGTON ST.  
N/F

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REV	DATE	DESCRIPTION	BY	APP

**MCKENZIE ENGINEERING GROUP**  
Assinippi Office Park  
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**SITE DEVELOPMENT PLAN**  
**550-560 WASHINGTON STREET**  
**(APN 29-330-3)**  
**WEYMOUTH, MASSACHUSETTS**

PROFESSIONAL ENGINEER:

OWNERS/APPLICANT:  
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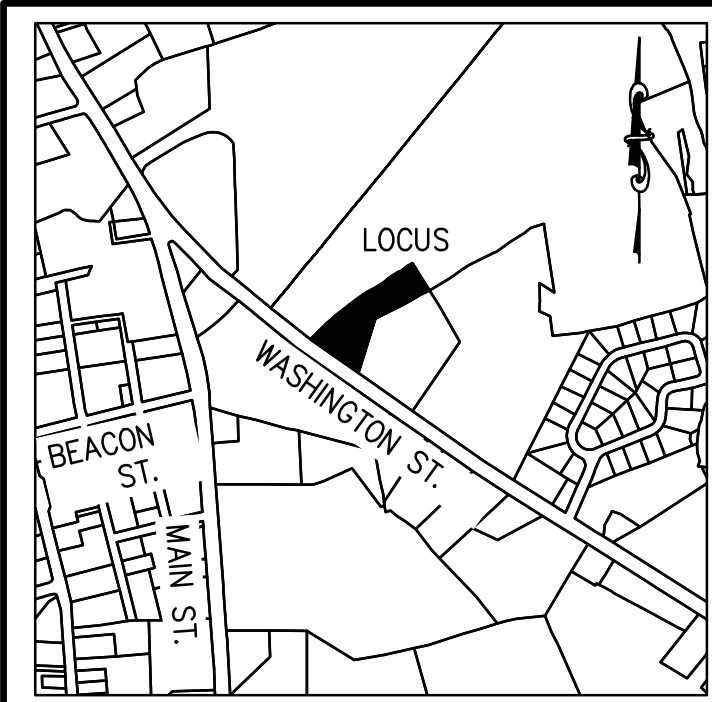
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APPROVED BY: BCM  
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PROJECT NO.: 222-182  
DWG. TITLE:

**EROSION AND SEDIMENT CONTROL PLAN**

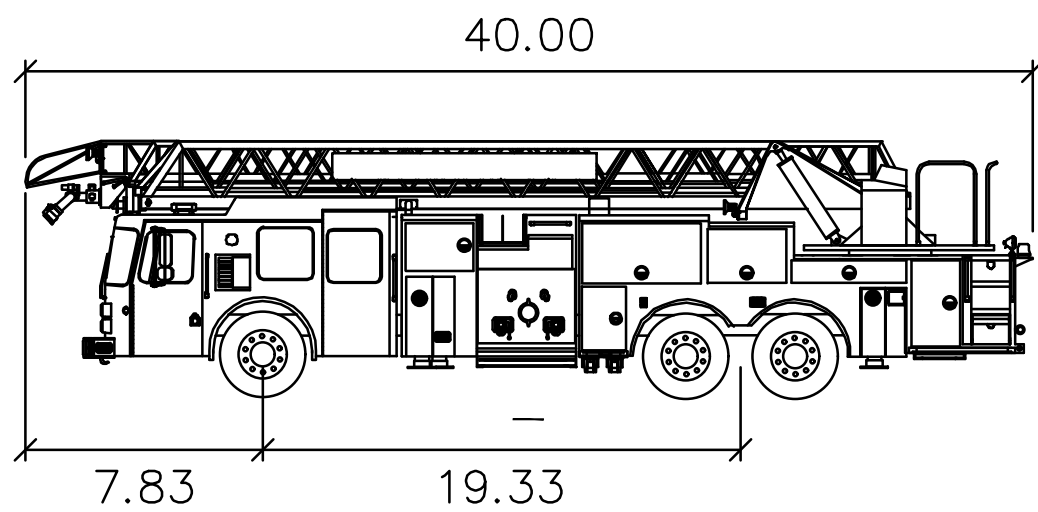
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PERMIT PLAN SET





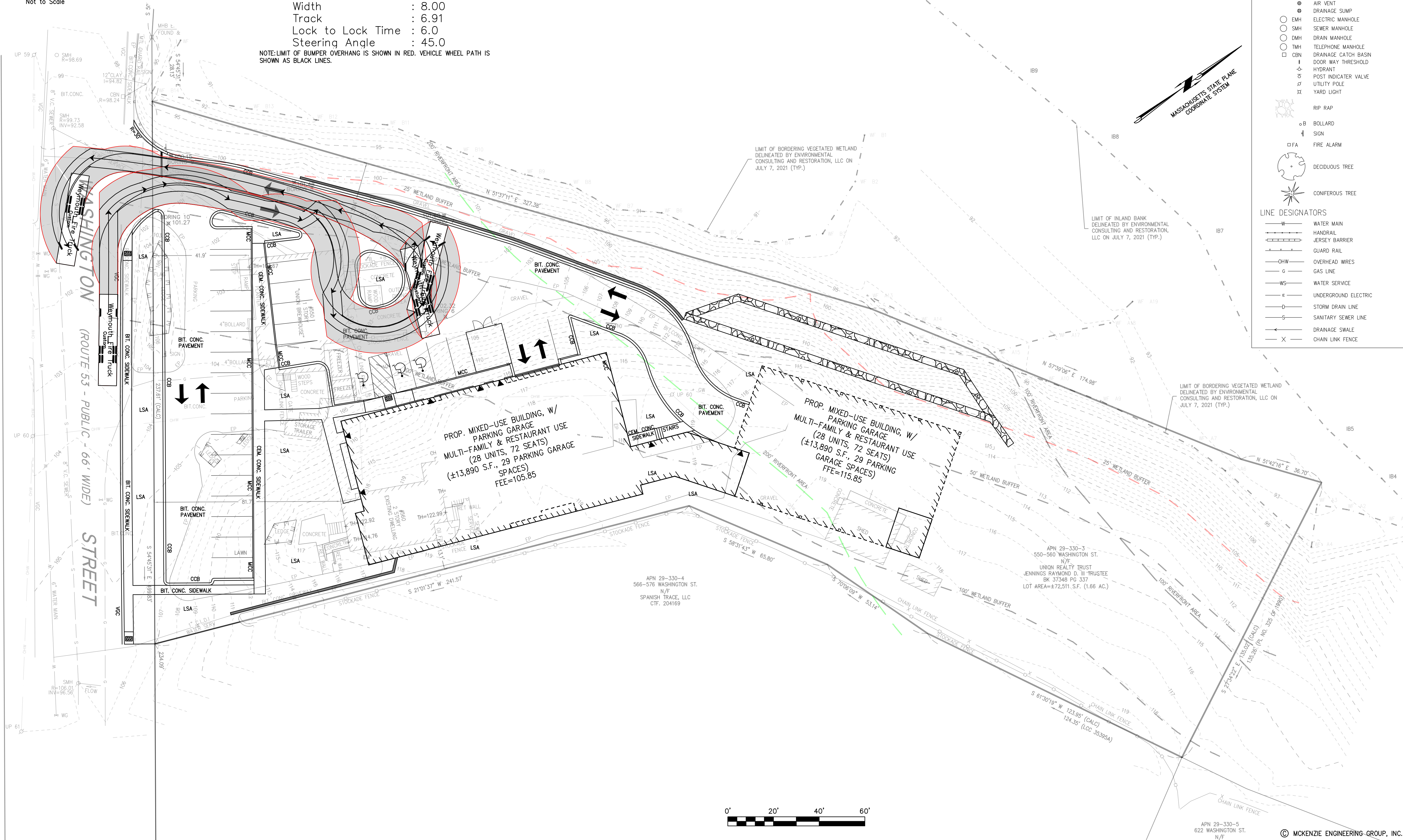
LOCUS MAP  
Not to Scale



Weymouth Ladder 105'  
feet

Width : 8.00  
Track : 6.91  
Lock to Lock Time : 6.0  
Steering Angle : 45.0

NOTE: LIMIT OF BUMPER OVERHANG IS SHOWN IN RED. VEHICLE WHEEL PATH IS SHOWN AS BLACK LINES.



- ABBREVIATIONS
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  - CCB CAPE COD BERM
  - EP EDGE OF PAVEMENT
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**MG**  
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PROFESSIONAL ENGINEER:

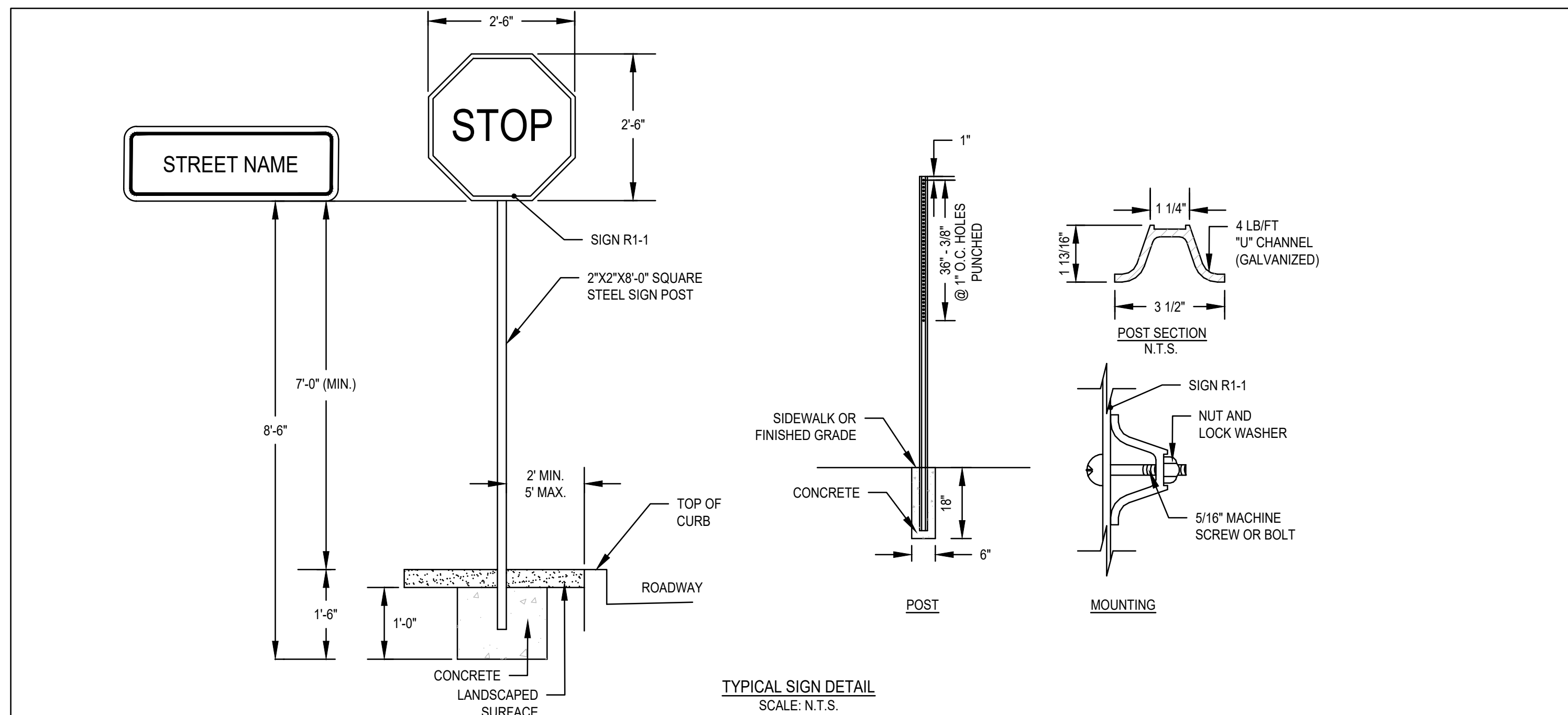
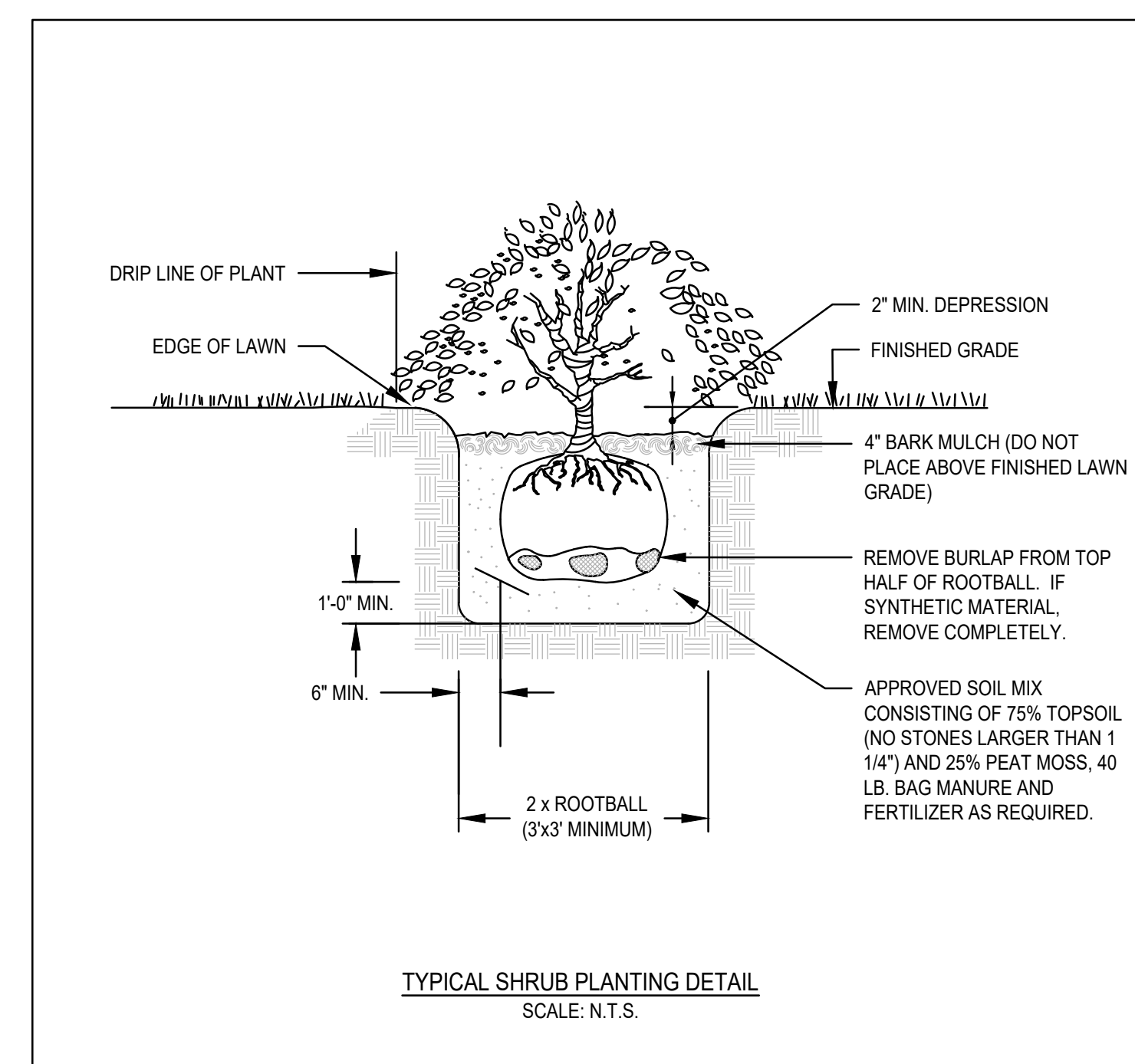
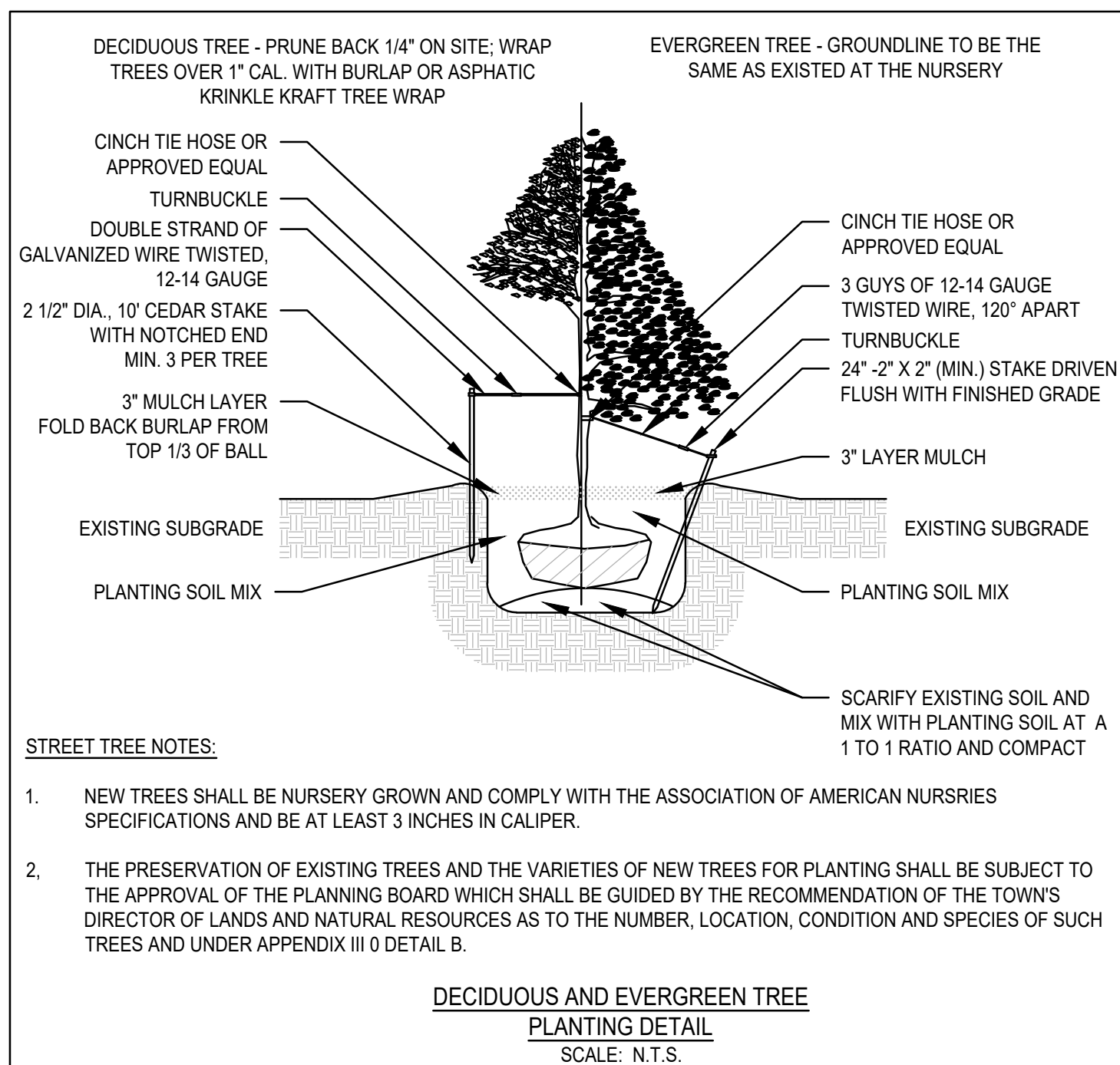
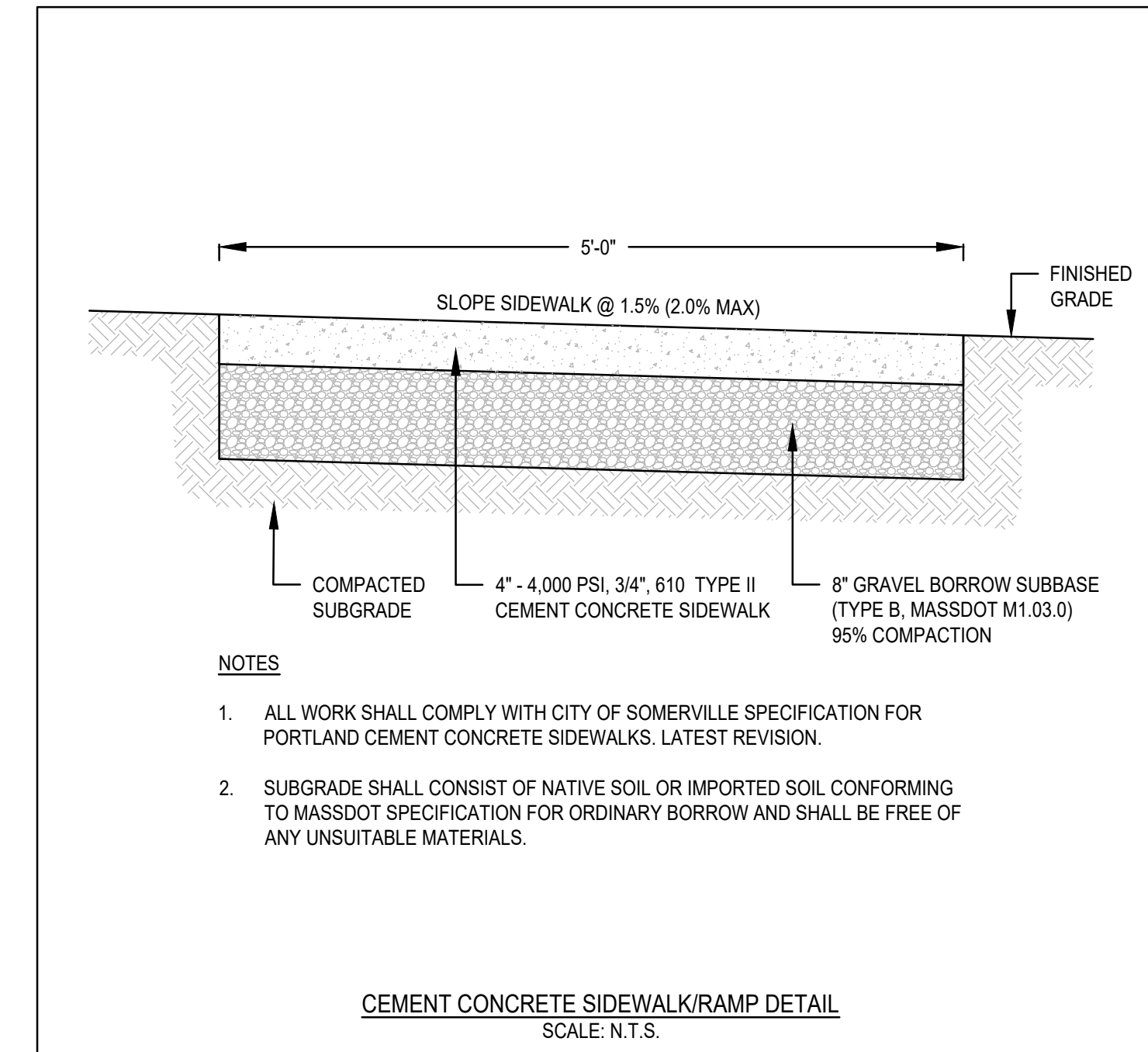
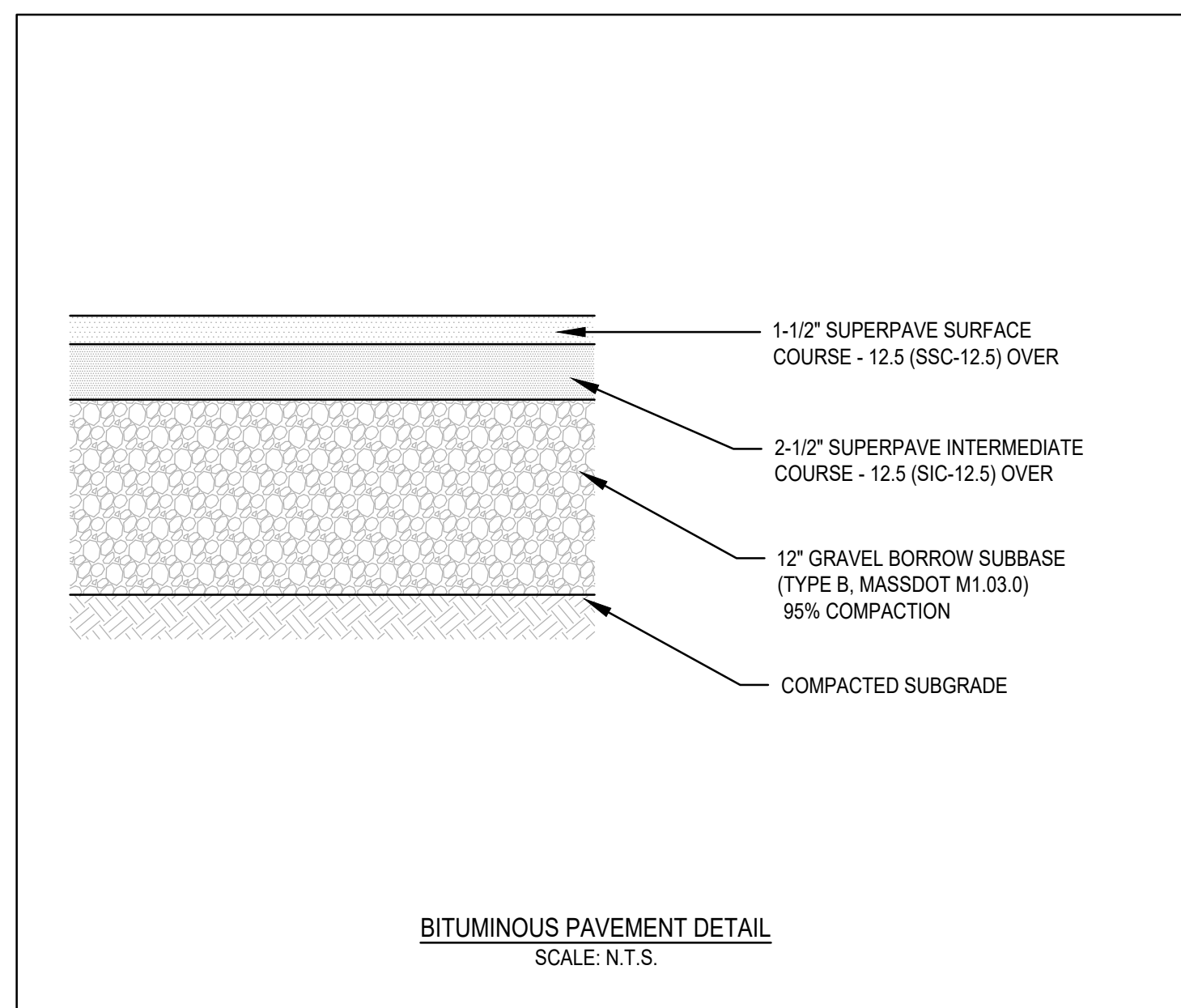
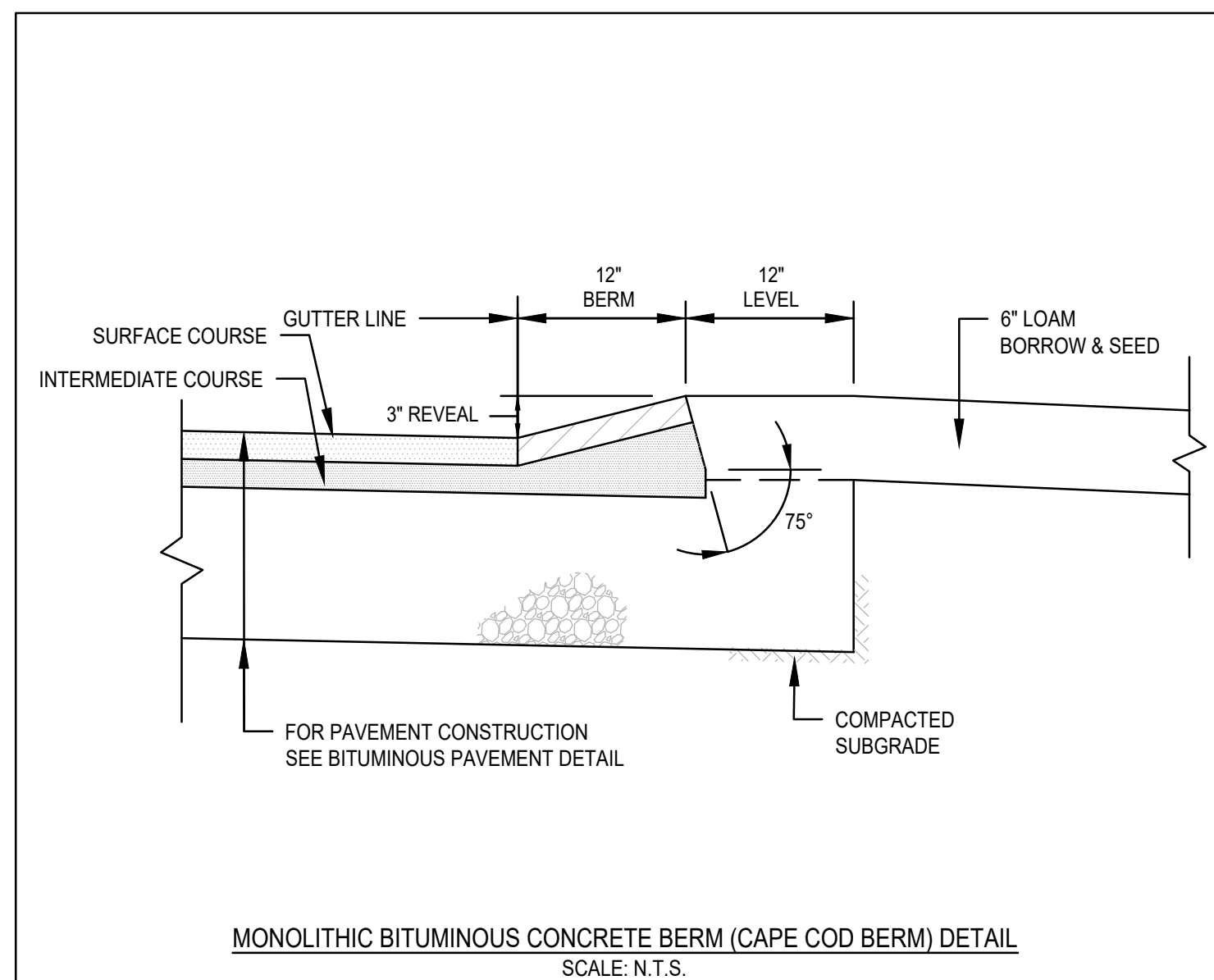
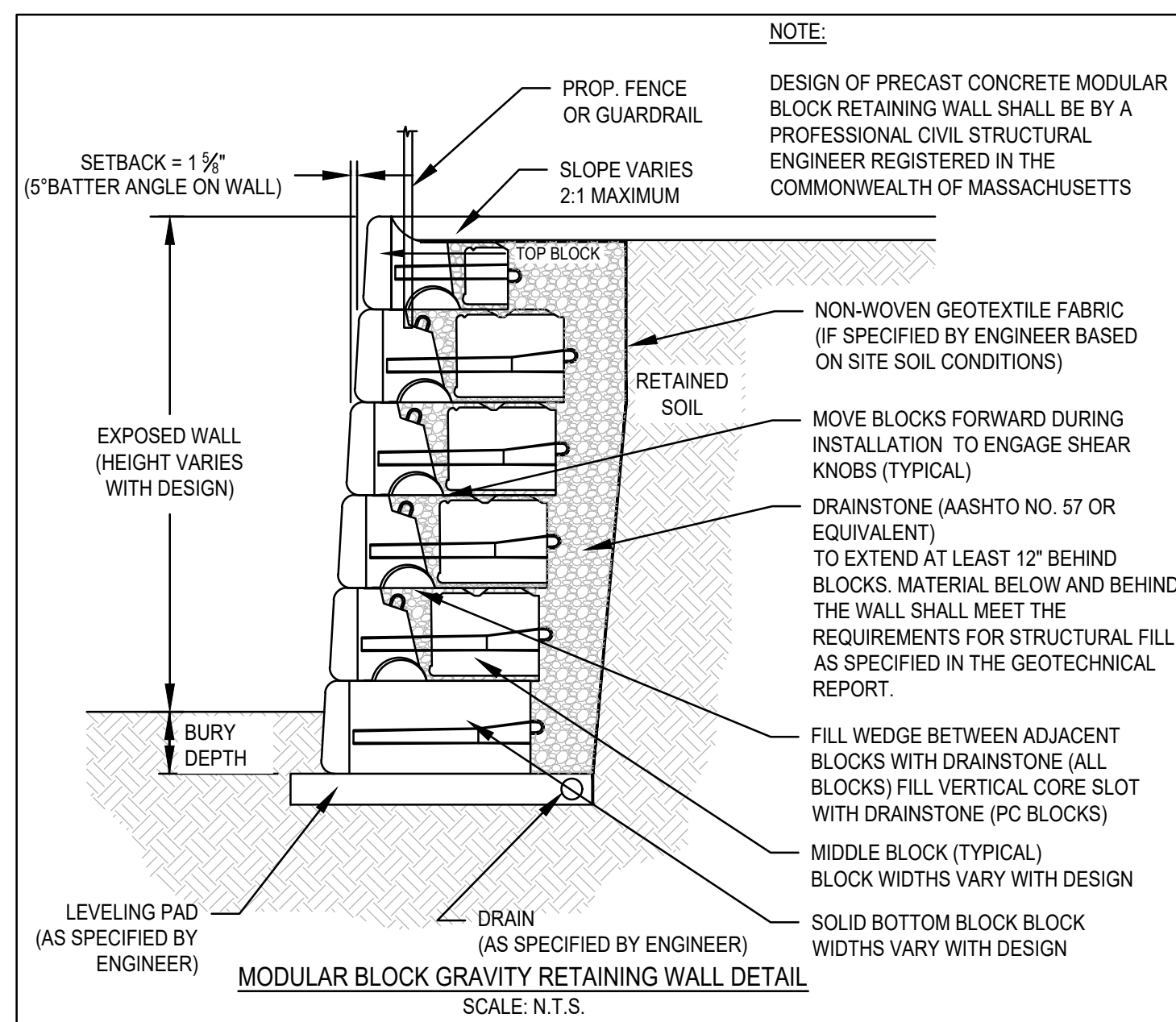
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UNION REALTY TRUST  
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WEYMOUTH, MASSACHUSETTS 02188

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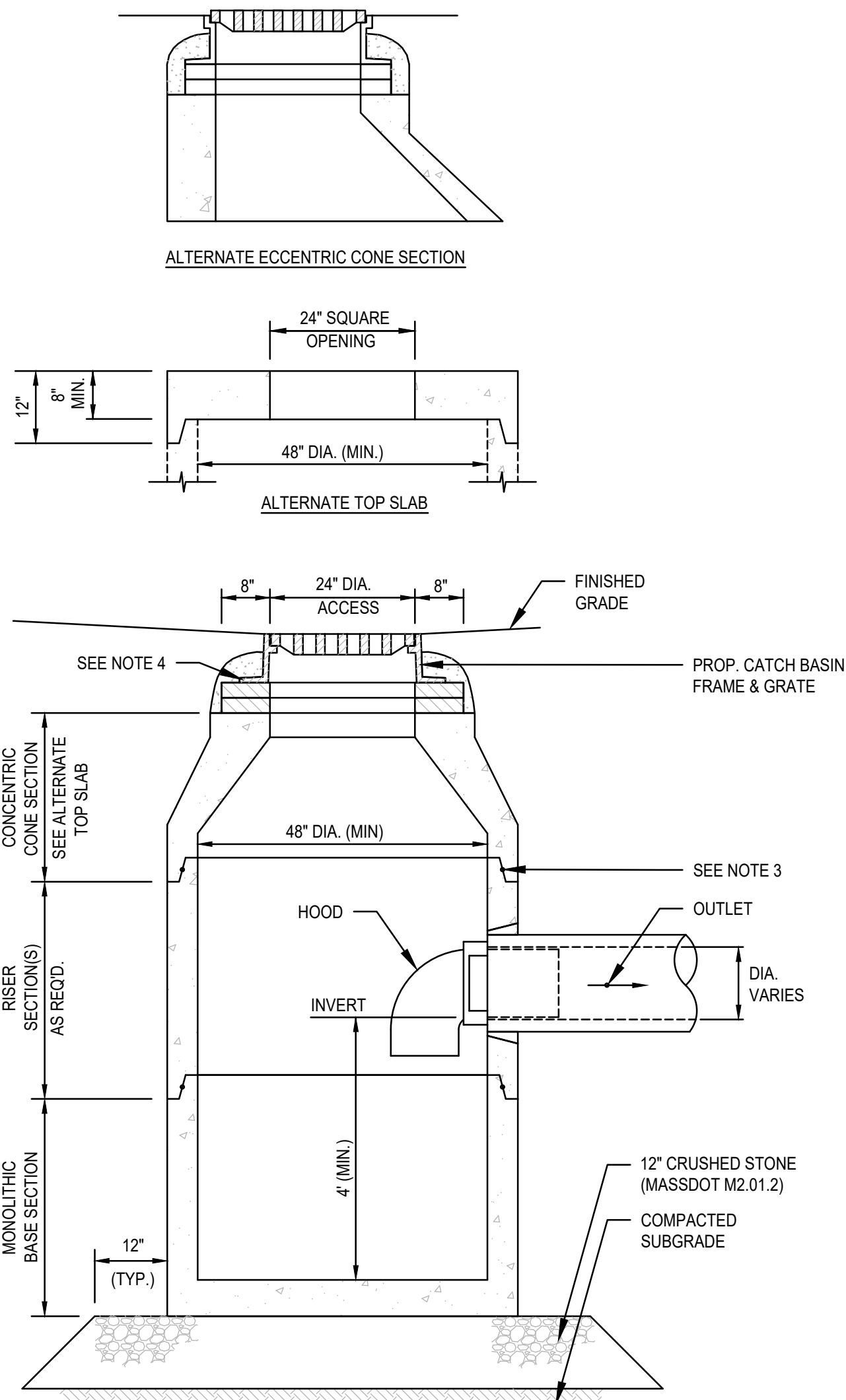
**TRUCK  
TURNING  
PLAN**

DWG. NO.: T-1



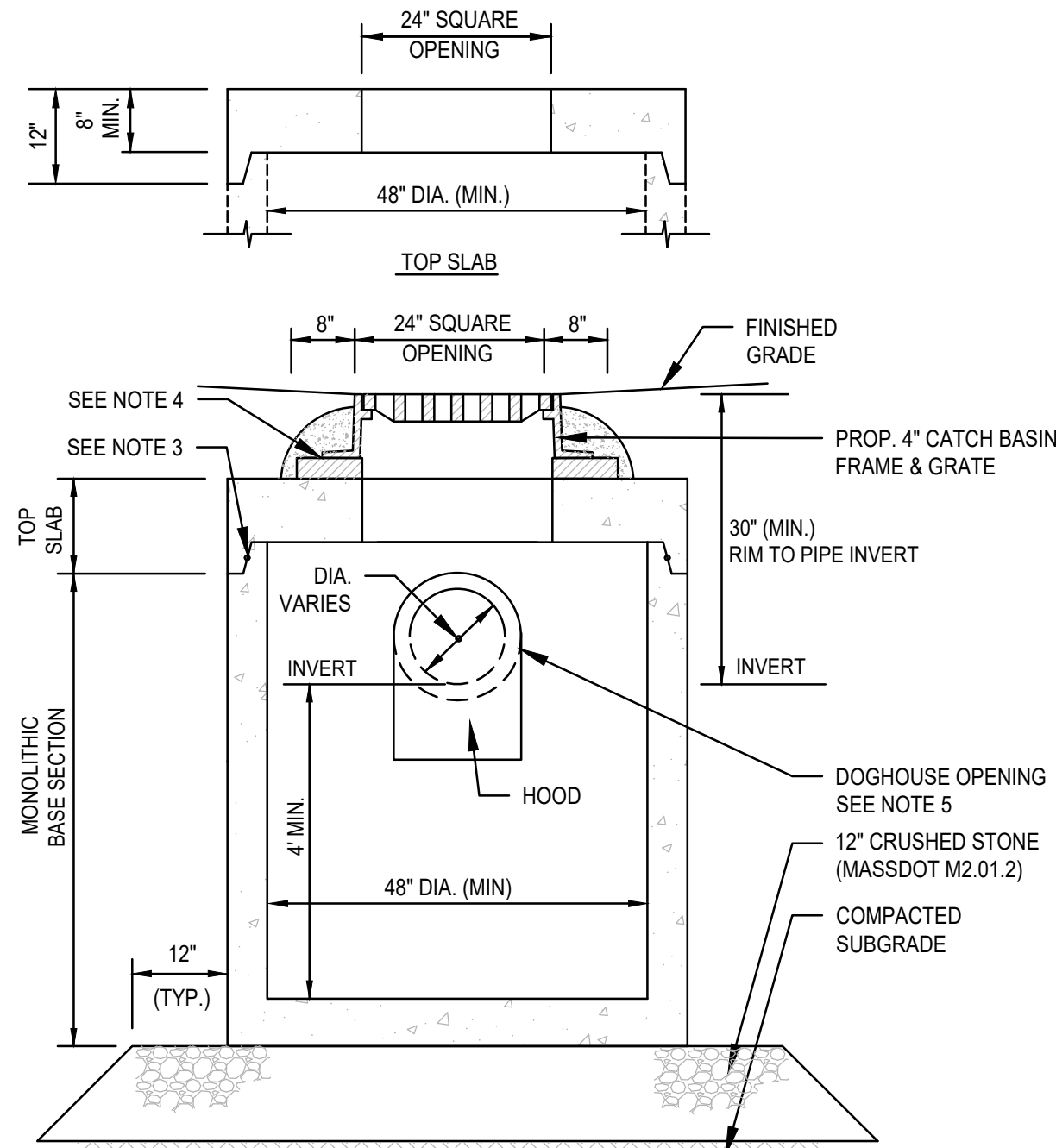
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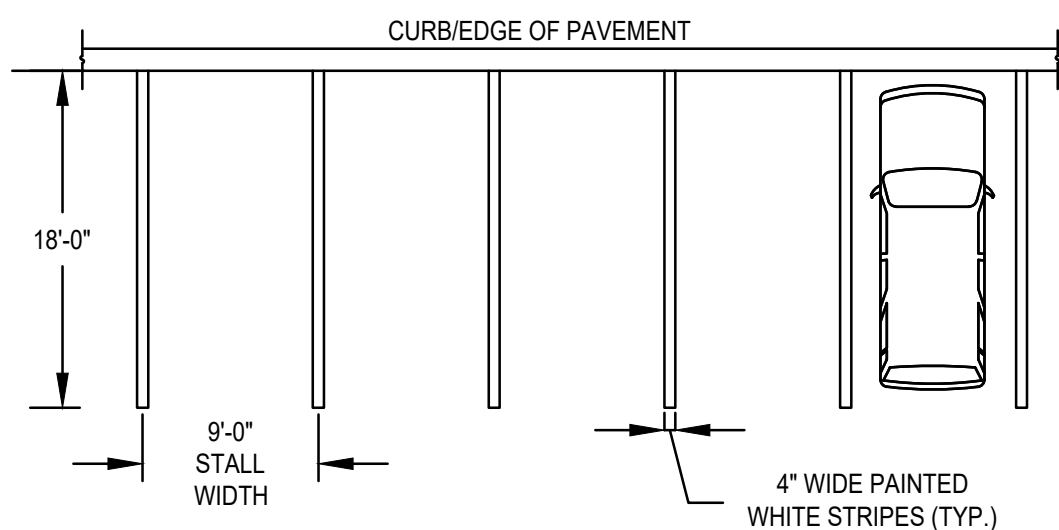
- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  - MORTAR ALL PIPE CONNECTIONS. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  - CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

CATCH BASIN W/HOOD  
SCALE: N.T.S.

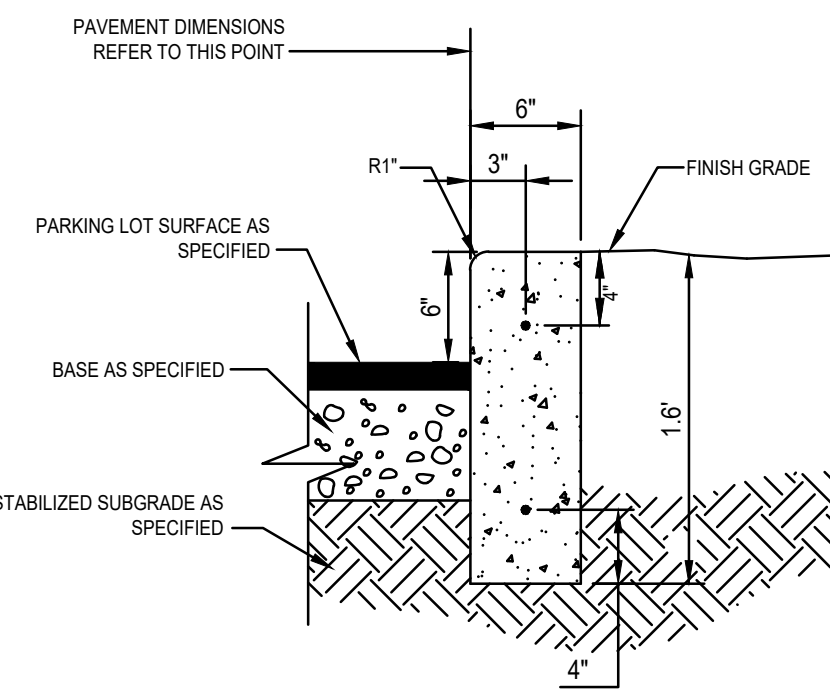


- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  - MORTAR ALL PIPE CONNECTIONS. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  - CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
  - PROVIDE DOG HOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHOULD NOT REST DIRECTLY ON PIPE. MORTAR ALL PIPE CONNECTIONS.

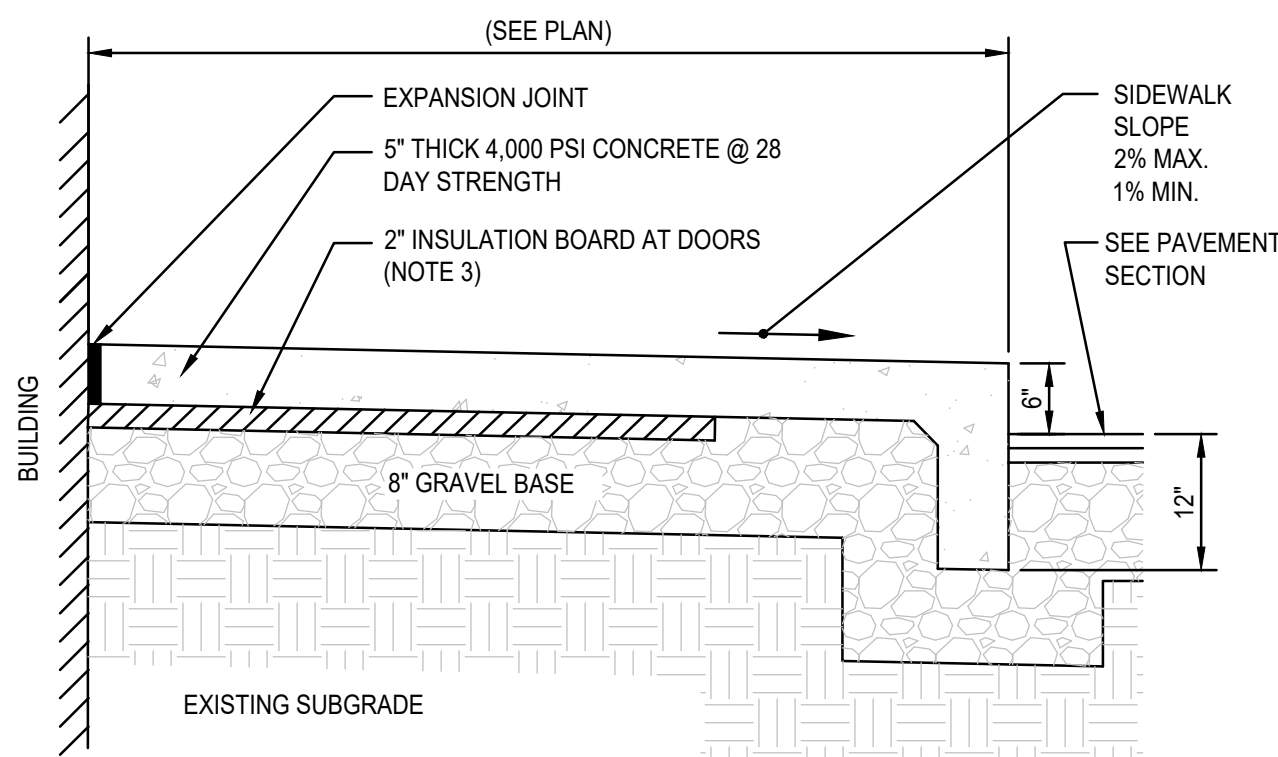
SHALLOW CATCH BASIN  
SCALE: N.T.S.



TYPICAL STRIPING DETAILS  
SCALE: N.T.S.

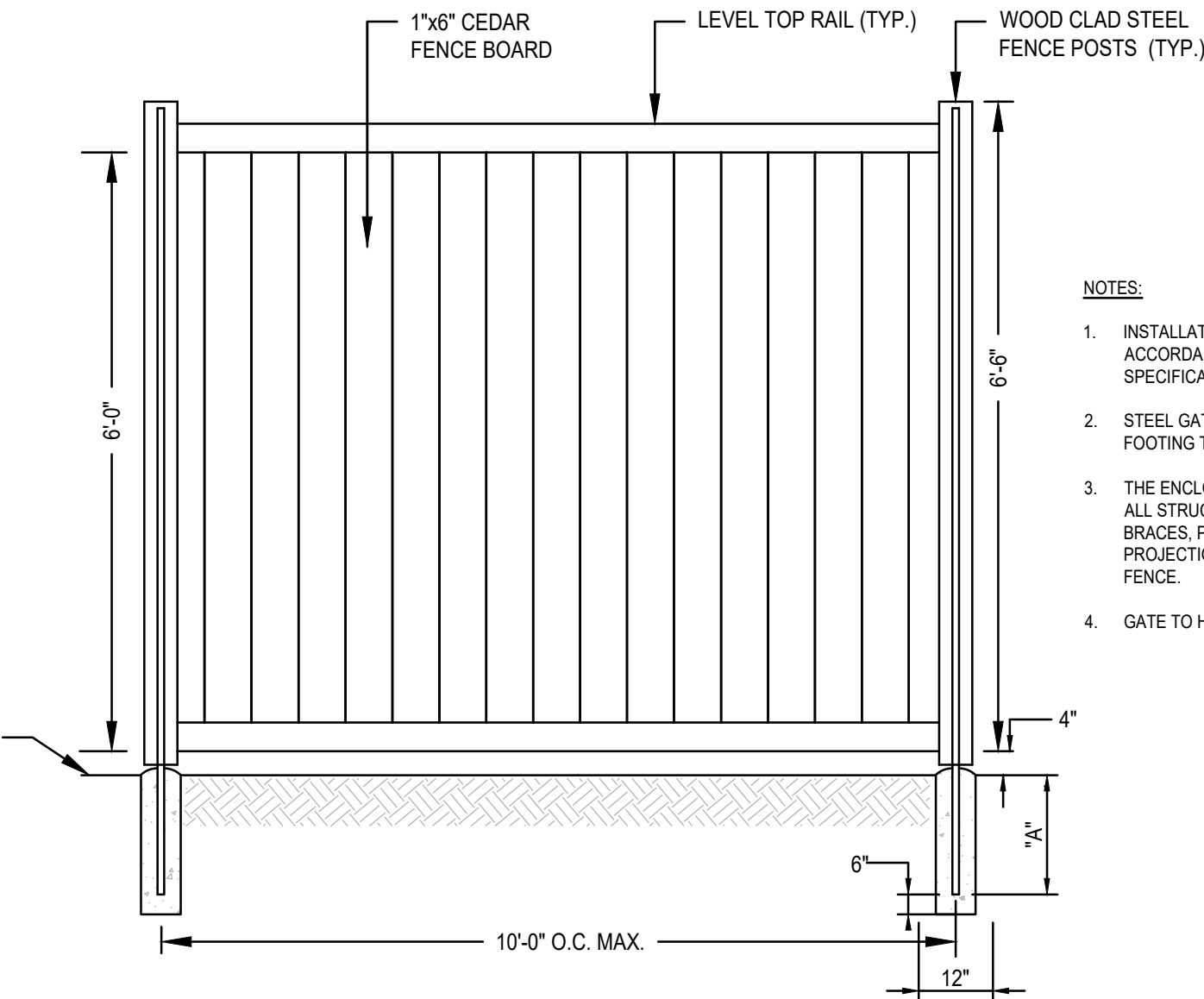
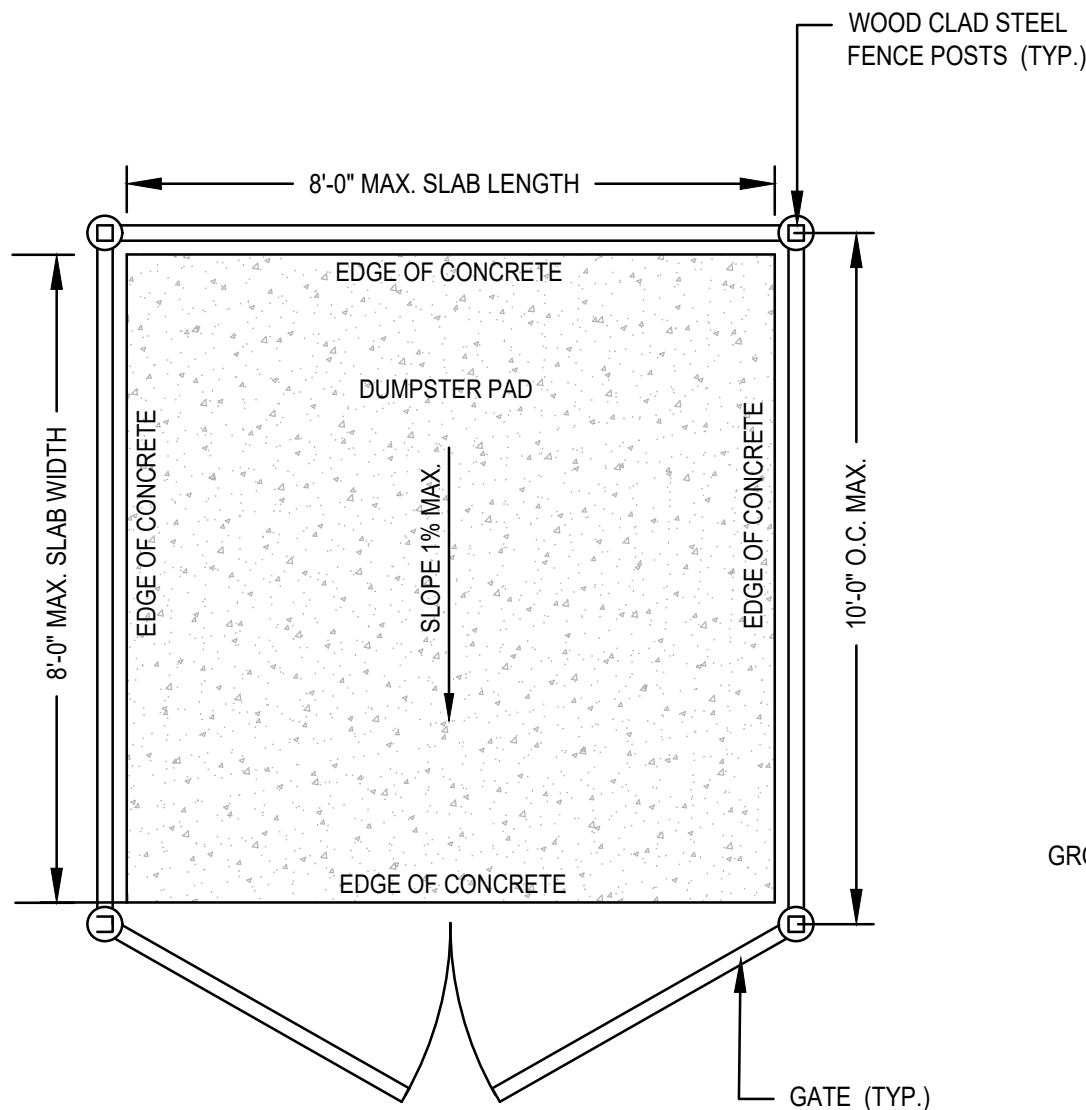


PRECAST MONOLITHIC CEMENT CONCRETE CURB DETAIL  
SCALE: N.T.S.



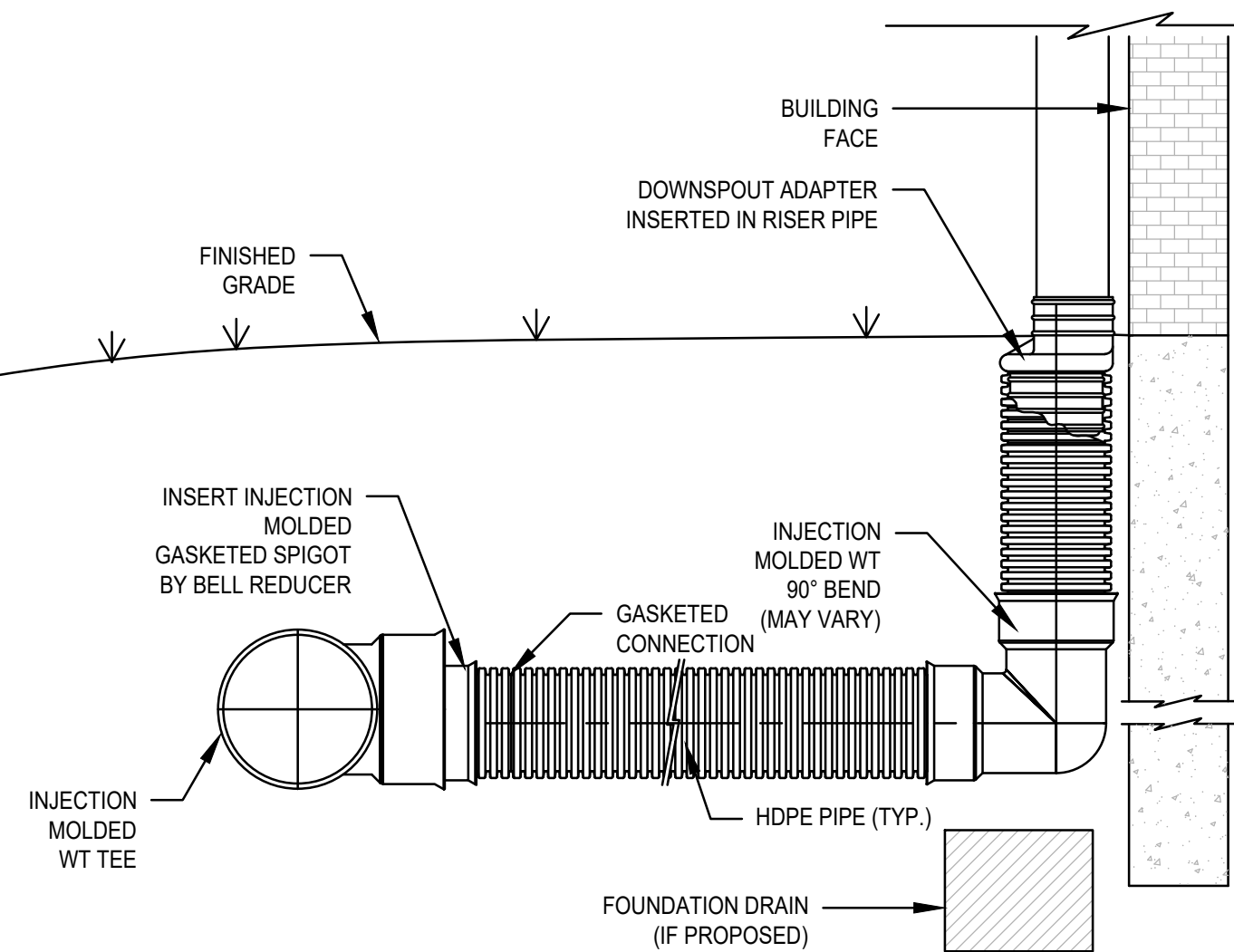
- NOTES:
- SIDEWALK TO HAVE TOOLED JOINTS 5' O.C. (TYP.) WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
  - TOOLED JOINT 6" FROM FACE OF CURB
  - PLACE 2" RIGID EXTRUDED STYROFOAM NONEXPANDABLE INSULATION BOARD LIGHT BLUE IN COLOR AT DOORS. BOARD TO BE PLACED IN 2-2x8" SECTIONS CENTERED ON AND EXTENDING 4" PERPENDICULAR FROM DOOR. BASE MATERIAL SHALL BE CRUSHED STONE AT DOORS.
  - SEE PLAN FOR ELEVATIONS AT DOORS AND CURB

CONCRETE SIDEWALK AND MONOLITHIC CURB AT BUILDING  
SCALE: N.T.S.



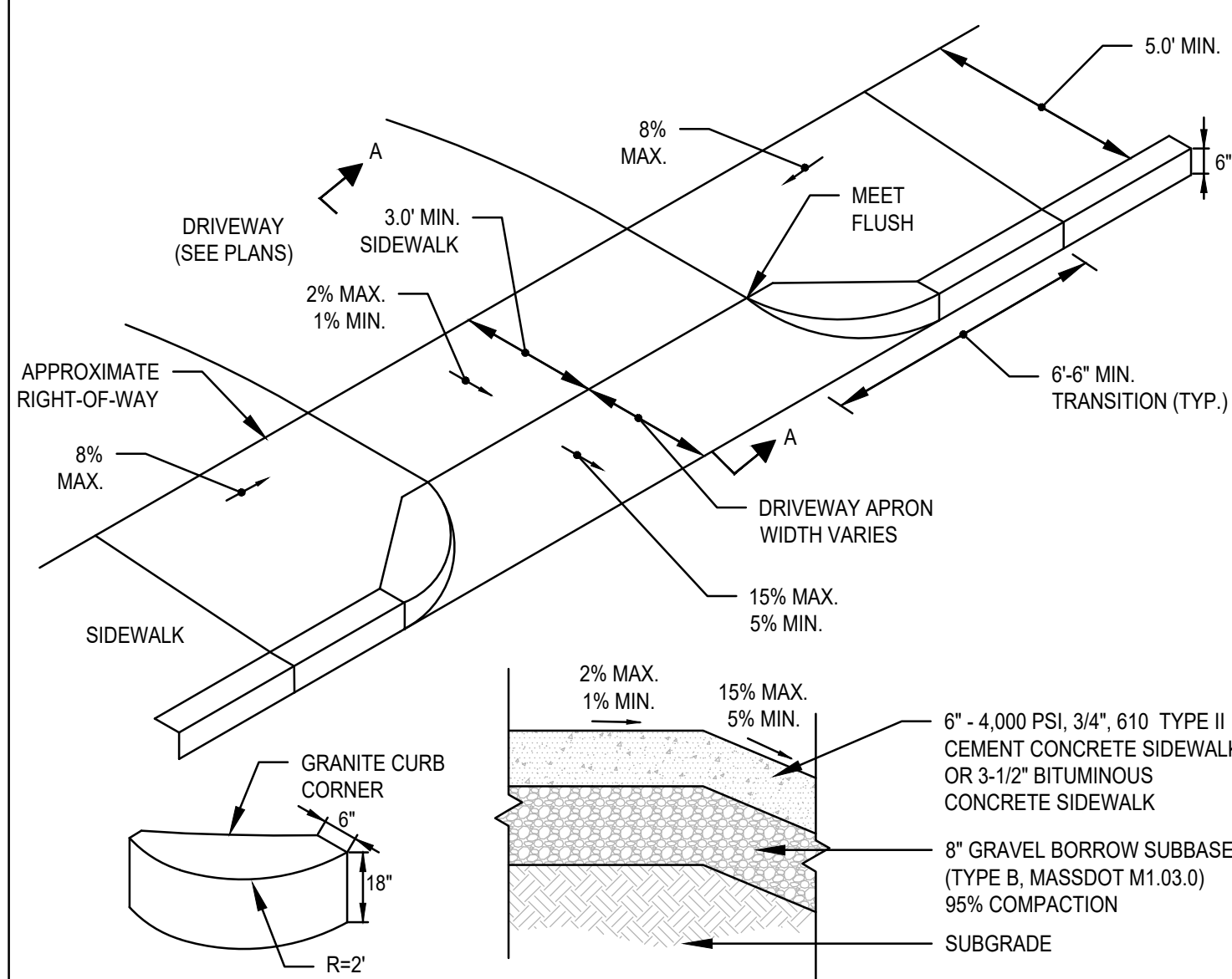
- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.
  - STEEL GATE & END POST BASE (A") IN SONOTUBE FOOTING TO 3'-4".
  - THE ENCLOSURE TO BE CONSTRUCTED THAT ALL STRUCTURAL MEMBERS, INCLUDING BRACES, POSTS, POLES AND OTHER PROJECTIONS TO BE ON THE INTERIOR OF THE FENCE.
  - GATE TO HAVE CLOSING LATCH.

DUMPSTER PAD ENCLOSURE DETAIL  
SCALE: N.T.S.



- NOTES:
- INJECTION MOLDED FITTING ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS.
  - WATERTIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE.

ROOF LEADER CONNECTION DETAIL  
SCALE: N.T.S.



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REV	DATE	DESCRIPTION	BY	APP



**SITE DEVELOPMENT PLAN**  
**550-560 WASHINGTON STREET**  
**(APN 29-330-3)**  
**WEYMOUTH, MASSACHUSETTS**

PROFESSIONAL ENGINEER:

OWNERS/APPLICANT:  
**UNION REALTY TRUST**  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY: ESS  
DESIGNED BY: ESS  
CHECKED BY: BCM  
APPROVED BY: BCM  
DATE: MARCH 24, 2023  
SCALE: AS NOTED  
PROJECT NO.: 221-187  
DWG. TITLE:

**CONSTRUCTION DETAILS**

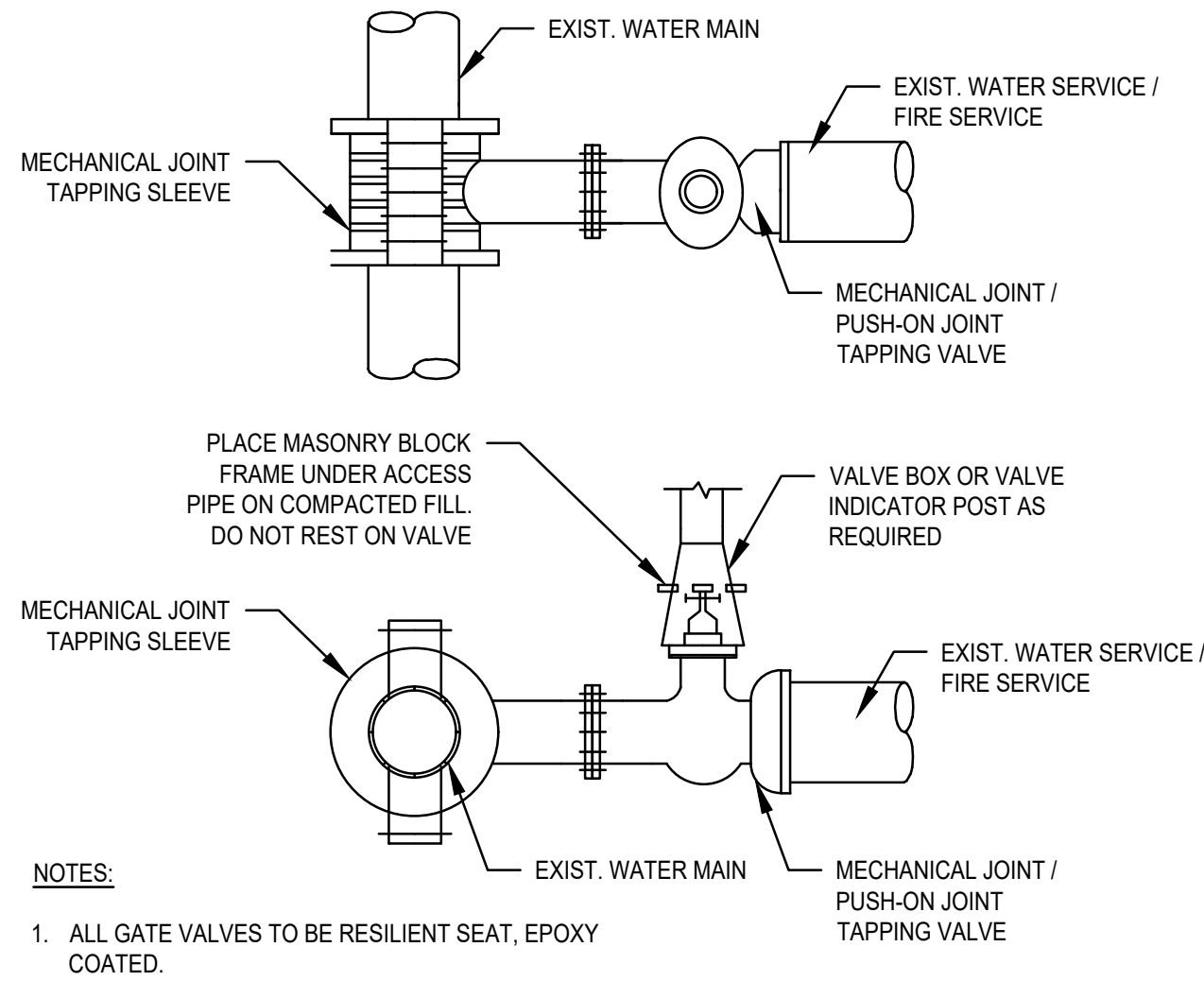
DWG. NO:

PERMIT PLAN SET

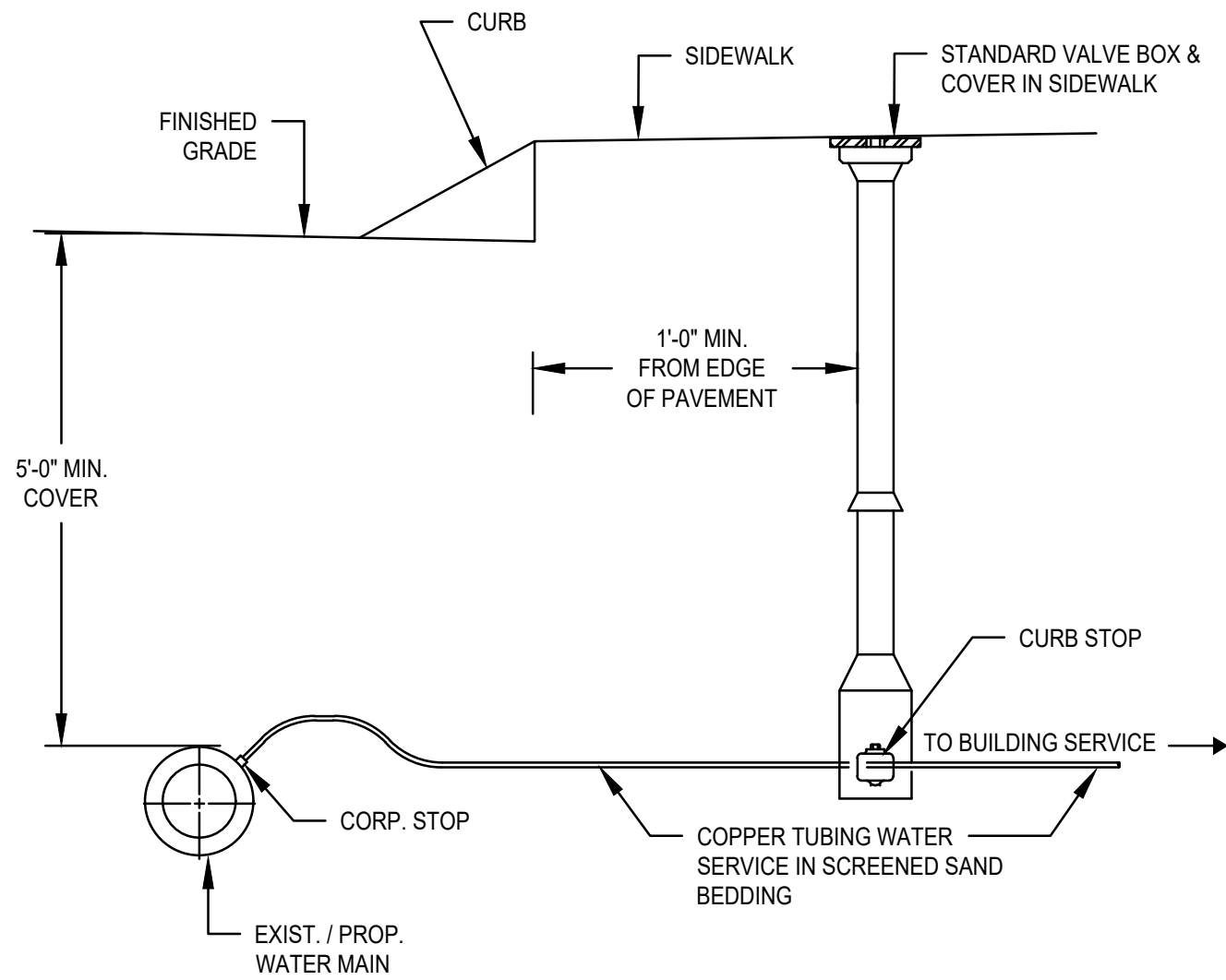


GENERAL NOTES

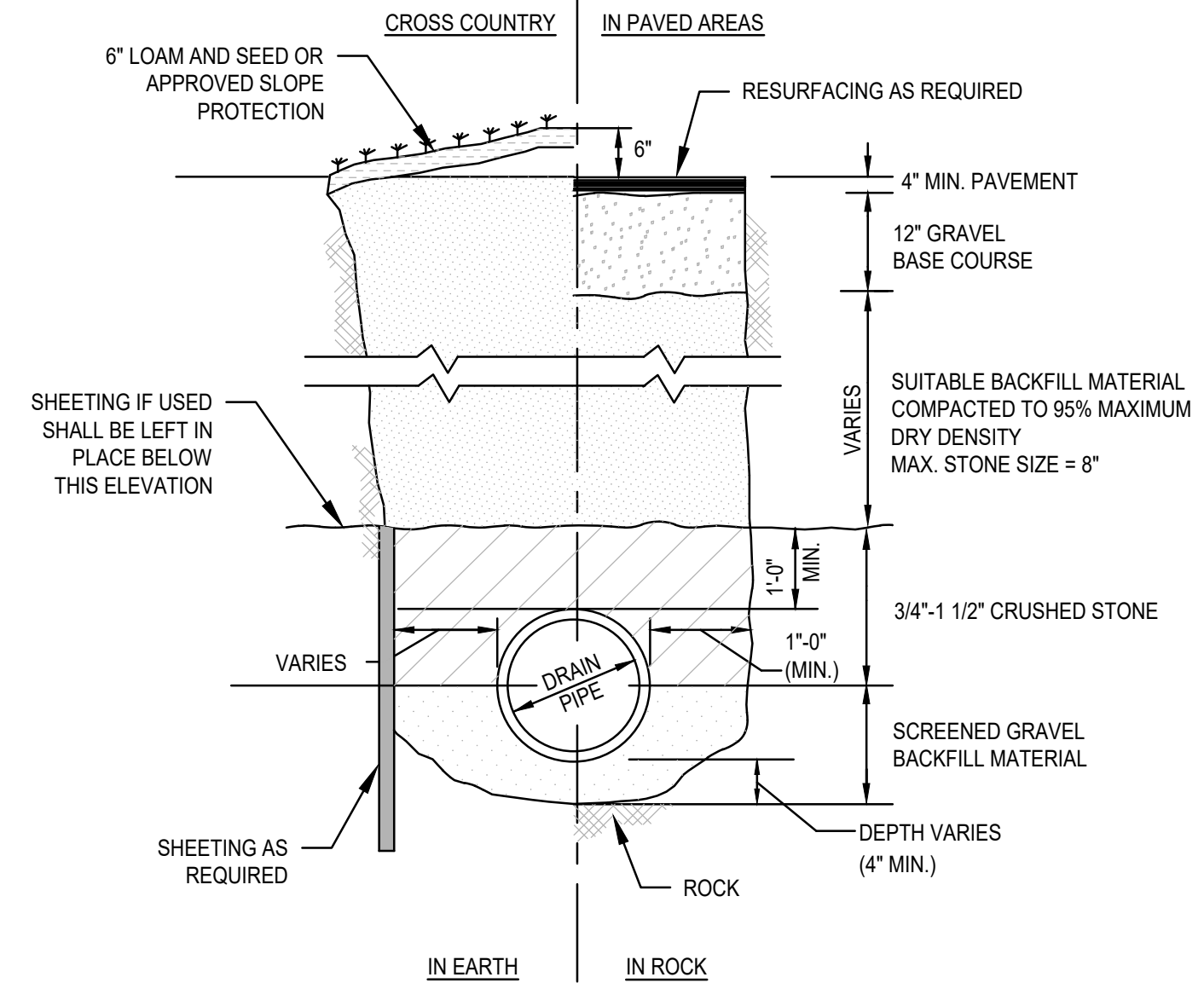
- IF SHEETING IS USED, IT SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
- ALL PIPES SHALL BE PRESSURE TESTED AT 200 PSI WORKING PRESSURE FOR A MINIMUM DURATION OF TWO HOUR.
- WATER SYSTEM IS TO BE DISINFECTED TO 50 P.P.M. AVAILABLE CHLORINE AND AFTER 24 HOURS TO 25 P.P.M. OR AS REQUIRED BY WEYMOUTH WATER SUPERINTENDENT/ENGINEER.
- WATER PIPE IS TO BE CEMENT LINED DUCTILE IRON "TYTON" OR EQUAL TYPE JOIN, CONFORMING TO A.N.S.I./A.W.W.A. C150/A21.50, CLASS 52, AS APPROVED BY THE TOWN'S WATER SUPERINTENDENT/ENGINEER.
- ALL PIPING SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH A.W.W.A. STANDARDS PRIOR TO PAVING IF PAVING ABOVE TRENCH IS REQUIRED.
- BACKFILL IS TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY BY AASHTO T-180 D.
- ALL WATER PIPE SHALL BE LAID WITH A MINIMUM OF 5 FEET OF COVER OF APPROVED MATERIALS.
- RESULTS FROM PRESSURE TESTING AND DISINFECTION SHALL BE FURNISHED TO THE WEYMOUTH WATER DEPT. WORKS AND DIRECTOR OF PUBLIC WORKS FOR APPROVAL PRIOR TO WATER BEING TURNED ON.
- ALL WORK SHALL BE IN CONFORMANCE WITH WEYMOUTH WATER DEPT. STANDARDS.
- ALL PERMITS REQUIRED FOR STREET OPENINGS AND WATER MAIN TAPPING MUST BE OBTAINED.
- NO WATER WILL BE TURNED ON IN THE PROJECT WITHOUT WEYMOUTH WATER DEPT. APPROVAL.



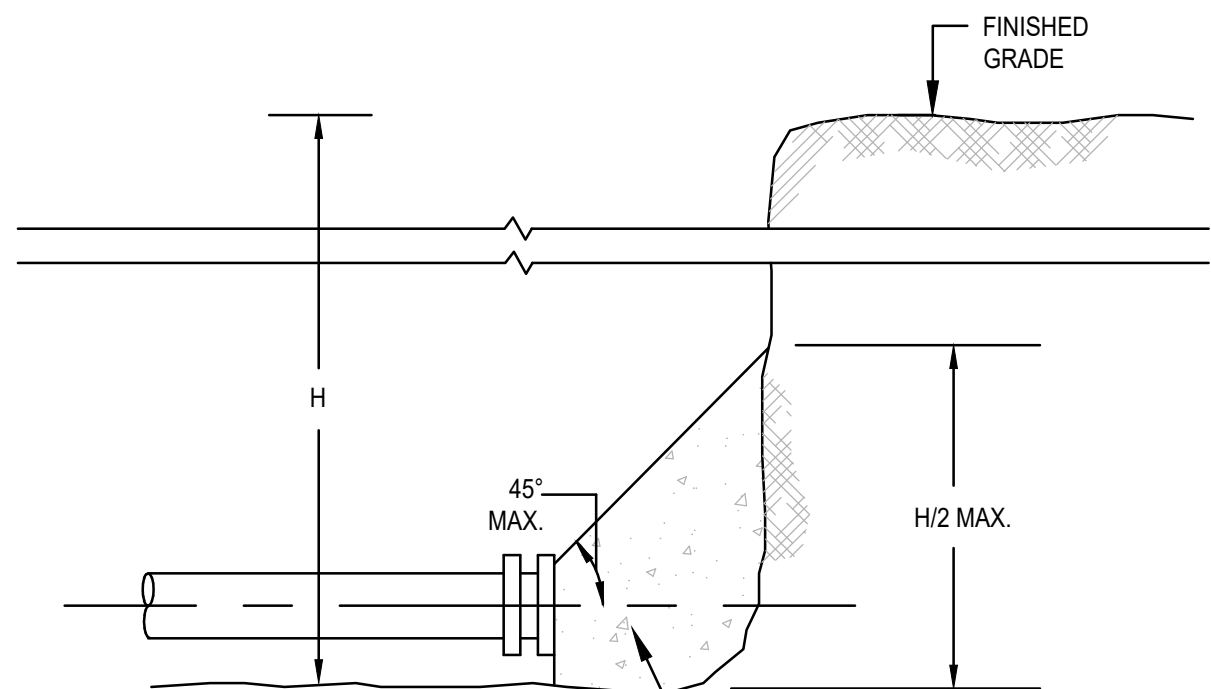
TYPICAL TAPPING SLEEVE AND VALVE DETAIL  
SCALE: N.T.S.



SERVICE CONNECTION DETAIL  
SCALE: N.T.S.

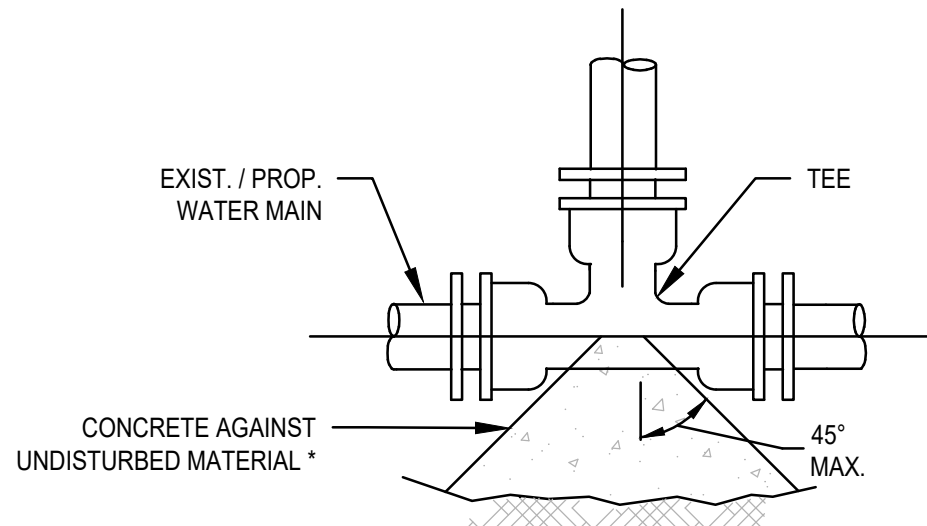


TYPICAL DRAIN TRENCH DETAIL  
SCALE: N.T.S.



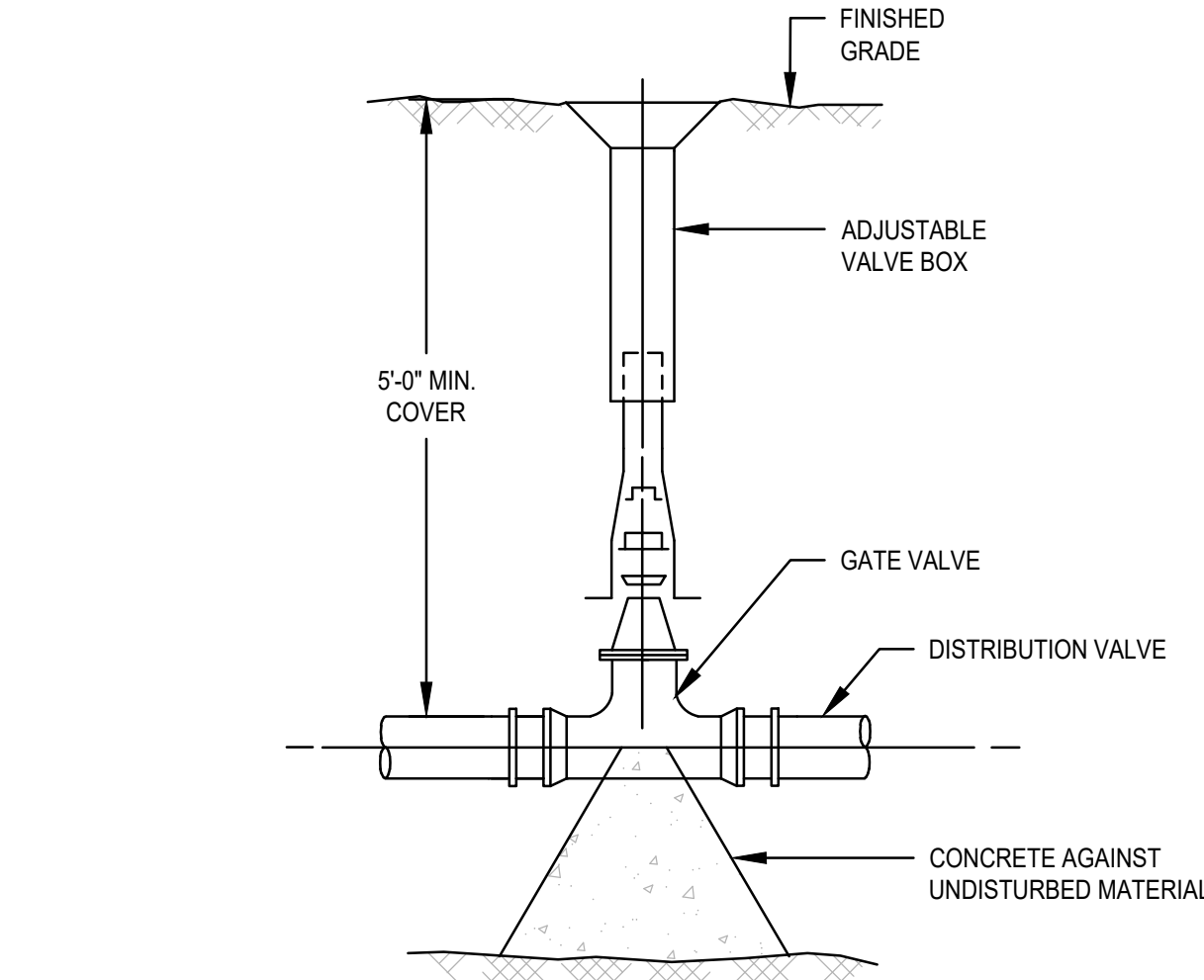
\* SEE TABLE ON THRUST BLOCK BEARING AREAS FOR THE AREA OF CONCRETE REQUIRED

THRUST WATER MAIN PLUG  
SCALE: N.T.S.

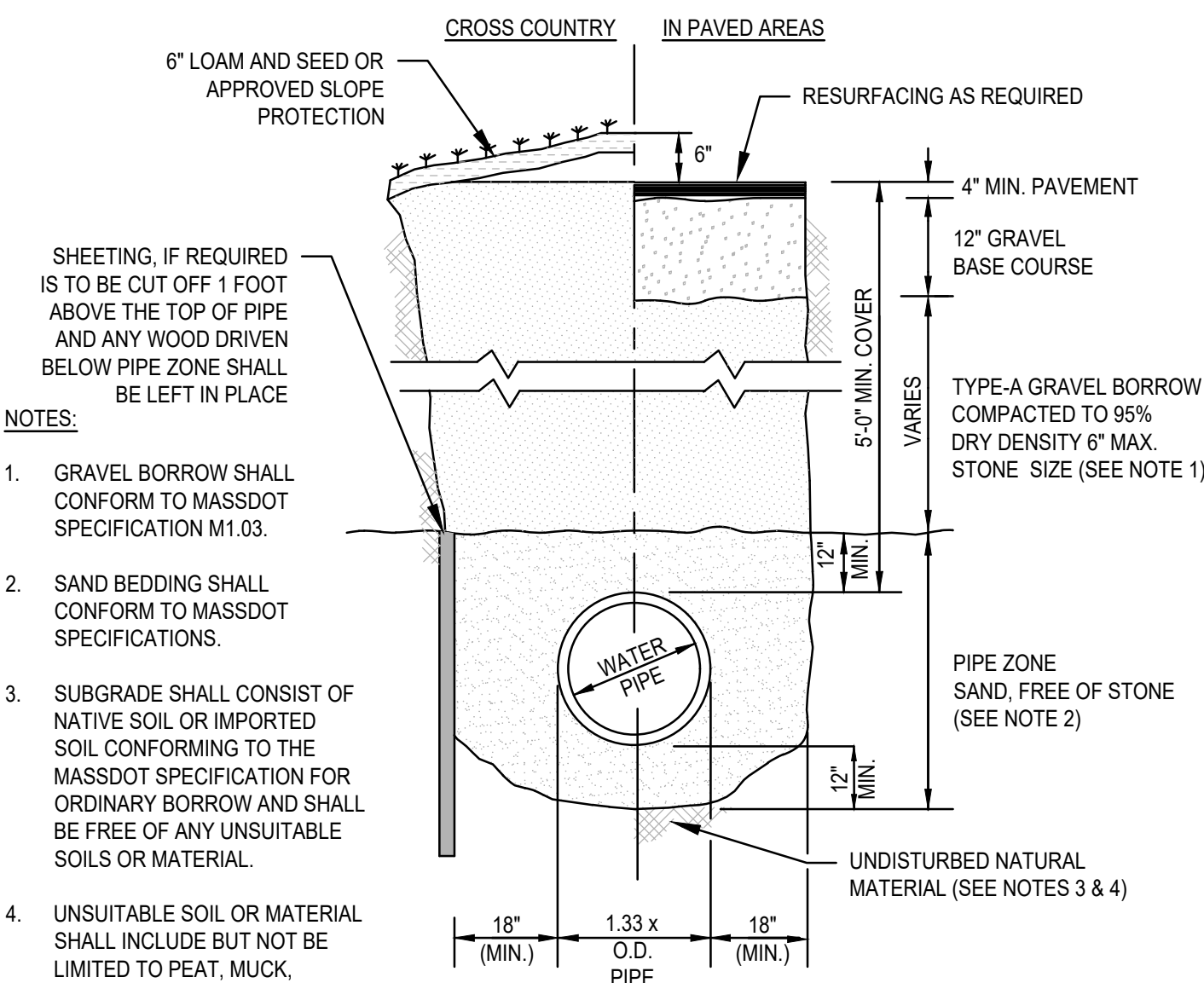


\* SEE TABLE ON THRUST BLOCK BEARING AREAS FOR THE AREA OF CONCRETE REQUIRED

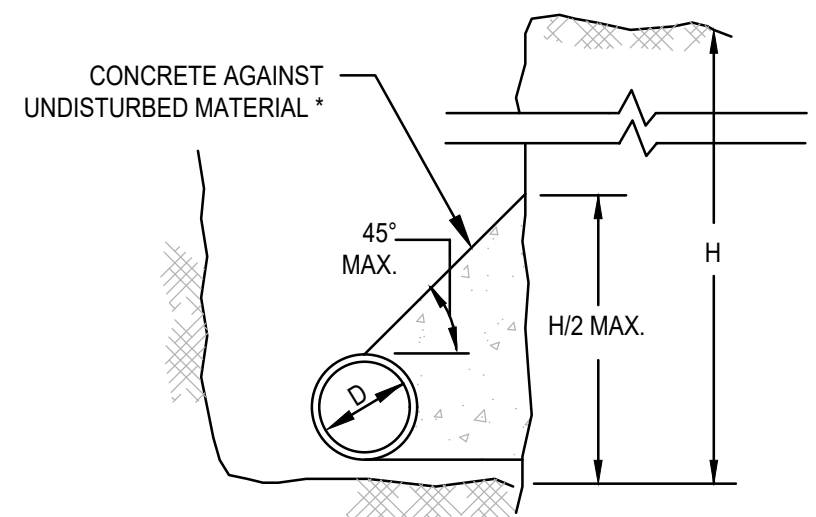
TYPICAL WATER MAIN TEE THRUST BLOCK DETAIL  
SCALE: N.T.S.



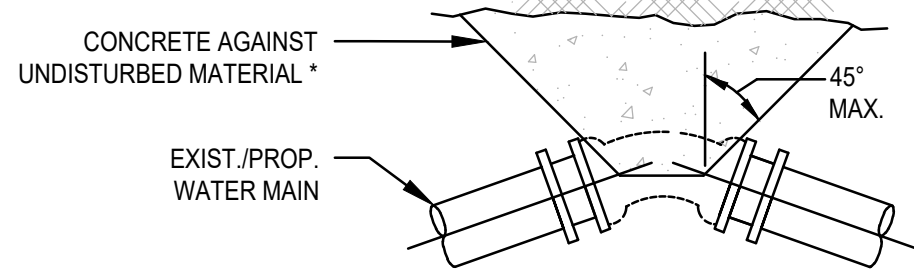
WATER GATE DETAIL  
SCALE: N.T.S.



TYPICAL WATER TRENCH DETAIL  
SCALE: N.T.S.



THRUST WATER MAIN THRUST BLOCK SECTION DETAIL  
SCALE: N.T.S.



\* SEE TABLE ON THRUST BLOCK BEARING AREAS FOR THE AREA OF CONCRETE REQUIRED

THRUST WATER MAIN BEND THRUST BLOCK DETAIL  
SCALE: N.T.S.

NOTES:

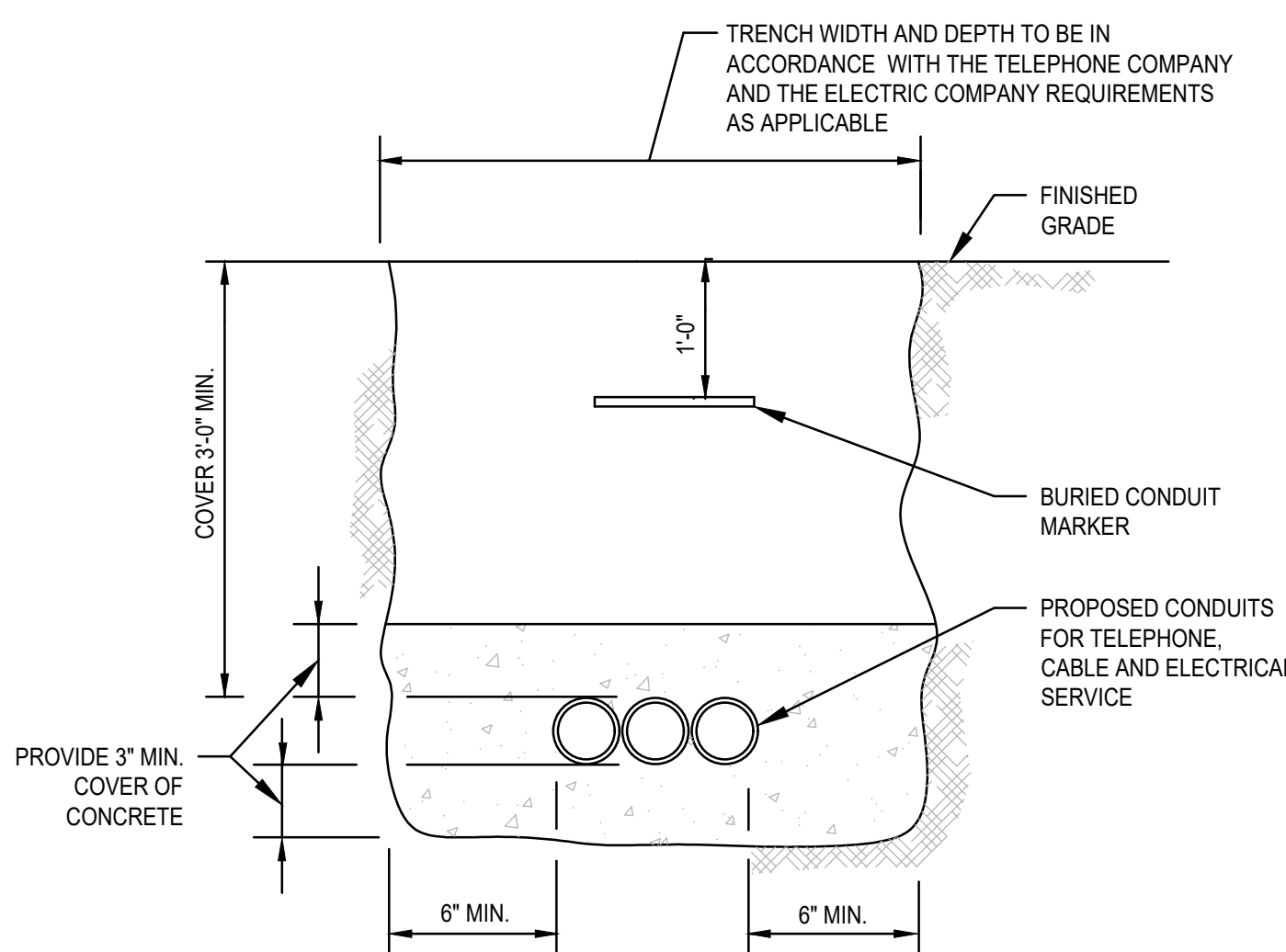
- FOR FITTINGS WITH LESS THAN 45° DEFLECTION, USE BEARING AREAS FOR 45° BEND.
- BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 P.S.F. AND INTERNAL WATER PRESSURE OF 150 P.S.I.G. JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND THE ROCK FACE.
- THE CONTRACTOR SHALL SUBMIT 2 WEEKS IN ADVANCE OF PLACEMENT, WORKING DRAWINGS FOR EACH THRUST BLOCK TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- ALL VALVES AND FITTINGS SHALL BE RODDED TOGETHER.

ASSUMPTIONS:

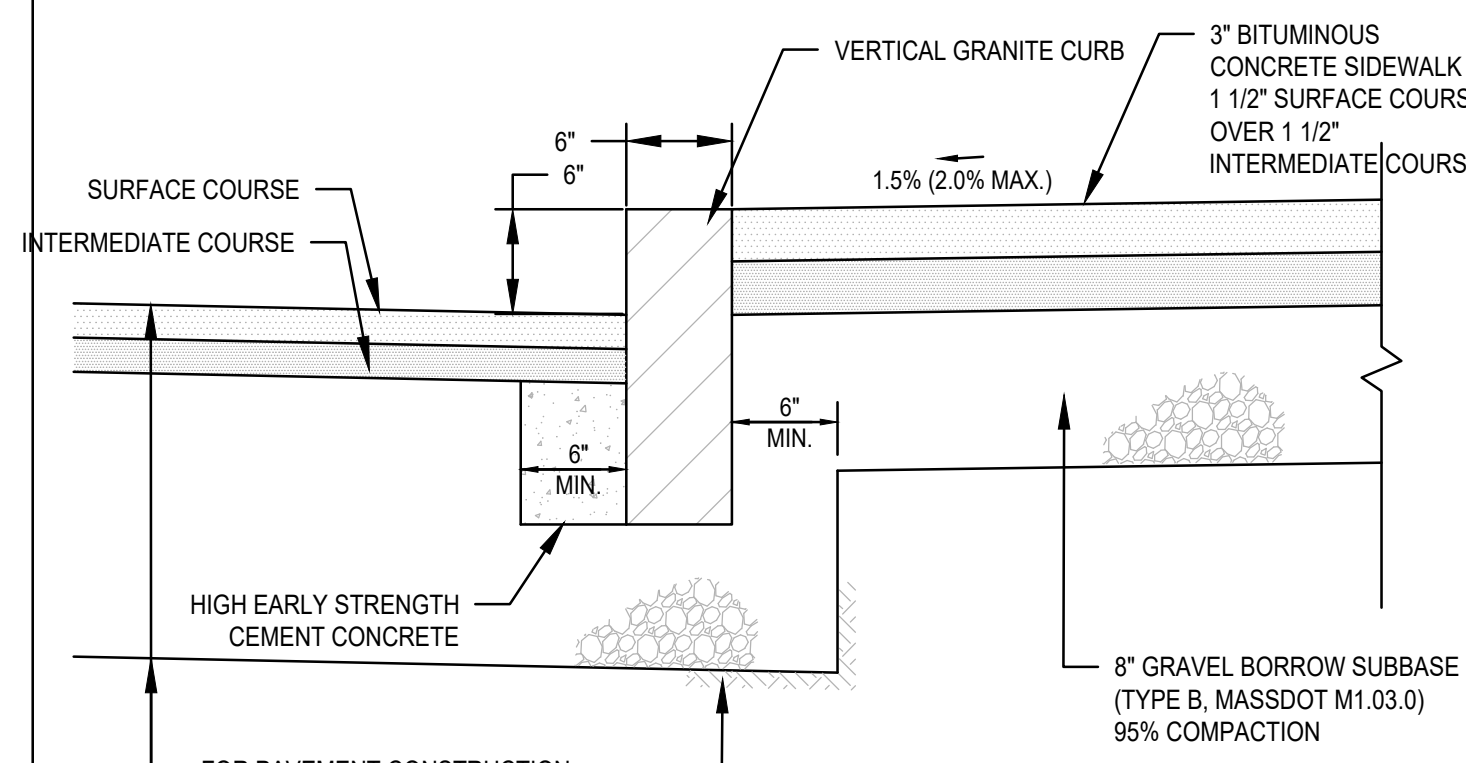
\* TYPE OF SOIL IS MEDIUM CLAYEY, 6 OR MORE BLOWS PER FOOT, OR LOOSE GRANULAR, 9 OR MORE BLOWS PER FOOT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.

THRUST BLOCK DETAILS  
SCALE: N.T.S.

THRUST BLOCK BEARING AREAS FOR WATER PIPE			
TABLE OF BEARING AREAS IN SQ. FT. AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS*			
SIZE OF MAIN (IN.)	90° BEND	TEES AND PLUGS	45° BEND
6	4	2.5	2
8	6	4	3
12	12	9	7
16	21	16	12



TYPICAL ELECTRIC/TELEPHONE/CABLE CONDUIT (US-UTILITY SERVICE)  
SCALE: N.T.S.



VERTICAL GRANITE CURB WITH BITUMINOUS CONC. SIDEWALK DETAIL  
SCALE: N.T.S.  
C MCKENZIE ENGINEERING GROUP, INC.

BY	APP	DESCRIPTION	DATE	REV

**MG**  
MCKENZIE  
ENGINEERING GROUP  
Assinippi Office Park  
150 Longwater Drive, Suite 101  
Norwell, MA 02061  
P: 781.792.3900  
F: 781.792.0333  
www.mckeng.com

**SITE DEVELOPMENT PLAN**  
**550-560 WASHINGTON STREET**  
**(APN 29-330-3)**  
**WEYMOUTH, MASSACHUSETTS**

PROFESSIONAL ENGINEER:

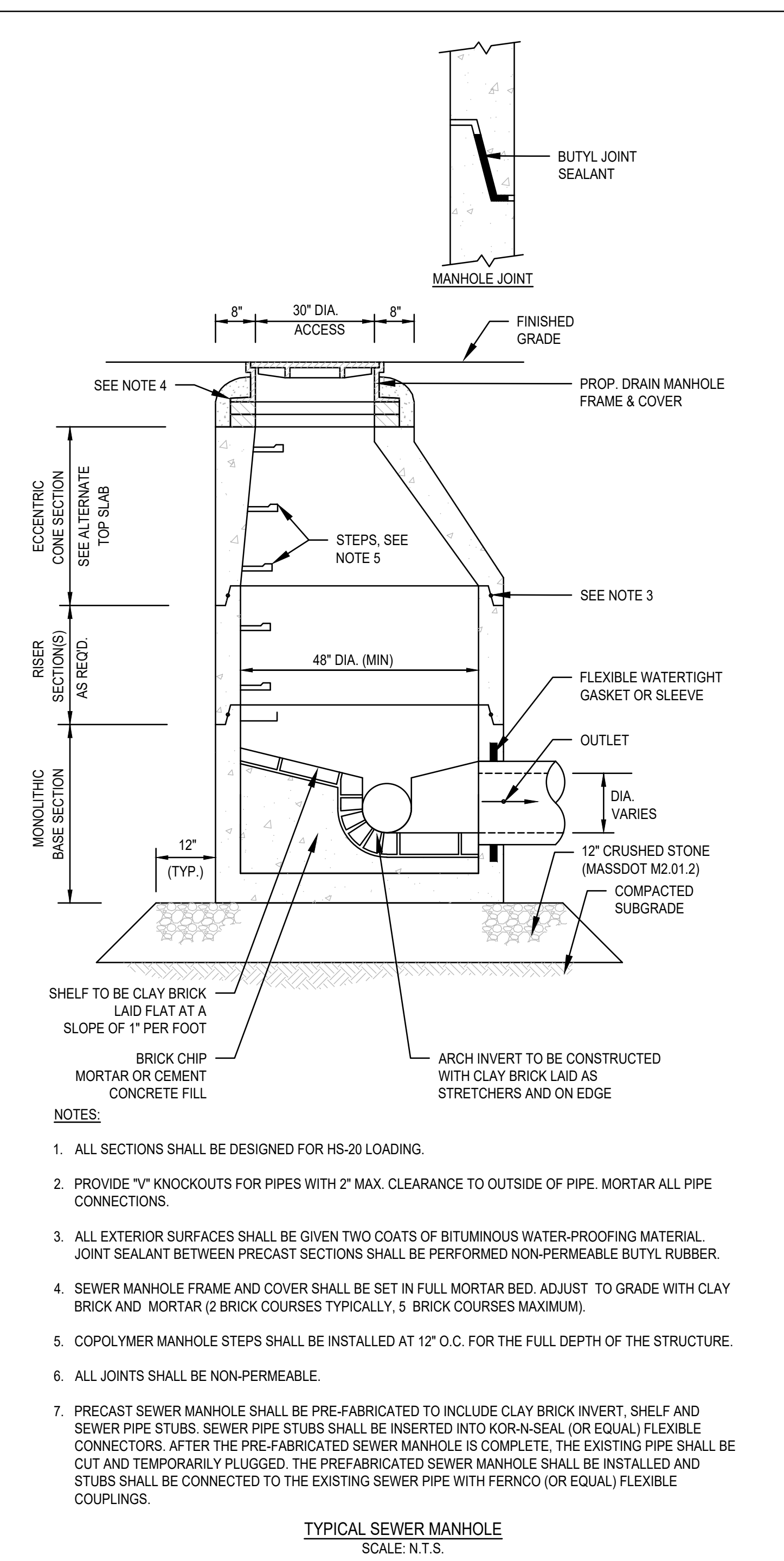
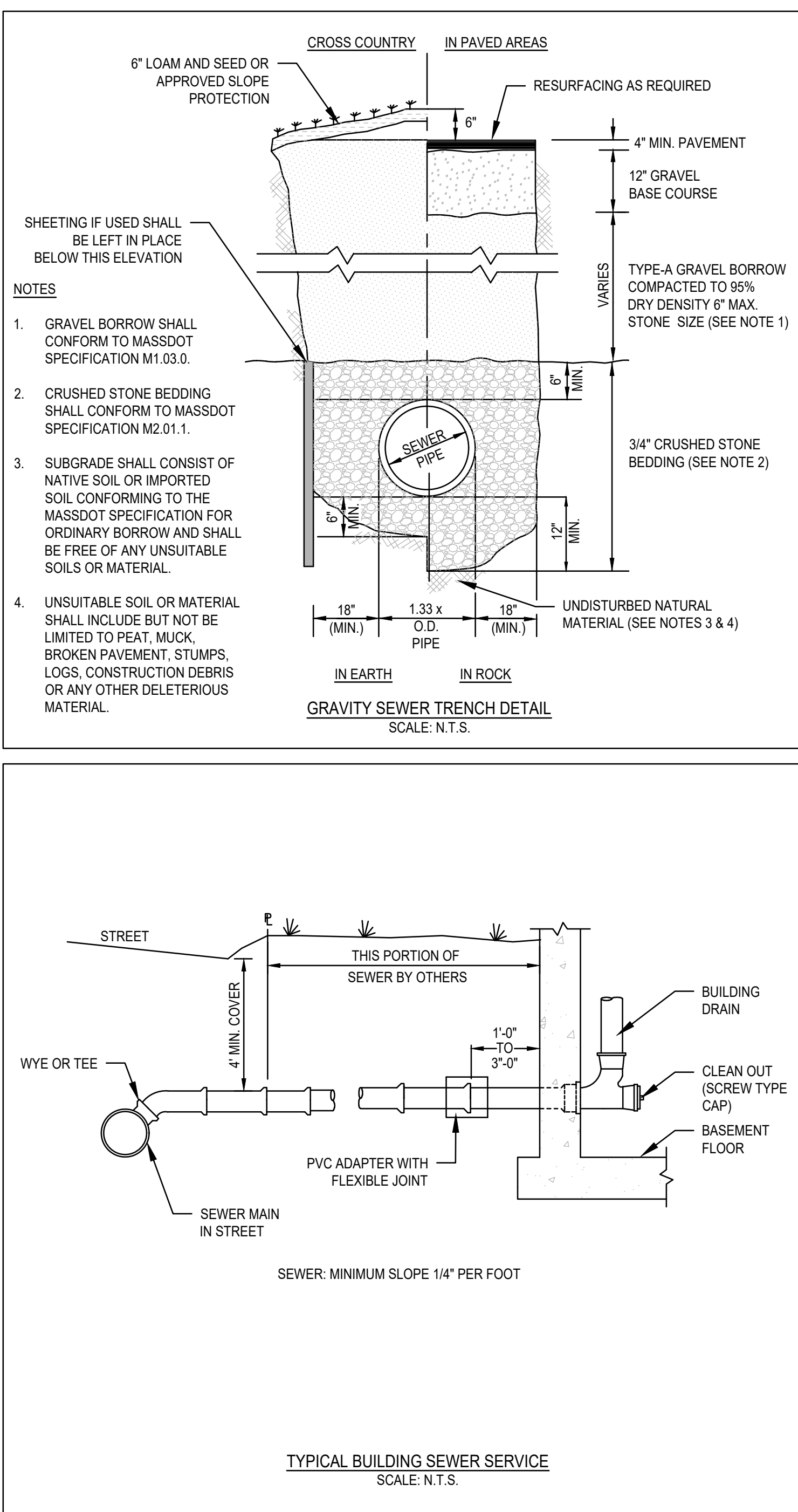
OWNERS/APPLICANT:  
**UNION REALTY TRUST**  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS 02188

DRAWN BY:	ESS
DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	AS NOTED
PROJECT NO.:	221-187
DWG. TITLE:	

**CONSTRUCTION DETAILS**

DWG. NO:



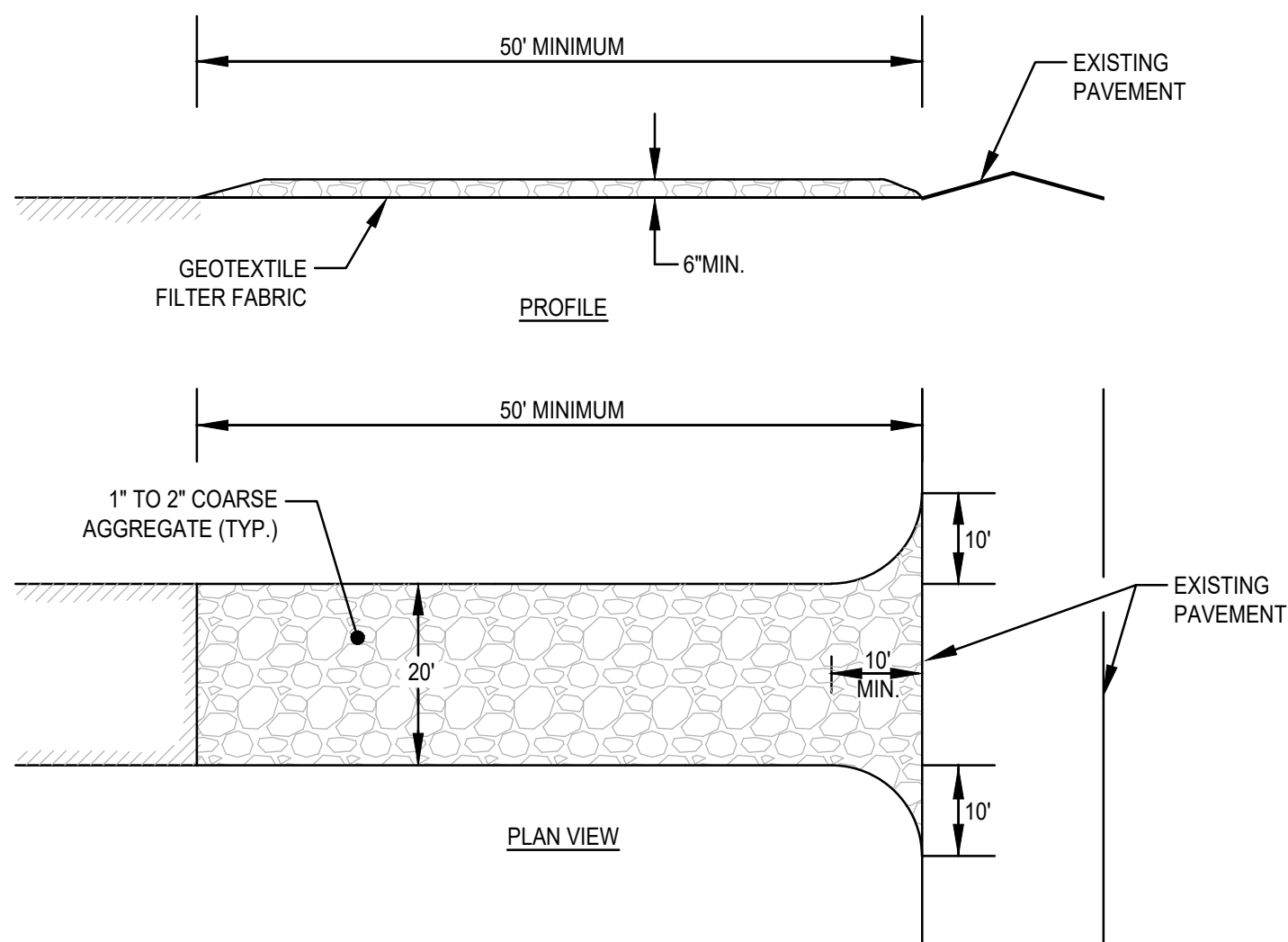




TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.

1. THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN & PLACE SILTATION FENCE ON THE SITE PLANS.
3. DRAINAGE AND SLOPE UP AS REQUIRED FOR THE CONSTRUCTION OF THE ROADWAY, PARKING AREAS AND RELATED INFRASTRUCTURE.
4. CONTRACTOR STABILIZED CONSTRUCTION ENTRANCE.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN AREAS AND STOCKPILE ON SITE IN LOCATIONS SHOWN ON THE PLAN. CONSIDERATION SHOULD BE GIVEN TO LOCATING STOCKPILES ON THE UPHILL SIDE OF DISTURBED AREAS, WHERE POSSIBLE, TO AVOID AS TEMPORARY OVERLOOKS.
6. CONSTRUCT CUT AND FILL AREAS, INSTALLING WASHPILE CHECK DAMS AT TOPS OF ALL CUTS 1:1 OR GREATER SLOPES. AT ENDS OF CUTS, BUT NOT AT TOPS OF CUTS, INSTALL USING 12" MAXIMUM COMPACTION FLATS. PLACE ALL SLOPE PROTECTION WHERE INDICATED ON THE PLAN. THE SUBSURFACE IMPACTATION SYSTEM SHALL BE CONSTRUCTED IMMEDIATELY AFTER THE ROADWAY ROAD GRADING IS COMPLETED AND BEFORE ANY OTHER CONSTRUCTION OF ANY TYPE.
7. INSTALL CLOSED DRAINAGE SYSTEM AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE COVERED WITH SILTSCREEN OR EQUIVALENT INLET PROTECTION.
8. GRADE AND STABILIZE ALL EXISTING AND NEWLY GRADE AREAS AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE EVALUATED. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN.
9. EXCAVATE AND CONSTRUCT BUILDING FOUNDATION.
10. PLACE GRAVEL SUBBASE.
11. PLACE THE BITUMINOUS CONCRETE BINDER COURSE ON ROADWAY AND PARKING AREAS.
12. CONSTRUCT BUILDING STRUCTURES AND ASSOCIATED UTILITY CONNECTIONS.
13. GRADE SLOPES AND STABILIZE CUT AREAS AT TOP OF SLOPES. BLEND ALL SLOPES INTO EXISTING TOPOGRAPHY AND LAND AND SEED ALL DISTURBED AREAS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH MULCH.
14. PLACE THE FINAL WEARING COURSE OF PAVEMENT.
15. COMPLETE FINE GRADING OF SHOULDERS AND PLACE PAVEMENT IN MISCELLANEOUS AREAS.
16. PROVIDE CONSTRUCTION AND MAINTENANCE OF SLOPES WITH ADEQUATE GROWTH ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.

1. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOCK BARRIER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY DIVERSION SWALES WITH STONE CHECK DAMS, SEDIMENT BASINS, AND INLET PROTECTION.
2. EROSION CONTROL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
3. IN GENERAL, THE SMALLEST POSSIBLE AREA OF LAND SHOULD BE EXPOSED TO A MAXIMUM WHEN LAND IS EXPOSED DURING DEVELOPMENT. THE EXPOSURE SHALL BE CONFINED TO ONE TIME PERIOD OF 30 DAYS. LAND SHOULD BE PROTECTED BY MULCHING, SEEDING, AND TEMPORARY STRUCTURED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND THAT WILL BE REGRADED AT A LATER DATE SHALL BE MULCHING AND SEEDING WITH WINTER RYE TO PREVENT EROSION.

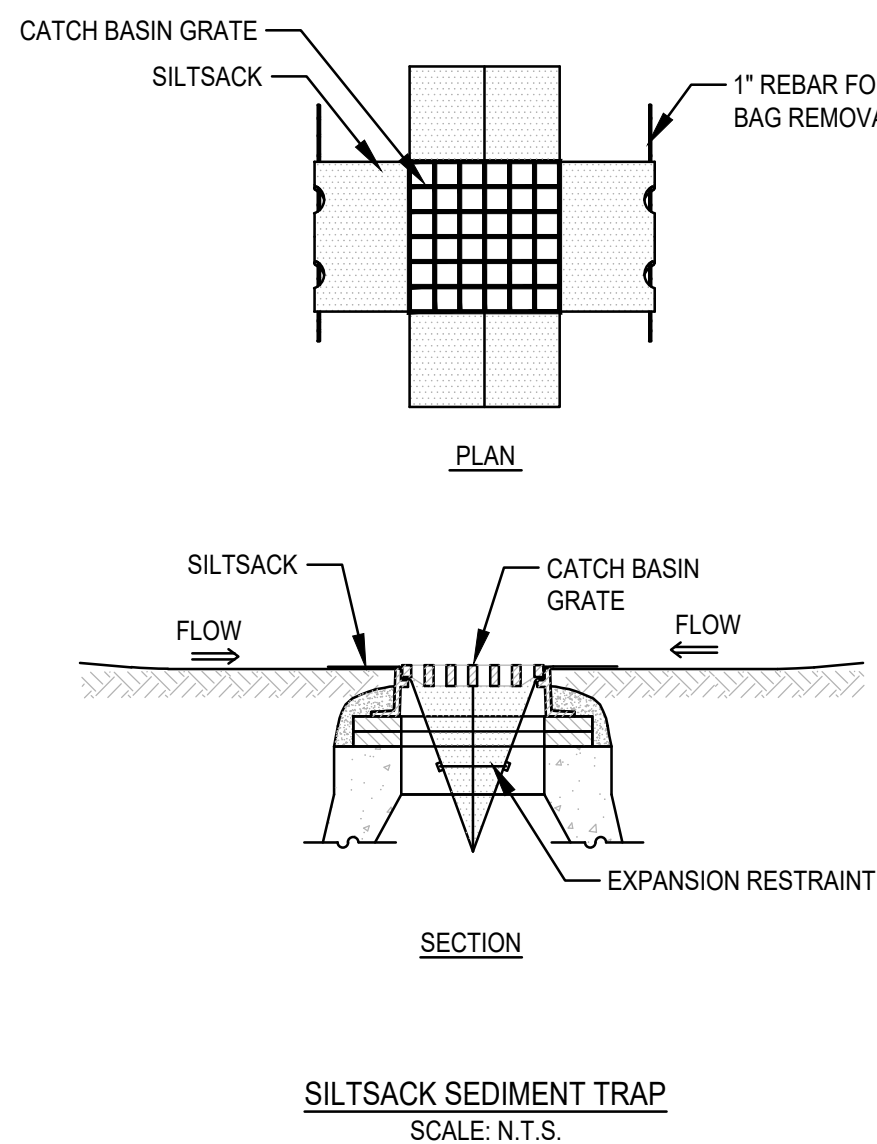
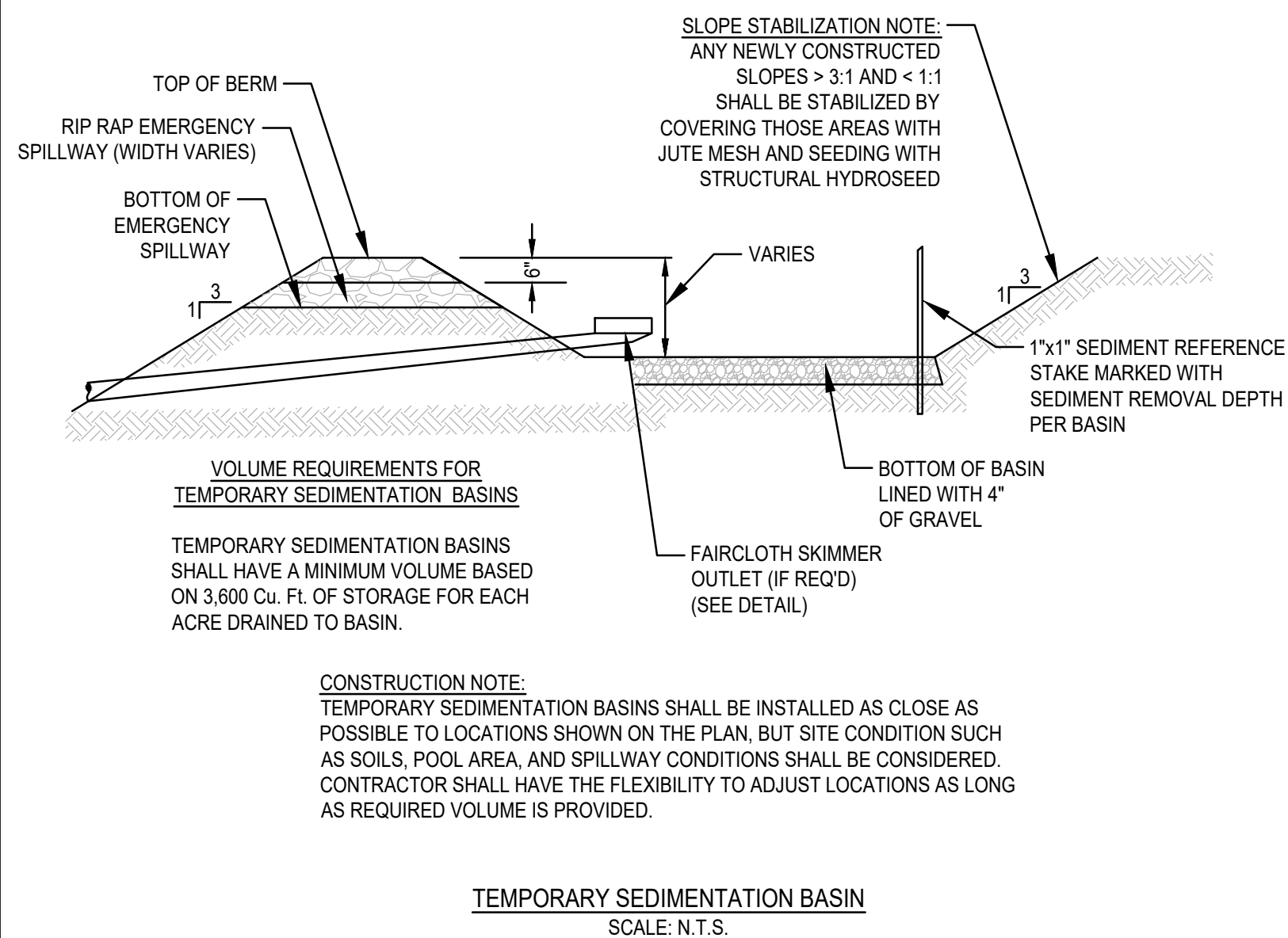
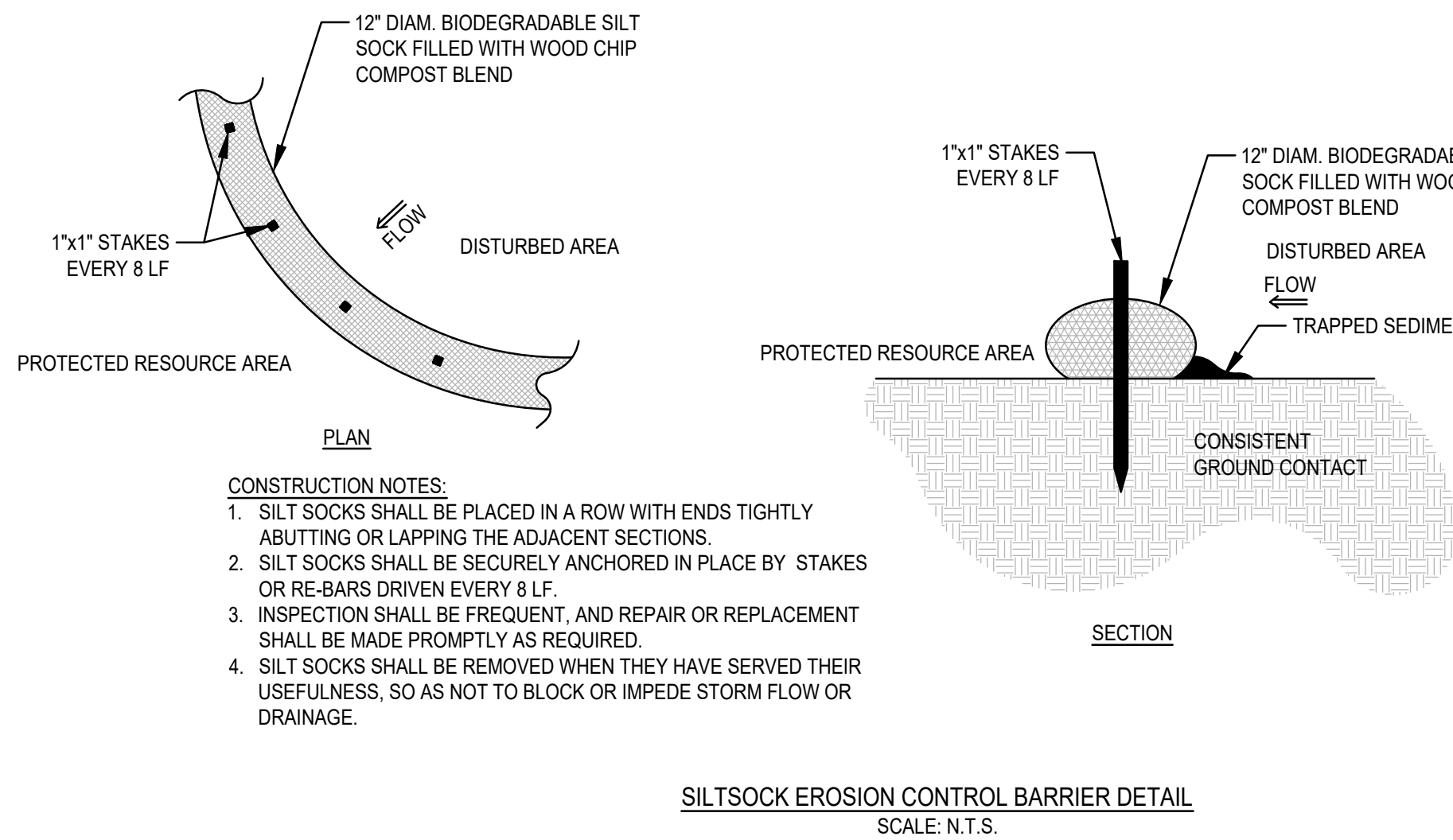
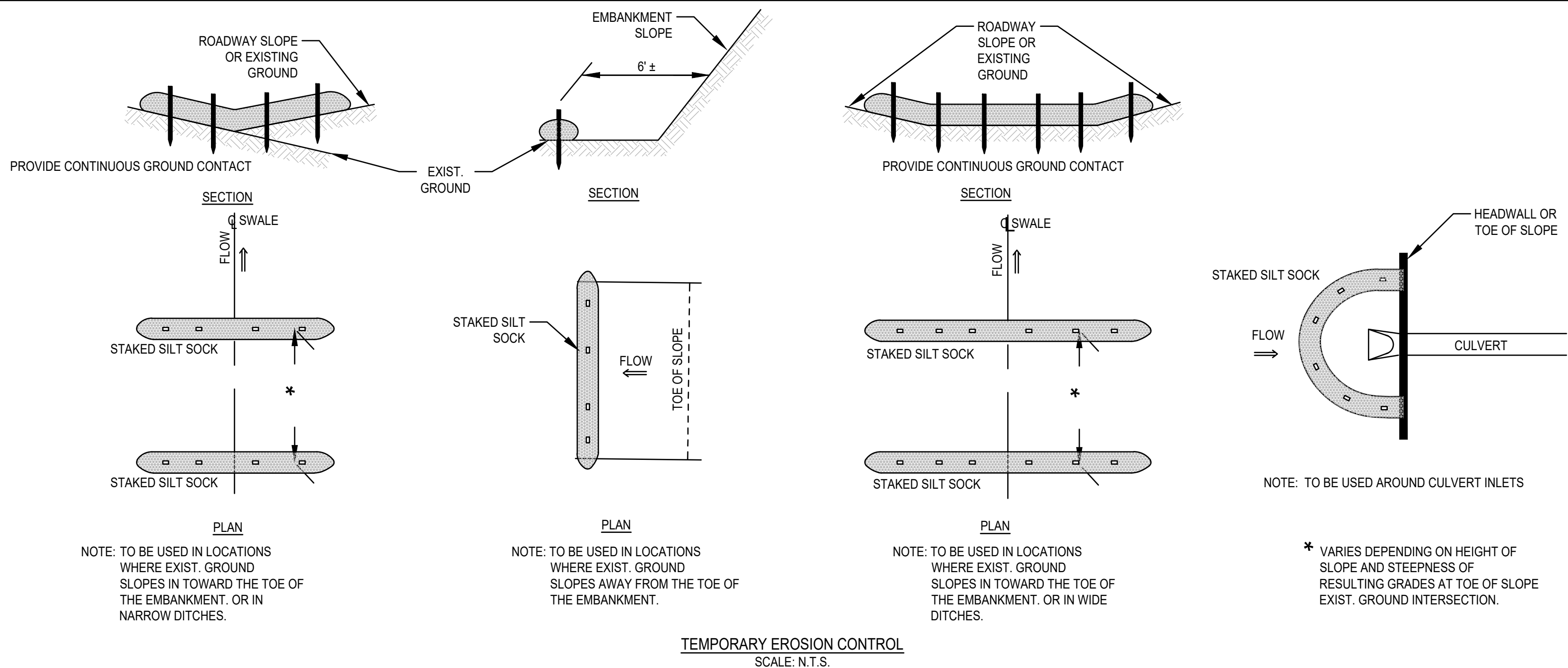
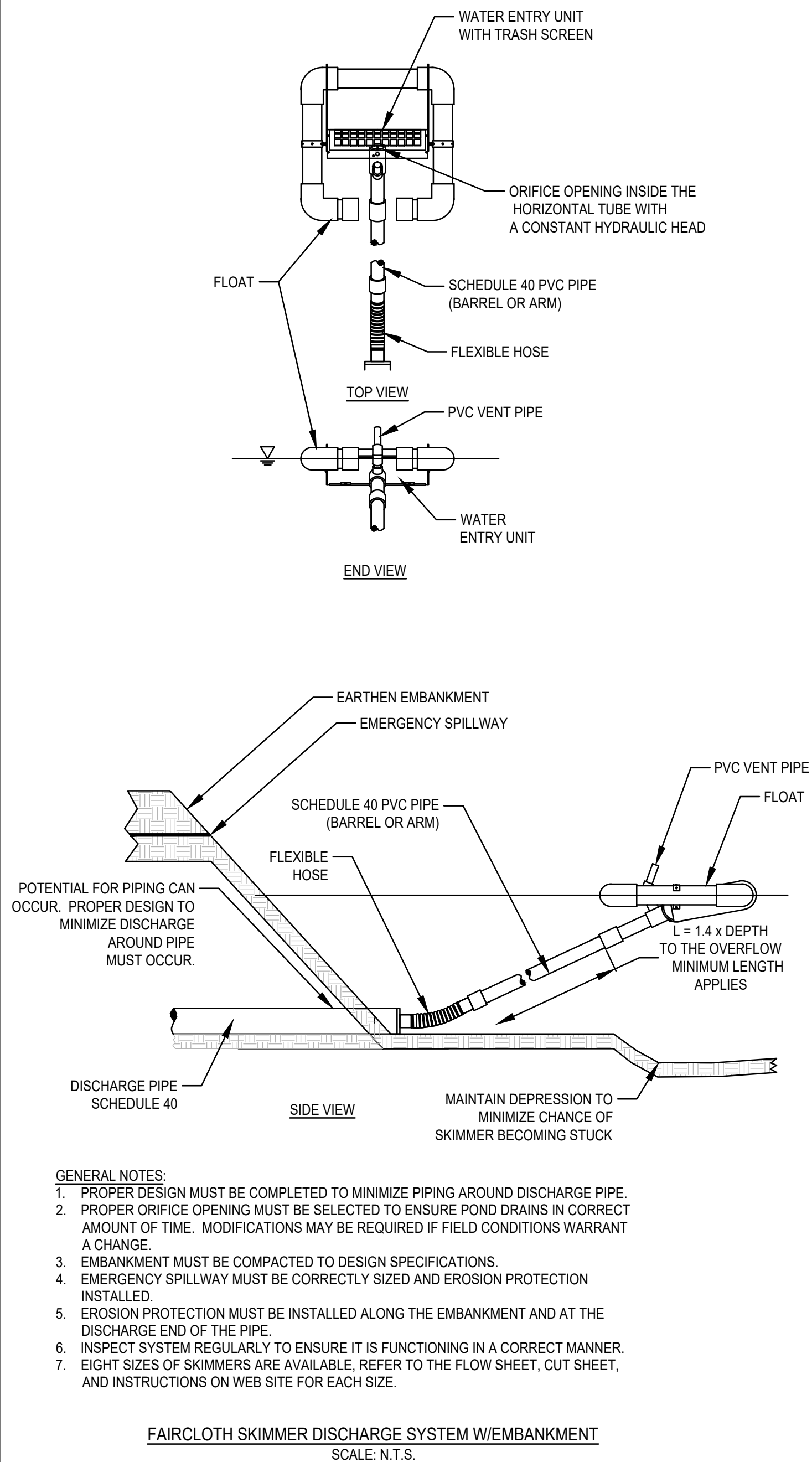


(SCE) CONSTRUCTION SPECIFICATIONS

1. STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DEVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE (SCE) DETAIL  
SCALE: N.T.S.

1. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOSS EROSION CONTROL, BARRIERS, STABILIZED CONSTRUCTION ENTRANCES, CONCRETE CURBS, STOCKPILING, AND EROSION CONTROL MATS.
2. STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
3. OPERATOR PERSONNEL AND/OR ITS CONSULTANTS MUST INSPECT THE CONSTRUCTION AREA FOR EROSION AND SEDIMENT CONTROLS EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT 1/4 INCH OR GREATER. THE INSPECTOR SHOULD REPORT THE EROSION AND SEDIMENT CONTROLS WITH RESPECT TO THE FOLLOWING:
  - A. WHETHER OR NOT THE BMP WAS INSTALLED/PERFORMED CORRECTLY.
  - B. WHETHER OR NOT THERE HAS BEEN DAMAGE TO THE BMP SINCE IT WAS INSTALLED OR PERFORMED.
  - C. WHAT SHOULD BE DONE TO CORRECT ANY PROBLEMS WITH THE BMP.
  - D. WHEN CORRECTION SHOULD BE COMPLETED.
4. THE INSPECTOR SHALL COMPLETE AND SIGN THE EROSION AND SEDIMENTATION CHECKLIST FOR FINDINGS AND SHOULD REQUEST THE REQUIRED MAINTENANCE OR REPAIR.
5. ALL SLOPES EXCEEDING 18% RESULTING FROM SITE GRADING SHALL BE BOTH COVERED WITH FOUR INCHES OF TOPSOIL AND PLANTED WITH A VEGETATED COVER SUFFICIENT TO PREVENT EROSION.

[illegible]

**SITE DEVELOPMENT PLAN**  
550-560 WASHINGTON STREET  
(APN 29-330-3)  
WEYMOUTH, MASSACHUSETTS

PROFESSIONAL ENGINEER

OWNERS/APPLICANT:

UNION REALTY TRUST  
560 WASHINGTON STREET  
WEYMOUTH, MASSACHUSETTS

PERMIT PLAN SET

DRAWN BY:	ESS
DESIGNED BY:	ESS
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 24, 2023
SCALE:	AS NOTED
PROJECT NO.:	221-187
DWG. TITLE:	

## CONSTRUCTION DETAILS

DWG. NO

D-5

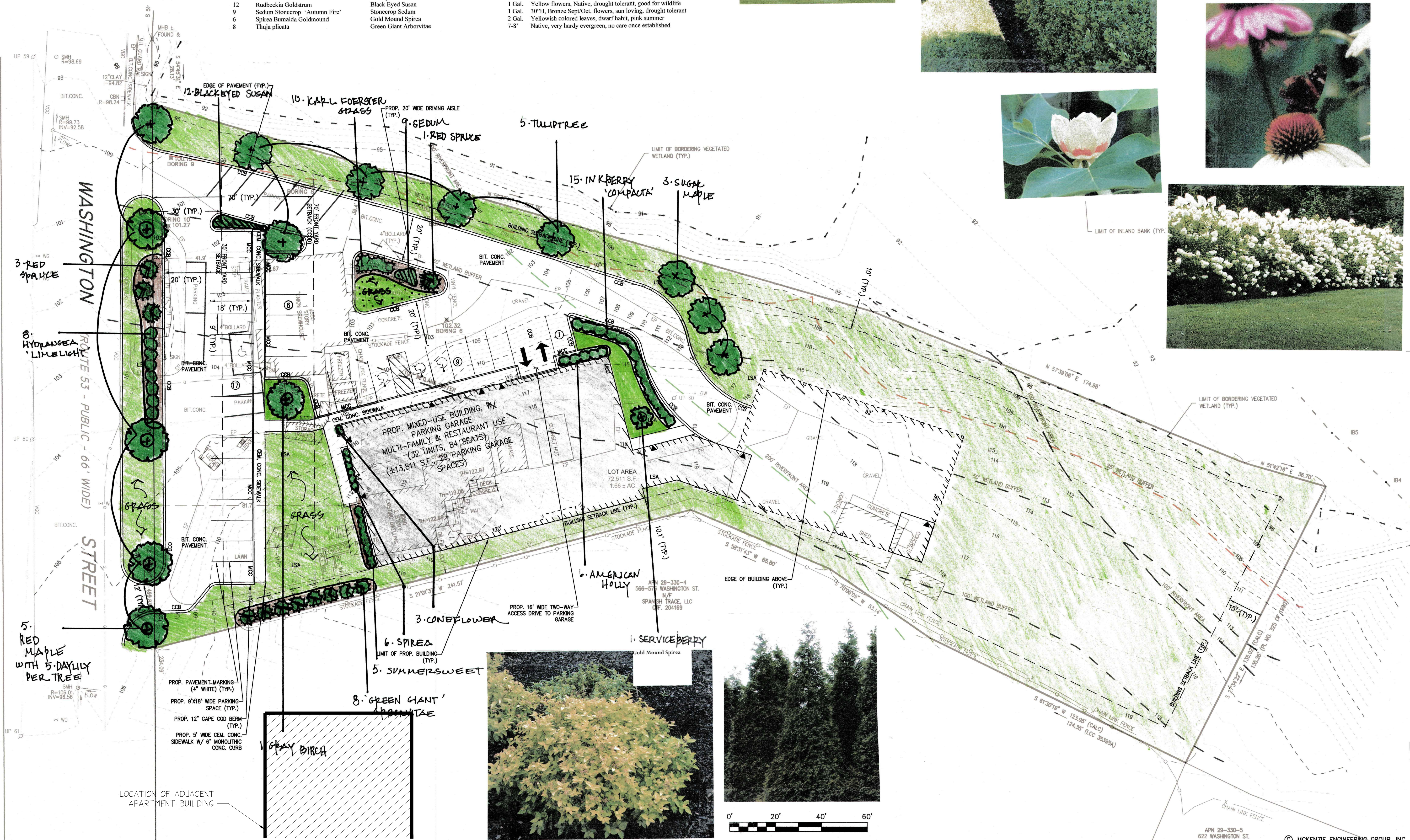
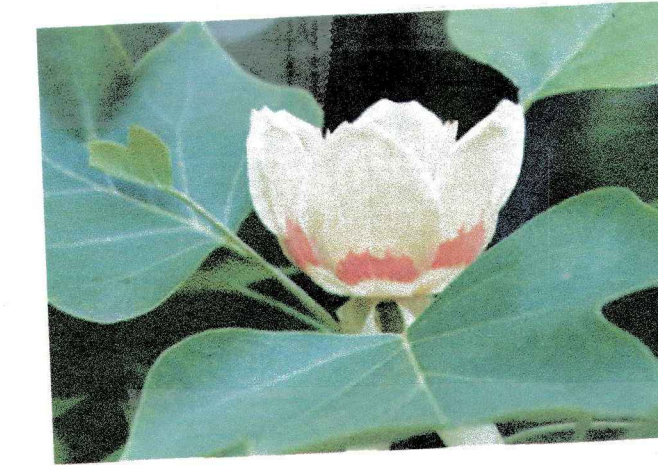
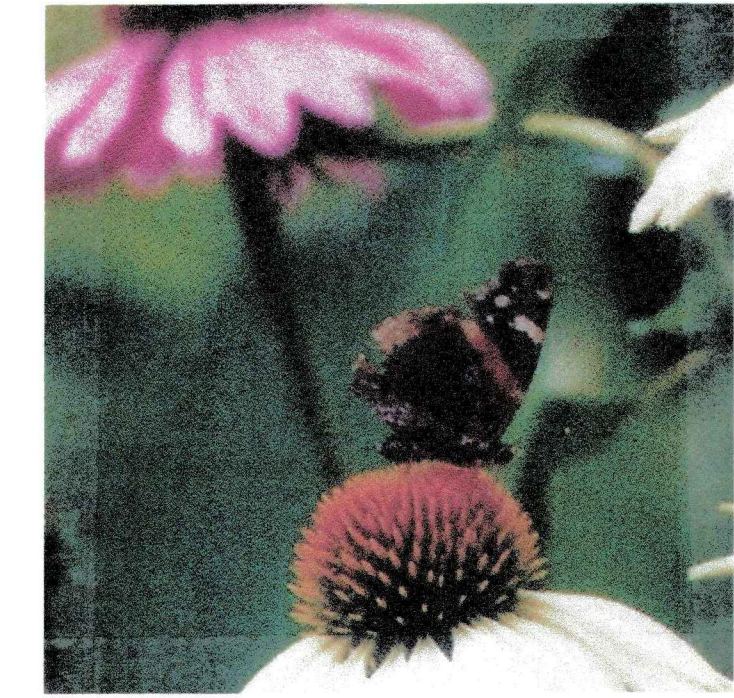


R 150XLHD ET PPLICATION	CULTEC STORMWATER CHAMBER		
	PROJECT NO:		DATE: 2019
	DESIGNED BY: CULTEC, INC		DRAWN BY: TECH
	SCALE: N.T.S.	SHEET NO: 1 OF 1	

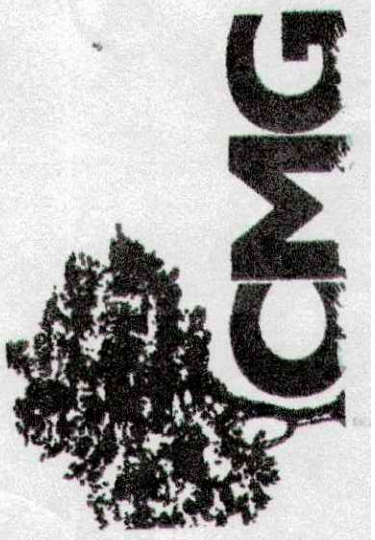


### Plant Schedule

Qty.	Latin Name	Common Name	Size	Features
5	Acer rubrum 'October Glory'	October Glory Red Maple	2.5-3' C	Oval canopy, red fall leaves, native, very hardy, wet or dry
3	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5-3' C	Broader habit, native, bright yellow leaves, hardy
1	Amelanchier canadensis	Servicberry	7-8'	White spring flowers, Native, not getting too large, hardy
1	Betula populifolia	Gray Birch	8-10'	Native, wet or dry, sun or shade, very hardy variety
10	Calamagrostis Karl Foster	Karl Foster Feather Reed Grass	3 Gal.	Very hardy, upright 3' H, neat, drought tolerant
3	Clethra alnifolia Ruby Spice	Fragrant Deep Pink Summersweet	3 Gal.	Native, very hardy, pink, fragrant summer flowers
3	Echinacea	Coneflower	1 Gal.	24-30" H, perennial, sun loving, June-August, elegant, hardy
25	Hemerocallis Ruby Stella	Ruby Stella	1 Gal.	12" H, ruby red flowers, 60-90 days, very hardy, summer
8	Hydrangea paniculata Limelight	Limelight Hydrangea	7 Gal.	White summer flowers, 8-9 H, no care, super hardy
15	Ilex glabra Compacta	Compact Inkberry	24"	Native, naturally rounded, easy care and super hardy
5	Ilex opaca Female	American Holly (Female)	36"	Dark glossy pointed leaves, Native, berries for birds
1	Ilex opaca Male	American Holly (Male)	36"	Dark glossy pointed leaves, Females needs male for berries
5	Liliodendron tulipifera	Tulip Tree	7" cal.	Native, beautiful flowers, tulip shapes leaves and flowers
4	Picea rubens	Red Spruce	7-8'	Native evergreen, super hardy, no care needed
12	Rudbeckia Goldstrum	Black Eyed Susan	1 Gal.	Yellow flowers, Native, drought tolerant, good for wildlife
9	Sedum Stonecrop 'Autumn Fire'	Stonecrop Sedum	1 Gal.	30" H, Bronze Sept-Oct. flowers, sun loving, drought tolerant
6	Spiraea Bumalda Goldmound	Gold Mound Spiraea	2 Gal.	Yellowish coral edged leaves, dwarf! pink sum, pink summer
8	Thuja plicata	Green Giant Arborvitae	7-8'	Native, very hardy evergreen, no care once established



Designed and Drawn by:  
Carlin Gossellin, CMG Design  
cmgdesign@verizon.net 781-249-2211



--	MS	3/23/2023	ZBA revisions
--	MS	4/27/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL
<b>No.</b>	<b>BY</b>	<b>DATE</b>	<b>DESCRIPTION</b>

# NEW MIXED USE BUILDING UNION BREW HOUSE

550 - 560 WASHINGTON STREET  
WEYMOUTH, MA

LANDSCAPE PLAN

SCALE:	AS NOTED
DRAWN by:	MKS
CHK'D by:	MKS
PROJECT No.:	2019-299



# Plant Schedule

Qty.	Latin Name	Common Name	Size	Features
5	Acer rubrum 'October Glory'	October Glory Red Maple	2.5-3''c.	Oval canopy, red fall leaves, native, very hardy, wet or dry
3	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5-3''c	Broader habit, native, bright yellow leaves, hardy
1	Amelanchier canadensis	Serviceberry	7-8'	White spring flowers, Native, not getting too large, hardy
1	Betula populifolia	Gray Birch	8-10'	Native, wet or dry, sun or shade, very hardy variety
10	Calamagrostis Karl Foster	Karl Foster Feather Reed Grass	3 Gal.	Very hardy, upright, 3'H, neat, drought tolerant
5	Clethra alnifolia Ruby Spice	Fragrant Deep Pink Summersweet	5 Ga.	Native, very hardy, pink fragrant summer flowers
3	Echinacea	Coneflower	1 Gal.	24-30''H, perennial, sun loving, June-August, elegant, hardy
25	Hemerocallis Ruby Stella	Ruby Stella	1 Gal.	12''H, ruby red flowers, 60-90 days, very hardy, summer
8	Hydrangea paniculata Limelight	Limelight Hydrangea	7 Gal.	White summer flowers, 8'H, no care, super hardy
15	Ilex glabra Compacta	Compact Inkberry	24''	Native, naturally rounded, easy care and super hardy
5	Ilex opaca Female	American Holly (Female)	36''	Dark glossy pointed leaves, Native, berries for birds
1	Ilex opaca Male	American Holly (Male)	36''	Dark glossy pointed leaves, Females needs male for berries
5	Liriodendron tulipifera	Tulip Tree	3''cal.	Native, beautiful flowers, tulip shapes leaves and flowers
4	Picea rubens	Red Spruce	7-8'	Native evergreen, super hardy, no care needed
12	Rudbeckia Goldstrum	Black Eyed Susan	1 Gal.	Yellow flowers, Native, drought tolerant, good for wildlife
9	Sedum Stonecrop 'Autumn Fire'	Stonecrop Sedum	1 Gal.	30''H, Bronze Sept/Oct. flowers, sun loving, drought tolerant
6	Spiraea bumalda Goldmound	Gold Mound Spirea	2 Gal.	Yellowish colored leaves, dwarf habit, pink summer
8	Thuja plicata	Green Giant Arborvitae	7-8'	Native, very hardy evergreen, no care once established



NEW MIXED USE PROJECT  
550 - 560 WASHINGTON ST. WEYMOUTH, MA

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ARCHITECT:

FISHER ASSOCIATES  
35 FISHER ROAD  
WEYMOUTH, MA 02190  
617-733-8404

LANDSCAPE DESIGN:

CMG DESIGN  
NORWELL, MA

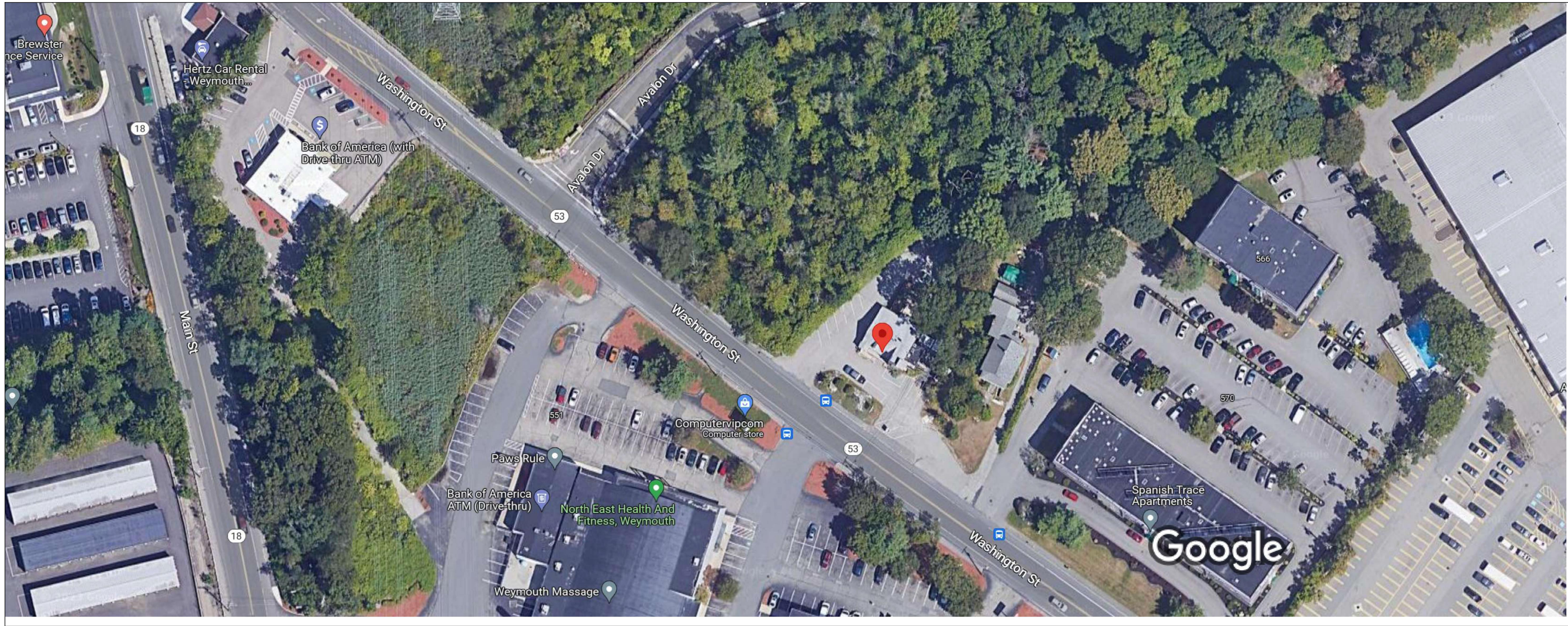
DESIGN TEAM/CONSULTING ENGINEERS

WALTER A. MCKINNON ASSOCIATES, INC.  
278 WASHINGTON STREET UNIT 1  
WEYMOUTH, MA 02188  
781-331-5898

CIVIL ENGINEER:

MCKENZIE ENGINEERING GROUP  
150 LONGWATER DRIVE, SUITE 101  
NORWELL, MA 02061  
781-792-3900





EXISTING SITE  
OVERHEAD IMAGERY  
SCALE : N.T.S.



EXISTING SITE  
STREET PERSPECTIVE IMAGERY  
SCALE : N.T.S.



EXISTING SITE  
STREET PERSPECTIVE IMAGERY  
SCALE : N.T.S.



Consulting Engineers  
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Weymouth, MA 02188  
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No.	BY	DATE	DESCRIPTION
--	MS	3/23/2023	ZBA revisions
--	MS	4/27/2021	design meeting
--	MS	12/14/2021	ZONING APPROVAL

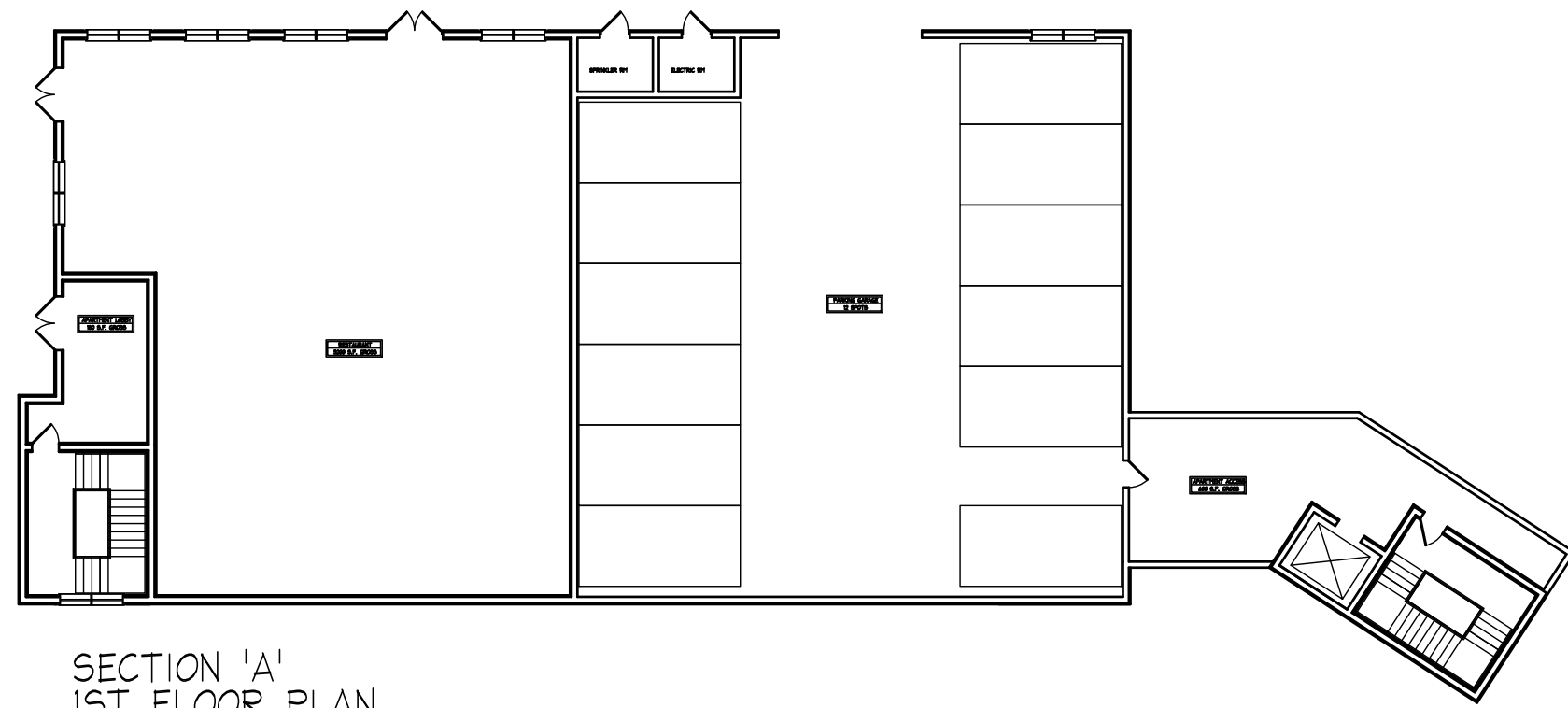
**NEW MIXED USE BUILDING  
UNION BREW HOUSE**

550 - 560 WASHINGTON STREET  
WEYMOUTH, MA

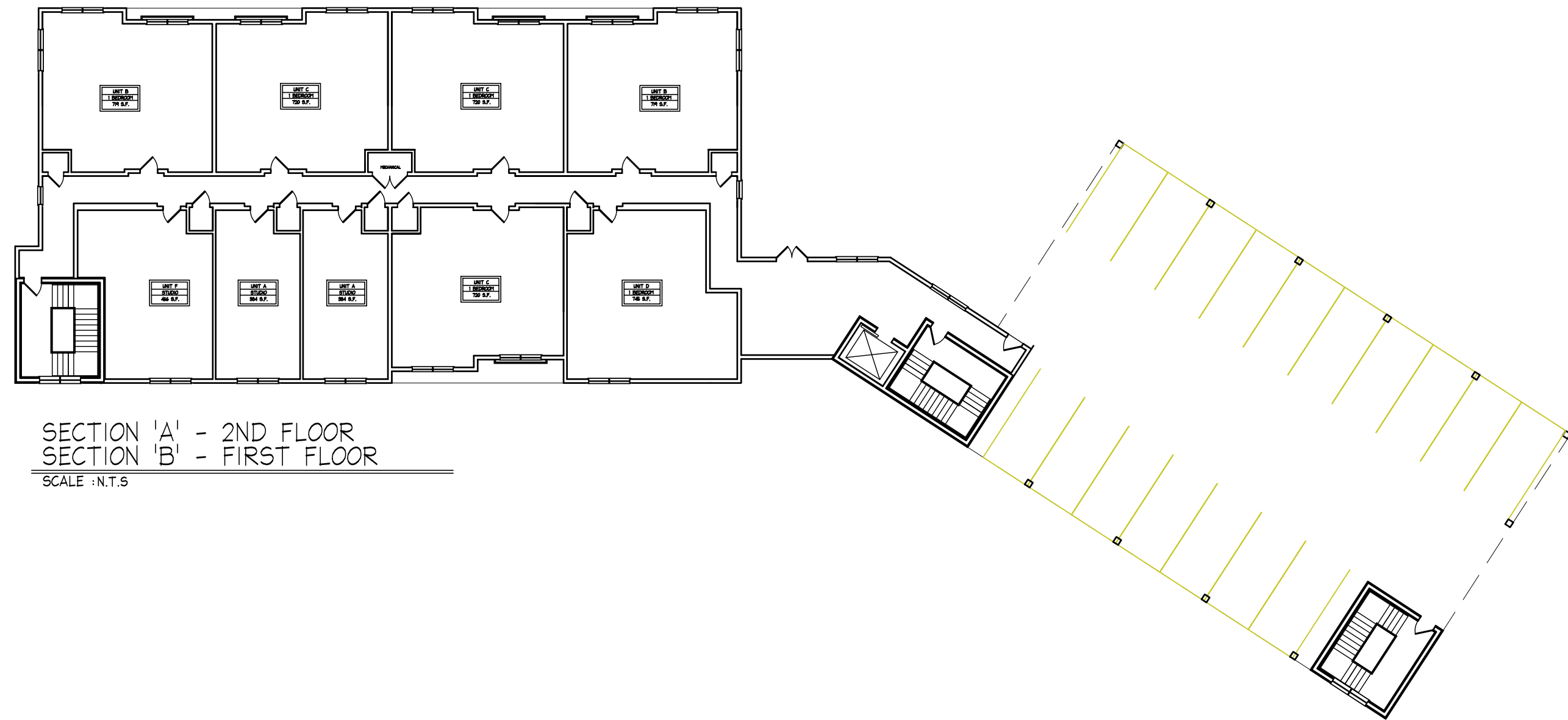
EXISTING  
CONDITIONS

SCALE:	N.T.S.
DRAWN by:	MKS
CHK'D by:	MKS
PROJECT No:	2019-299

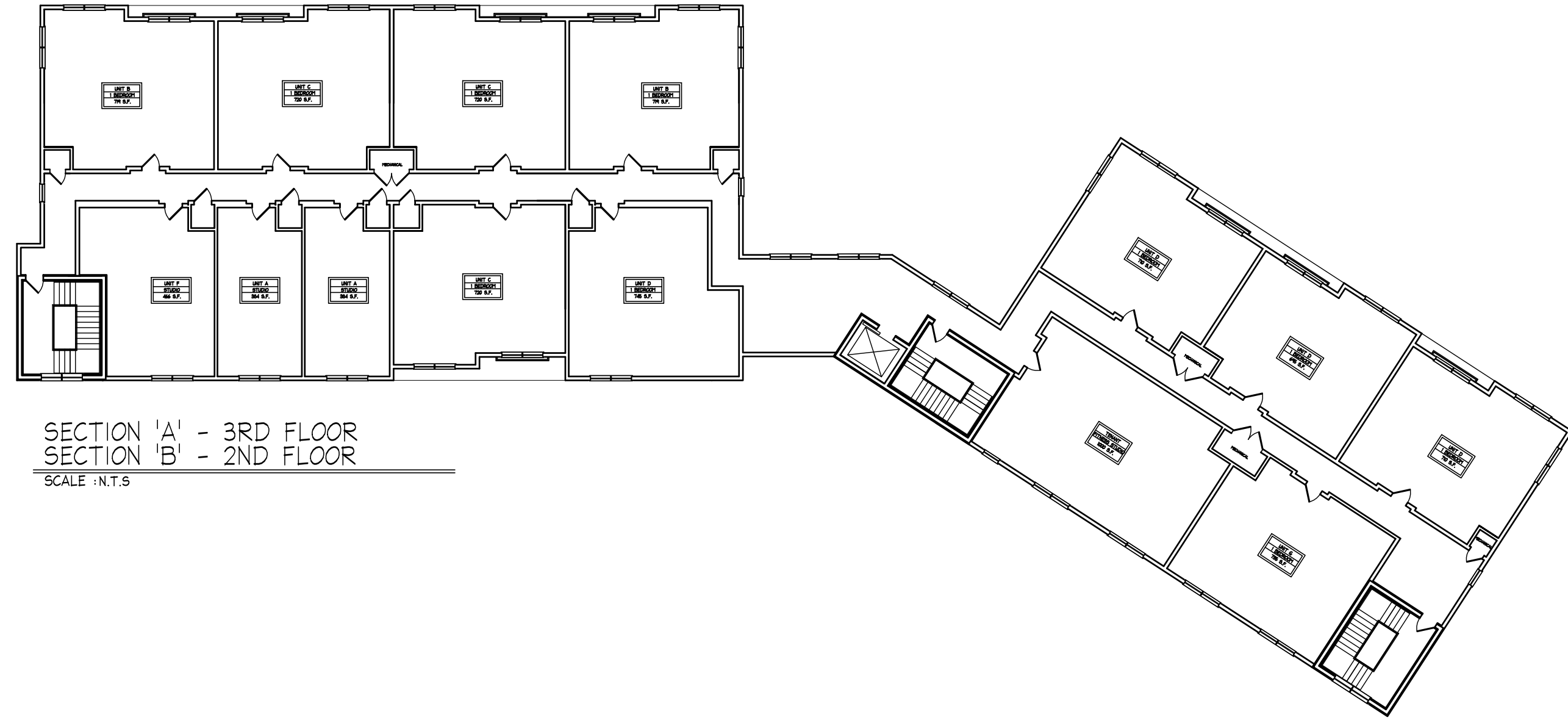




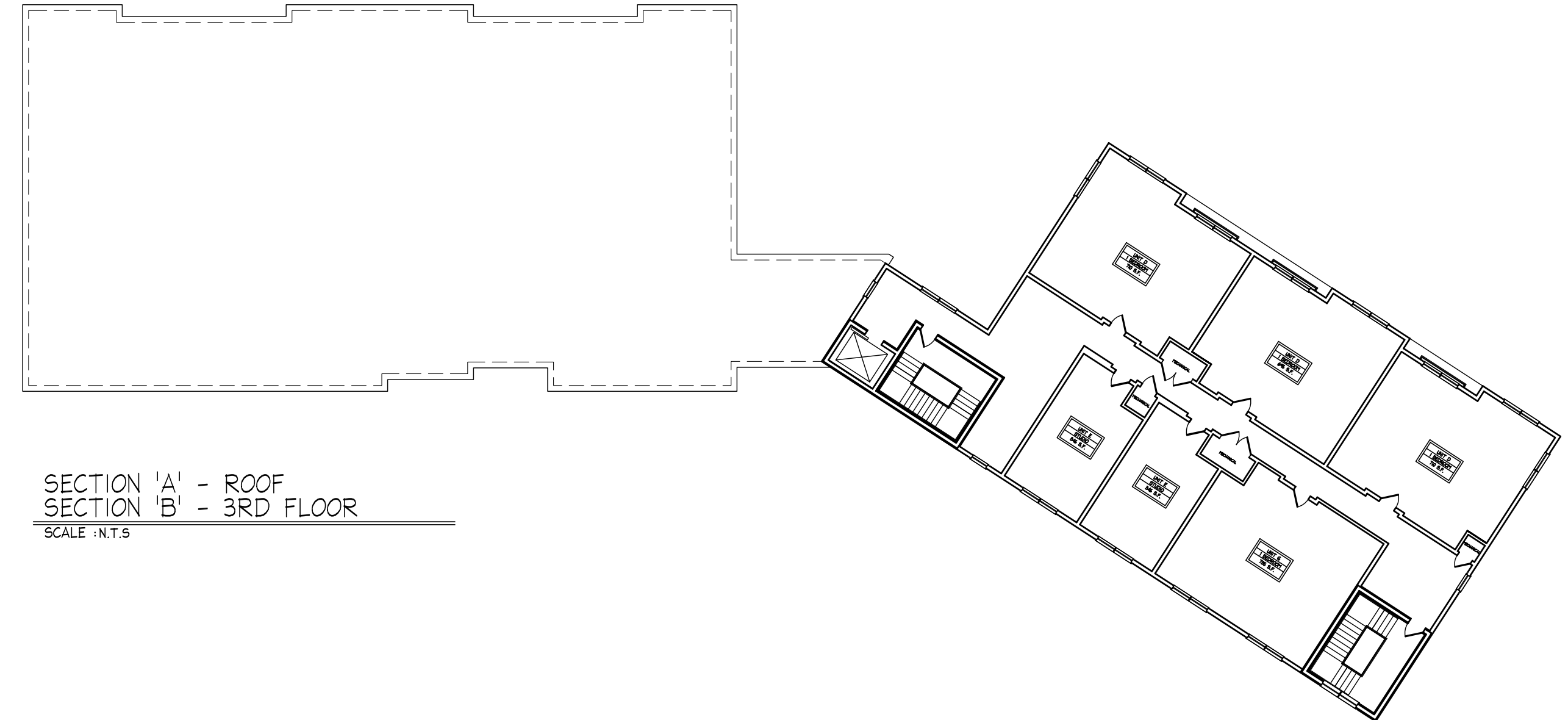
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1ST FLOOR PLAN  
SCALE: N.T.S.



SECTION 'A' - 2ND FLOOR  
SECTION 'B' - 1ST FLOOR  
SCALE: N.T.S.



SECTION 'A' - 3RD FLOOR  
SECTION 'B' - 2ND FLOOR  
SCALE: N.T.S.



SECTION 'A' - ROOF  
SECTION 'B' - 3RD FLOOR  
SCALE: N.T.S.

BUILDING BREAKDOWN	
RESIDENTIAL UNITS	
20- 1 BEDROOM UNITS	
8- STUDIO UNITS	
COMMERCIAL SPACE	
3,200 SF RETAIL	



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**NEW MIXED USE BUILDING  
UNION BREW HOUSE**

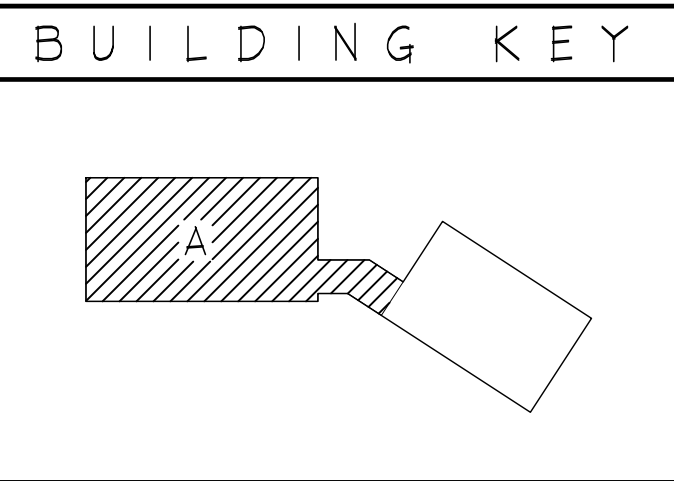
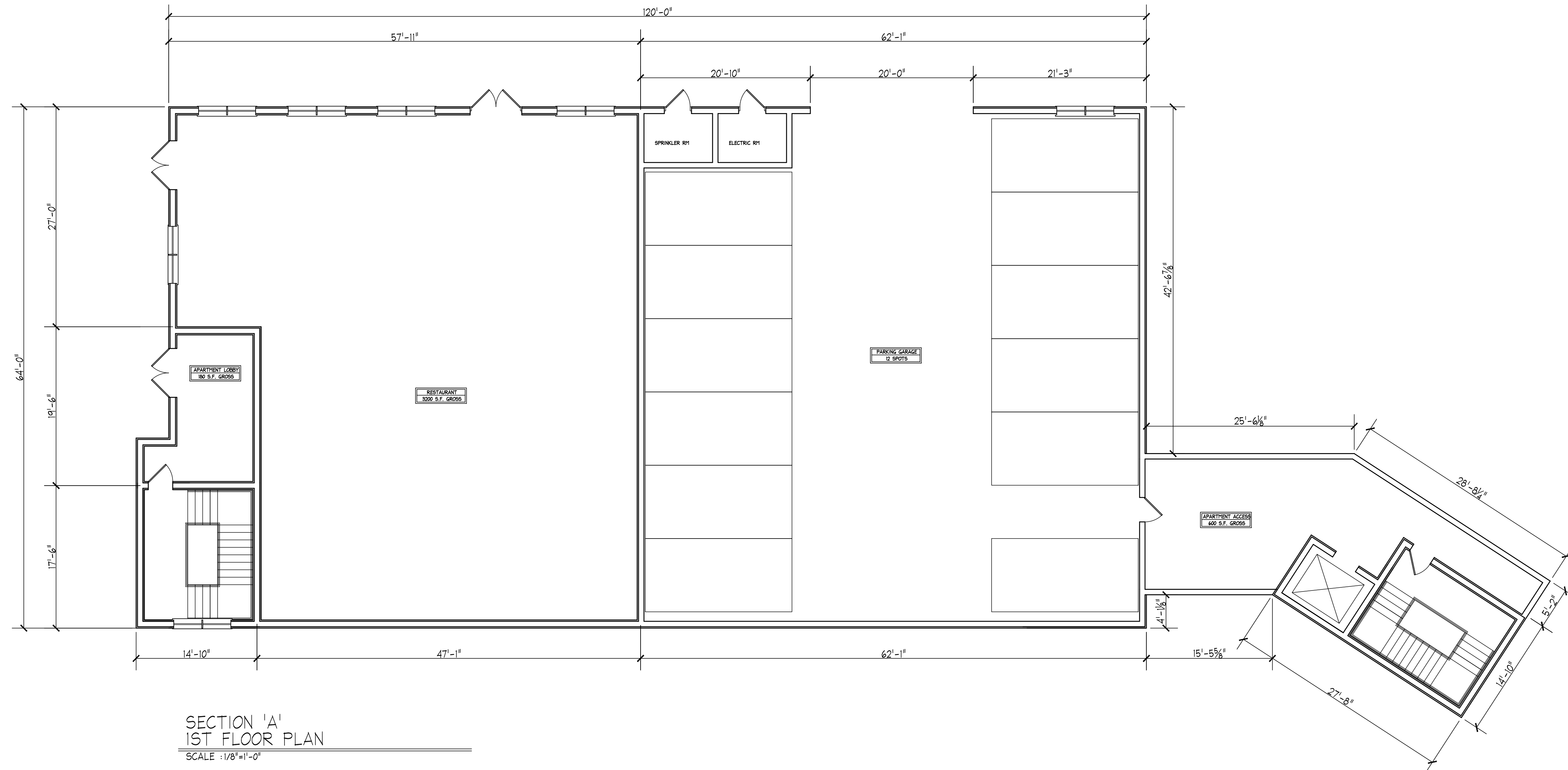
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**BUILDING FOOTPRINT  
LAYOUT PLANS**

SCALE:	N.T.S.
DRAWN by:	MKS
CHK'D by:	MKS
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A-1





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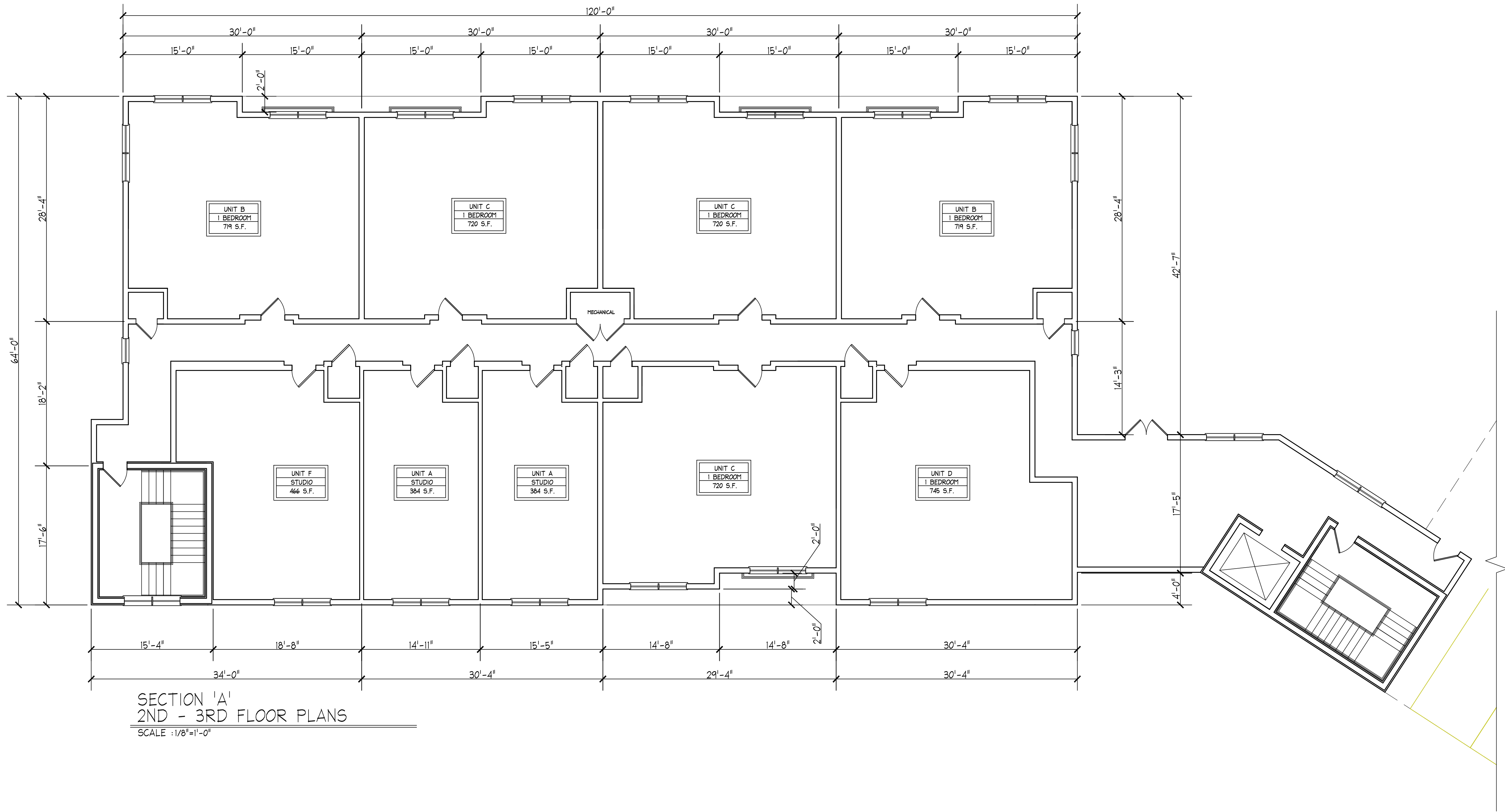
NEW MIXED USE BUILDING  
UNION BREW HOUSE  
550 - 560 WASHINGTON STREET  
WEYMOUTH, MA

SECTION 'A'  
1ST FLOOR PLAN

SCALE: 1/8"=1'-0"  
DRAWN by: MKS  
CHK'D by: MKS  
PROJECT No: 2019-299

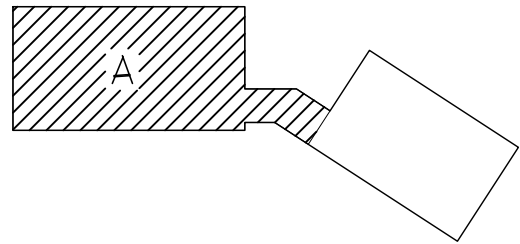
A-2





SECTION 'A'  
2ND - 3RD FLOOR PLANS  
SCALE : 1/8"=1'-0"

BUILDING KEY



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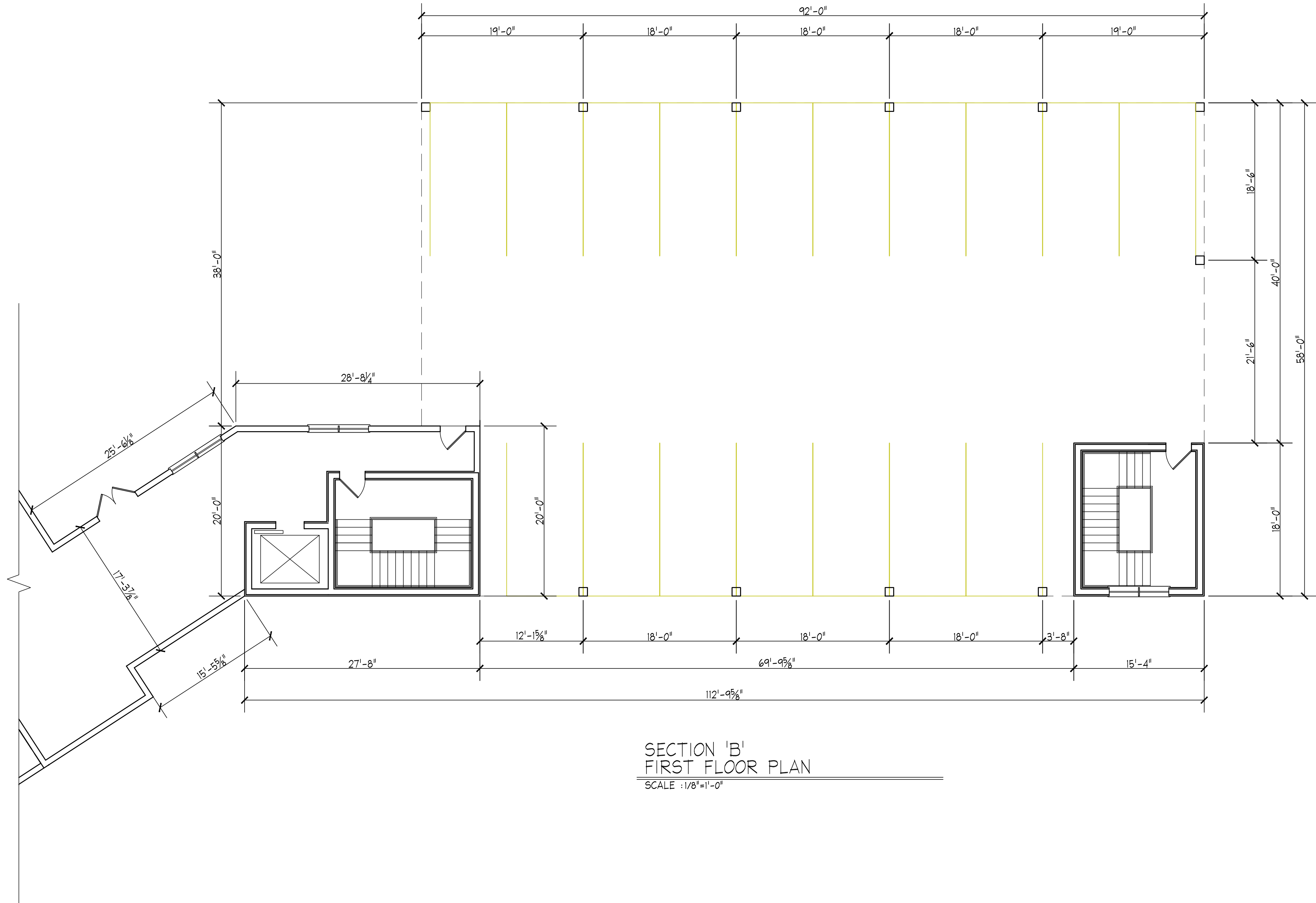
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NEW MIXED USE BUILDING  
UNION BREW HOUSE  
550 - 560 WASHINGTON STREET  
WEYMOUTH, MA

SECTION 'A'  
2ND & 3RD FLR PLN

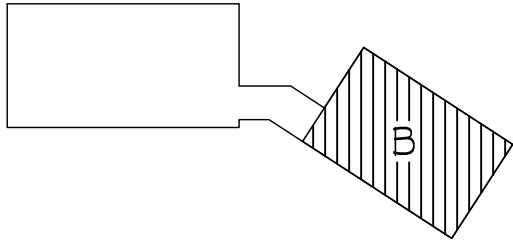
SCALE: 1/8"=1'-0"  
DRAWN by: MKS  
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PROJECT No: 2019-299





SECTION 'B'  
FIRST FLOOR PLAN  
SCALE : 1/8" = 1'-0"

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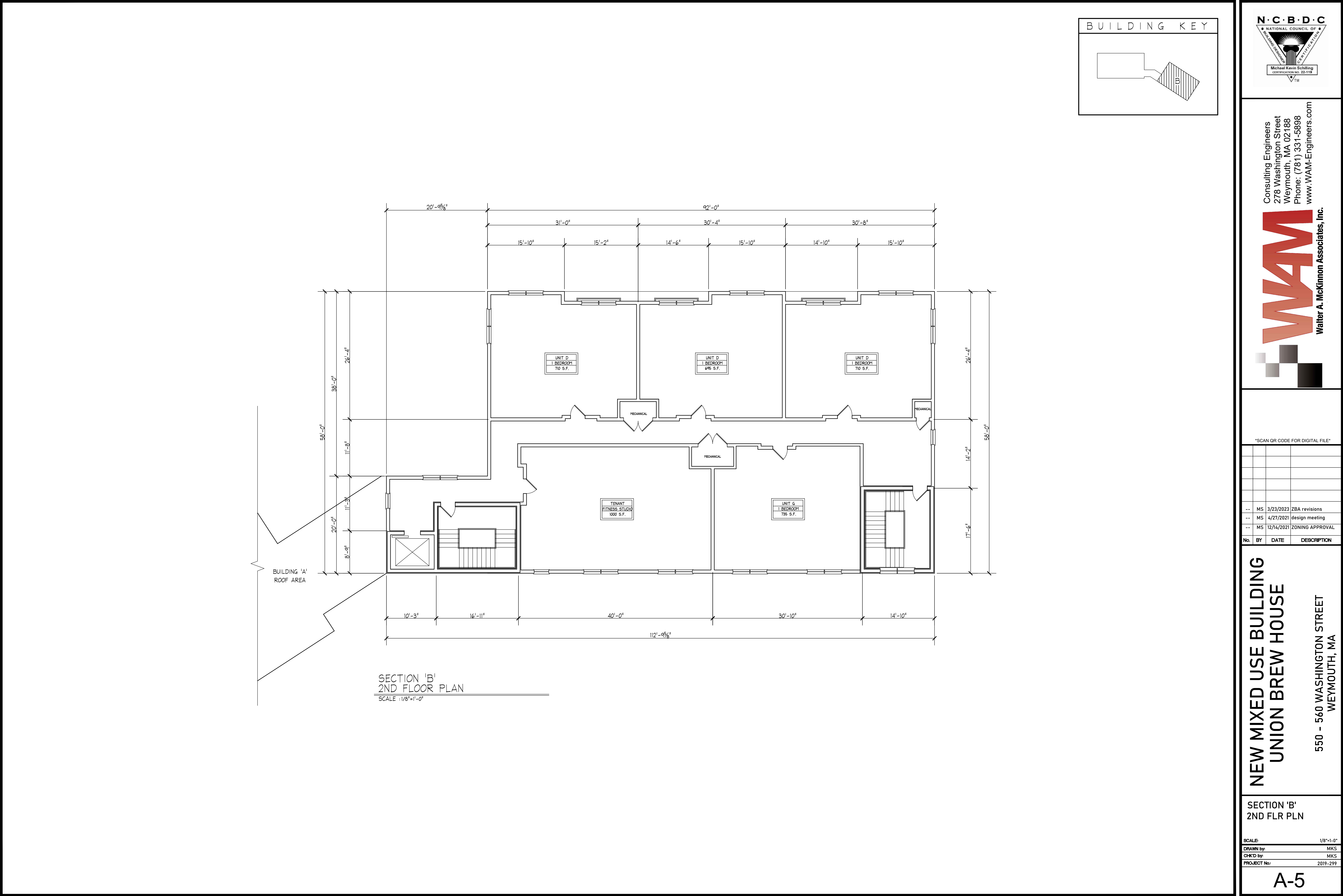
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NEW MIXED USE BUILDING  
UNION BREW HOUSE  
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WEYMOUTH, MA

SECTION 'B'  
FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"  
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SECTION 'B'  
2ND FLOOR PLAN  
SCALE : 1/8"=1'-0"

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WAM  
Walter A. McKinnon Associates, Inc.

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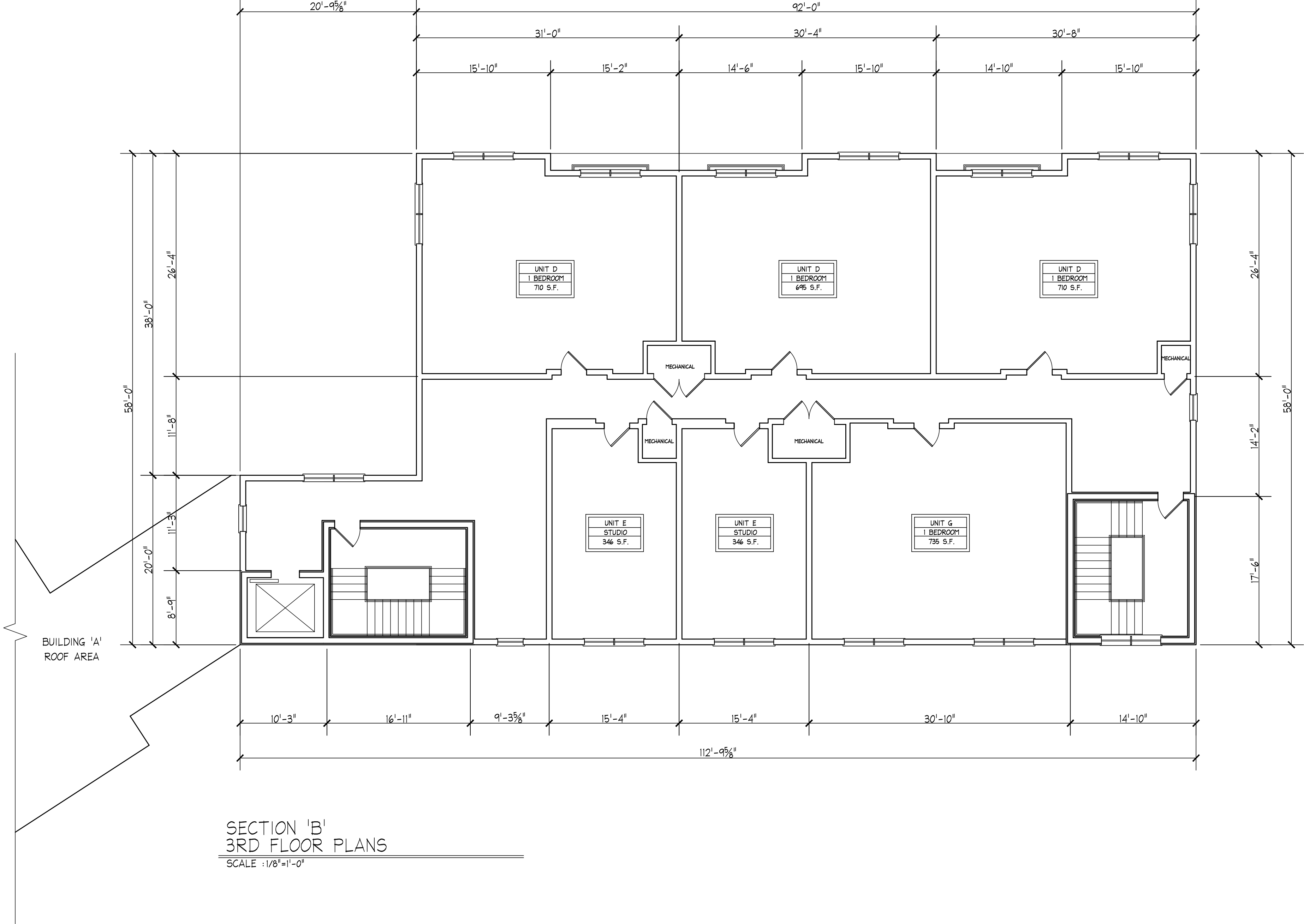
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UNION BREW HOUSE  
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WEYMOUTH, MA

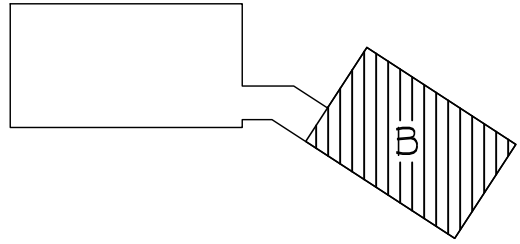
SECTION 'B'  
2ND FLR PLN

SCALE:	1/8"=1'-0"
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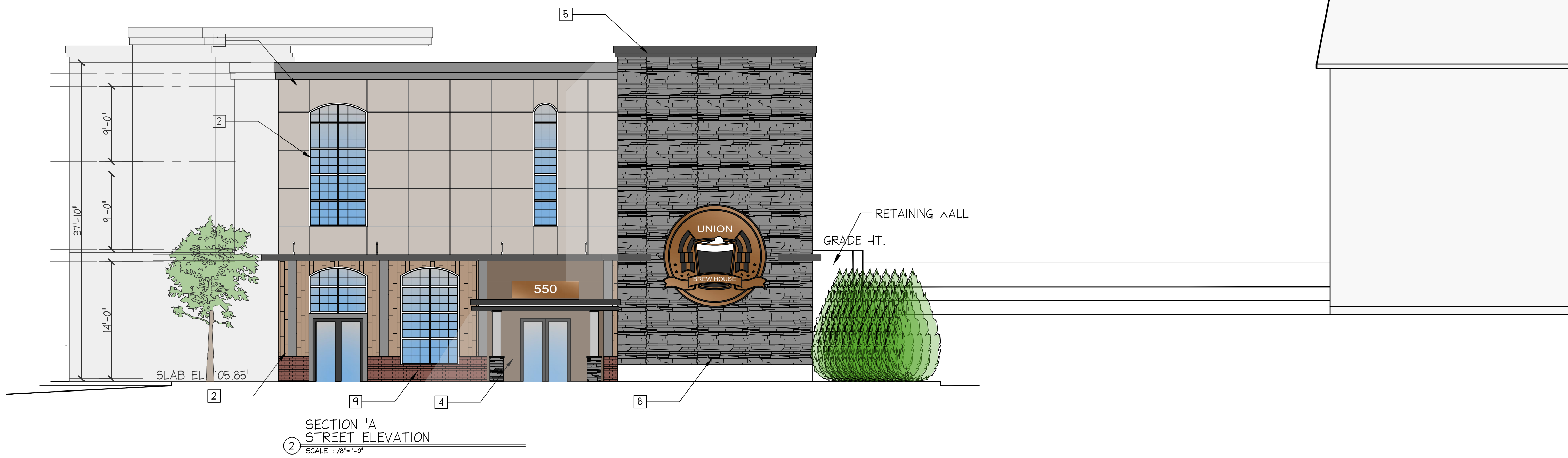
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NEW MIXED USE BUILDING  
UNION BREW HOUSE  
550 - 560 WASHINGTON STREET  
WEYMOUTH, MA

SECTION 'B'  
3RD FLR PLN

SCALE:	1/8"=1'-0"
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PROJECT No:	2019-299





LEGEND	
NUMBER	MATERIAL
1	FIBER CEMENT PANELS (CREAM)
2	SHIPLAP VERTICAL SIDING (NATURAL)
3	FIBER CEMENT PANELS (CREAM)
4	FIBER CEMENT PANELS (BROWN)
5	COMPOSITE FASCIA BOARD (BLACK)
6	PELLA WINDOWS
7	BALCONY RAILING (METAL)
8	STONE VENEER (GREY)
9	BRICK



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NEW MIXED USE BUILDING  
UNION BREW HOUSE  
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BUILDING ELEVATIONS

SCALE: 1/8"=1'-0"  
DRAWN by: MKS  
CHECKED by: MKS  
PROJECT No: 2019-299

A-7





SECTION 'B'  
FRONT ELEVATION  
SCALE: 1/8"=1'-0"



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NEW MIXED USE BUILDING  
UNION BREW HOUSE  
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BUILDING ELEVATION

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