

TOWN OF WEYMOUTH
BOARD OF ZONING APPEALS APPLICATION: 42

TO BE COMPLETED BY STAFF

Case Number: #3319 Town Clerk Stamp
Submittal Accepted: E.S. Date 12/20
Signature of Planning Dept. Staff for minimal requirements
Determined to be complete and may now be filed with Town Clerk: _____
Signature of Principal Planner or Director

PROPERTY INFORMATION - TO BE COMPLETED BY APPLICANT

PROJECT / PROPERTY STREET ADDRESS: 21 Western Ave

Assessor's Map Sheet, Block, & Lot: Block 456 Lot 46

Zoning District: Residential R-1 Overlay District: _____

OWNER OF RECORD (S) (print & sign): Ernest Bettuchy
(The owner of record is the person or entity who owns title to the property as of today's date)

Address of owner of record: 21 Western Ave

Norfolk County Registry of Deeds Book and Page No. Book 641 Page 167

Or registered in Land Registration Office under Certificate No. _____

NAME OF APPLICANT (S) (print & sign): Ernest Bettuchy

Applicant's Address: 21 Western Ave

Contact Information: Email N/A Phone (781) 335-5349

Check if you are an: owner(s) ☒ lessee(s) ☐ optionee (s) ☐

NAME & AFFILIATION OF REPRESENTATIVE: Steve Whitney

Address: 375 Plymouth St. Holliston, MA 02343

Contact Information: Email Steve@whitneyconstructioninc.com Phone (781) 812-6960

NAME OF ENGINEER AND / OR ARCHITECT: Kevin Remillard

Prior to submitting your application you must review this entire package and the Board Rules and Regulations outlining the Board's policies and procedures. Your signature signifies that you have read the required material and you will be expected to adhere to them.

I (we) hereby certify that I (we) have read the Board of Zoning Appeals Rules and Regulations and that the statements within my (our) application are true and accurate to the best of my (our) knowledge.

DEC 20 2016 Ernest Bettuchy ERNEST BETTUCHY
Applicant / Petitioner - Date (sign & print)

NATURE OF REQUEST

Application is for: _____ Special Permit X Variance Other: _____

Applicable Section of Zoning Ordinance (specify Section (s) of the Zoning Ordinance from which relief is sought):

The amount of frontage to build a new home
TABLE 1

The above relief and Ordinance sections will be further reviewed after a complete package is submitted. This may be amended by the Planning or Building staff during the application review process after having the benefit of plan to accurately advertise the application before the Board.

PETITIONER'S DESCRIPTION AND NARRATIVE:

To be completed by all Board of Appeals Applicants. Attach additional sheets as necessary.

1. Describe what is presently located on the property (use as much detail as possible including all uses and square footage of each use):

A vacant 1,000 ± sq/ft home

2. The applicant seeks to (describe what you want to do on the property in as much detail as possible):

Demo existing structure and put up a new house (see attached architectural plans)

3. Such a use is permitted by the Town of Weymouth Zoning Ordinance under Article (insert Article, Section of the Zoning Ordinance which permits the proposed use of the property).

ARTICLE IV RESIDENTIAL DISTRICT (R-1)

4. Are you aware if this property has been previously granted approvals from any Town Board or Commission? If so, please list (provide dates of previous approvals, book and page numbers or any recorded decisions and copies of past decisions).

No

5. Any other additional information as relevant to the Variance or Special Permit:

ZONING COMPUTATION WORKSHEET

(To be attached with all Board of Zoning Appeals Applications)

The Zoning Computation Worksheet must be completed by the Applicant / Petitioner. All information should be measured and calculated in accordance with the Weymouth Zoning Ordinance (Section 120-51 Table 1 "Schedule District Regulations" and other applicable sections of the Zoning Ordinance). The information should be based on engineer/surveyor/architectural prepared plans and or calculations. Further guidance can also be provided by the Board's step-by-step application instructions and by contacting the Planning or Building Department while completing this section.

Data	Required	Existing	Proposed
Use			
Lot Area / Size (Sq. Ft.)		B-1 family	B-1 family
Dwelling Units	25,000	12,115	12,115
Frontage (ft.)			
Lot Width (ft.)	40	20	20
Front Yard Setback (ft.)	120	125	125
Front Yard Setback (ft.) - corner lots	18	62.3	52.3
Side Yard Setback (ft.)			
Side Yard Setback (ft.)	10	9.9	10.2
Rear Yard Setback (ft.)	10	40.6	24.2
Height (ft.) & # of Stories	24	33.5	24.7
Lot Coverage	35 2 stories	21 2 stories	27 2 stories
Off-Street Parking Spaces	30%	10%	13%
Off-Street Loading Spaces			
Parking Setback			
Accessory Structure Setback			
Landscaping			
Floor Area Ratio			
Signage			
Other:			



VARIANCE APPLICATION

To be completed for Variance applications only.

VARIANCE FINDINGS OF FACT:

Criteria for approval. The Board may approve any such application for a Variance *only* if it finds that, in its judgment, all of the following conditions are met.

Complete the following questions. Your responses should provide justifications as to why the requested Variance(s) should be granted. Attach additional documentation as necessary.

1. Describe how a literal enforcement of the provision of the Town of Weymouth Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner.

The existing structure is an eye sore, been abandoned for years and is no longer habitable. It is also a very unsafe situation.

2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located.

The shape of the pre-existing nonconforming lot causes a hardship to the land.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the Town of Weymouth Zoning Ordinance.

The intent and purpose of the zone is residential and is not being changed.

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship.

All the new dimensions of the proposed house will meet setbacks and be more conforming than the pre-existing non conforming structure.

NOTE THAT THE LAW DOES NOT PERMIT THE BOARD TO GRANT A VARIANCE UNLESS ALL OF THE REQUIREMENTS SET FORTH IN CHAPTER 40A SECTION 10 OF THE GENERAL LAWS AND IN ARTICLE XXIV SECTION 120-119 OF THE WEYMOUTH ZONING ORDINANCE ARE SATISFIED. EACH OF THE ABOVE FINDINGS MUST BE ANSWERED IN DETAIL. ATTACH ADDITIONAL SHEETS IF NECESSARY.

Energy Code Summary

MR. HOUSEPLANS

21 REGENT AVE
BETHTOWN, PA 07088

BETTUCHY
RESIDENCE

CONDORSED APACE
BASEMENT: 10' OF
FIRST FLOOR: 14'00" SF

GARAGE: 655 SF
DECK: 140 SF

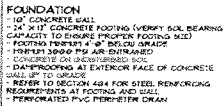
LEGEND

- (T) THIN-PIED GLASS
- (CO) SHOCK DETECTOR
- (CO) CO DETECTOR
- (HD) HEAT DETECTOR
- (SF) EXHAUST FAN
- (P) INSULATED ZIP WALL
- (W) 7/8" WALL
- (S) SHELF / COUNTER

TAGS

- 10000 INTERIOR DOOR
- 80000 EXTERIOR DOOR
- 50000 SLIDING DOOR
- 70000 POCKET DOOR
- 40000 GARAGE DOOR
- 60000 CASSET OPENING
- 20000 CORR. DRN. DRAIN
- 30000 WINDOW
- 40000 CRT IN
- FEET/INCHES
GRADE: 7' 0" X
8' 0"

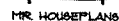
CONSTRUCTION PLANS
OCTOBER 3, 2014



SLAB

- FINISH FLOORING, REFER TO PLANS
- 4" CONCRETE SLAB ON GRADE
- REINFORCE, OR 6X6 WIRE MESH
- MINIMUM 3000 PSI AIR-ENTRAINED
- 6 MIL POLYETHYLENE VAPOR BARRIER
- LAPPED 6" MINIMUM
- 3/4" CRUSHED STONE, MINIMUM 4" DEEP

FOOTINGS
- CONCRETE FOOTING (SIZE
BY STRUCTURAL ENGINEER)
- FOOTING MINIMUM 4'-0"
BELOW GRADE
- MINIMUM 3000 PSI AIR-
ENTRAINED
- CONCRETE ON
UNEXTRUSSED SOIL
- REBAR AS REQUIRED
(REFER TO R403.3)



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BETTUCHY

21 WESTERN AVE
MELBOURNE, FLA 32904

CONDITIONED SPACE
BASEMENT TO SF
FIRST FLOOR 1,000 SF

GARAGE 625 SF
DECK 145 SF

LEGEND

-  TEMPERED GLASS
-  SMOKE DETECTOR
-  CO DETECTOR
-  HEAT DETECTOR
-  EXHAUST FAN
-  INSULATED 2x6 WALL
-  2x4 WALL
-  SHELF / COUNTER

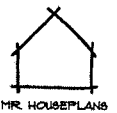
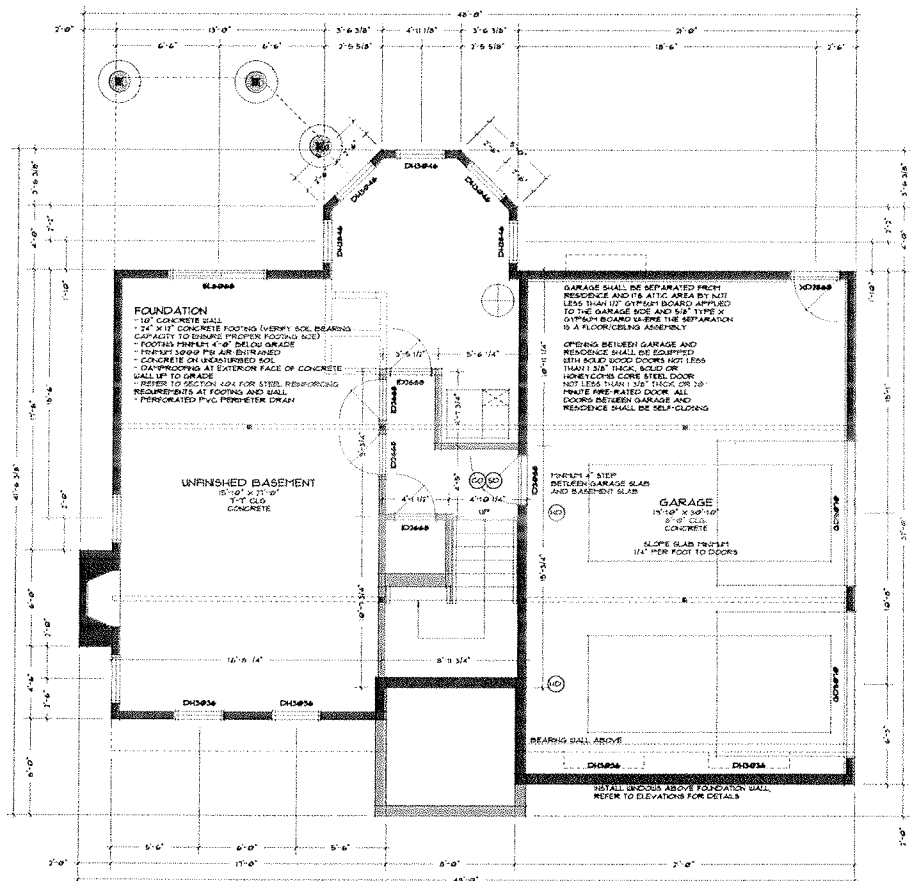
TAGS

- | | |
|--------|--|
| DD000 | INTERIOR DOOR |
| XD0000 | EXTENSION DOOR |
| SD0000 | SLIDING DOOR |
| PD0000 | POCKET DOOR |
| GD0000 | GARAGE DOOR |
| CD0000 | CASED OPENING |
| DN0000 | DBL HUNG WINDOW |
| 0000 | DOWN FEETINGS
(24" x 2'-6" x 6'-0") |

CONSTRUCTION PLANS
OCTOBER 1, 1966

 θ_2

1 BASEMENT PLAN
03 1" = 4'-0"



1400 PRE-DESIGN PLANS.COM

BETTUCHY

RESIDENCE
 3 LEBLANC AVE.
 NEWTON, MA 02458
 CONDITIONED SPACE
 BASEMENT: 39 SF
 FIRST FLOOR: 1409 SF
 GARAGE: 255 SF
 DECK: 145 SF

LEGEND

- (1) THERMO GLASS
- (MD) SMOKE DETECTOR
- (CO) CO DETECTOR
- (HD) HEAT DETECTOR
- (EP) EXHAUST FAN
- ISOLATED 2X6 WALL
- 2X4 WALL
- SHELF / COUNTER

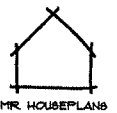
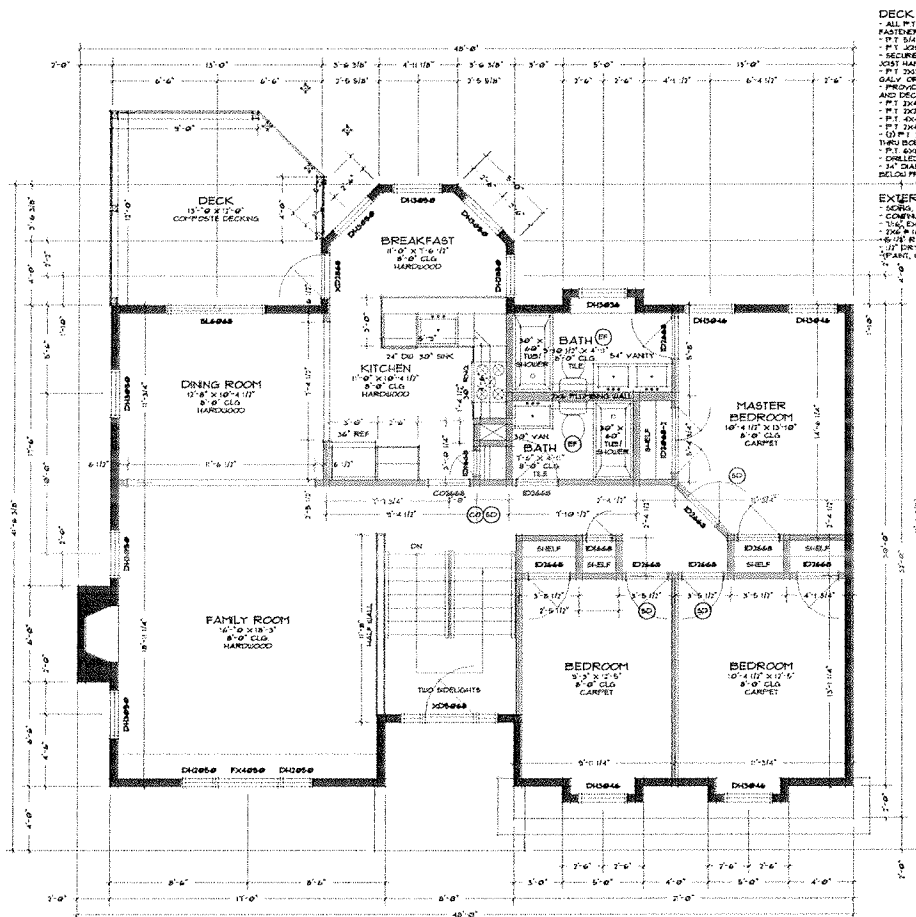
TAGS

- ED0000 INTERIOR DOOR
- ED0000 EXTERIOR DOOR
- SD0000 SLIDING DOOR
- PD0000 POCKET DOOR
- GD0000 GARAGE DOOR
- CO0000 CASED OPENING
- DBL HANG
- WINDOW
- DBL HANG
- FEET/INCHES
- 0/000 - 1'-0" X 6'-0"

CONSTRUCTION PLANS
 OCTOBER 1, 2016

03

1 FIRST FLOOR PLAN
04 12' x 40'



WWW.MRHOUSEPLANS.COM

BETTUCHY

RESIDENCE
 3 DENNEY AVE
 WETSMOUTH, MA 0258
 CONDITIONED SPACE
 BASEMENT: 714 SF
 FIRST FLOOR: 1,405 SF
 GARAGE: 655 SF
 DECK: 148 SF

LEGEND

- (T) TEMPERED GLASS
- (SD) SMOKE DETECTOR
- (CD) CO DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- (R) INSULATED TWO-BALL
- (H) TWO-BALL
- (S) SHELF / COUNTER

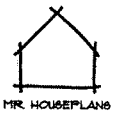
TAGS

- ED0000 INTERIOR DOOR
- ED0000 EXTERIOR DOOR
- SD0000 SLIDING DOOR
- PD0000 POCKET DOOR
- GD0000 GARAGE DOOR
- CO0000 CAGED OFFERING
- DR0000 DRILL HAND
- WD0000 WINDOW
- DT0000 DETAIL
- FT0000 FIBERGLASS
- DB0000 2'-0" x 6'-0"

CONSTRUCTION PLANS
 OCTOBER 3, 2014

04

1 ROOF PLAN
05 1" = 4' 0"



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BETTUCHY
RESIDENCE

3 WESTERN AVE
METROHIT, PA 02008

CONDITIONED SPACE
BASEMENT: 75 SF
FIRST FLOOR: 1,405 SF
GARAGE: 655 SF
DECK: 148 SF

LEGEND

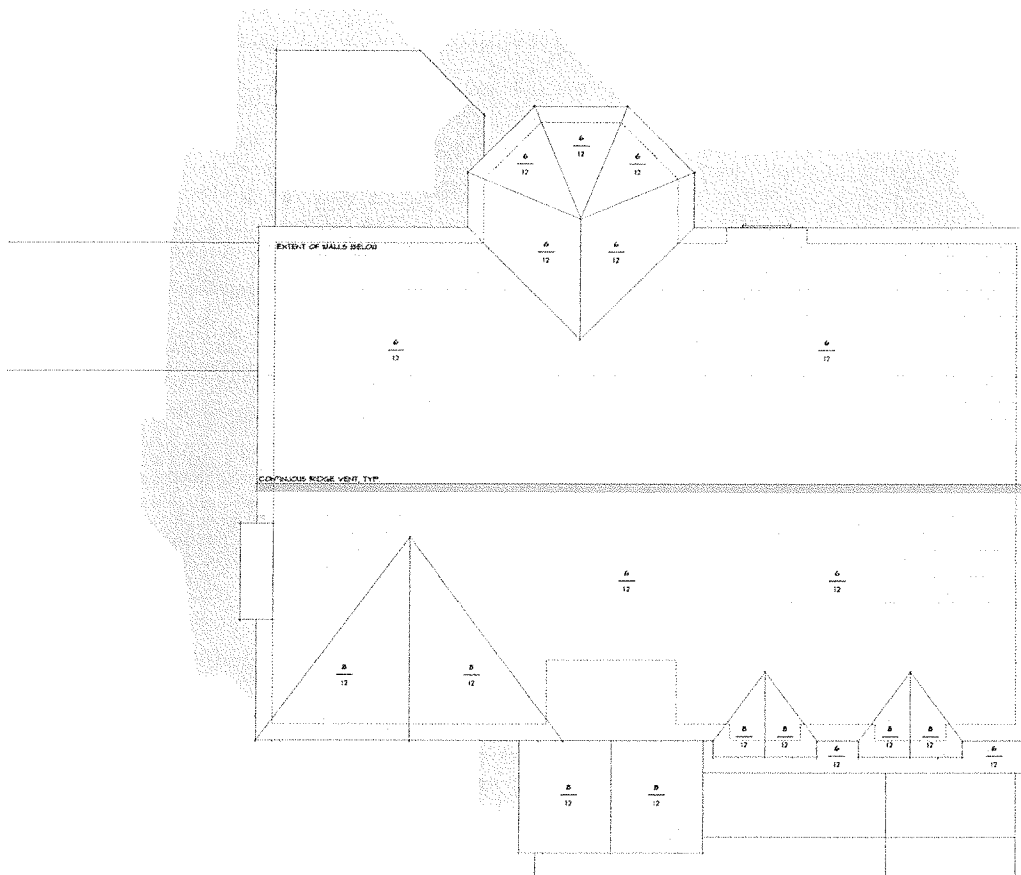
- TEMPERED GLASS
- SMOKE DETECTOR
- CO DETECTOR
- HEAT DETECTOR
- EXHAUST FAN
- INSULATED 2x4 WALL
- 2x4 WALL
- SHELF / COUNTER

TAGS

- INTERIOR DOOR
- EXTERIOR DOOR
- SLIDING DOOR
- POCKET DOOR
- GARAGE DOOR
- CASSED OPENING
- DRY WALL
- BRIDGE
- DRY IN
- FOOTINGS

CONSTRUCTION PLANS
OCTOBER 3, 2014

05



ROOF
- CONTINUOUS RIDGE VENT
- 30 YEAR ARCHITECTURAL ASPHALT SHINGLES,
COLOR BY OWNER
- ICE WATER SHIELD
- 1/2" FELT UNDERLAYMENT
- 1/2" EXTERIOR DRAINAGE (SEE SHEETING)
- 1/2" 1/4" 1/2" 3/4" HIGH DENSITY FIBERGLASS BATT
INSULATION
- 2x10 ROOF RAFTERS @ 16" O.C. WITH HURRICANE
CLIPS AND COLLAR TIES
- 2x6 CEILING JOISTS @ 16" O.C.
CLG
- CEILING WRAPING, REFER TO WRAPING PLANS
- 1/2" 1/4" 1/2" 3/4" HIGH DENSITY FIBERGLASS BATT INSULATION (AT
ATTIC)
- 1/2" STRAPPING @ 16" O.C.
- 1/2" DRYWALL WITH GYPSUM COAT PLASTER
PAINT, COLOR BY OWNER
EAVE
- ICE & WATER SHIELD UP FRONT 1'-0"
- ALUMINUM GUTTER EDGE
- X COMPOSITE FASCIA

1 FRONT ELEVATION
06 1" = 4' 0"



WWW.MRHOUSEPLANS.COM

BETTUCHY
RESIDENCE

21 WESTERN AVE
VENTNORTH, PA 07488

CONVENTIONAL SPACE
BASEMENT: 110 SF
FIRST FLOOR: 1,405 SF
GARAGE: 655 SF
DECK: 148 SF

LEGEND

- (T) TEMPERED GLASS
- (MD) SMOKE DETECTOR
- (GD) CO DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- [Hatched Box] INSULATED DWG WALL
- [Dotted Box] 3/4" WALL
- [Dashed Box] SHELF / COUNTER

TAGS

- ===== INTERIOR DOOR
- EXTERIOR DOOR
- ===== SLIDING DOOR
- POCKET DOOR
- ===== GARAGE DOOR
- ===== CASSED OPENING
- ===== CIRC HANG
- ===== DRINK
- ===== FEET/INCHES
- ===== (TALL = 2'-6" X 4'-0")

CONSTRUCTION PLANS
OCTOBER 31, 2014

06



1 REAR ELEVATION
01 1" = 4'-0"



MR. HOUSEPLANS

1000 HUNTERS LANE, SUITE 100

BETTUCHY
RESIDENCE

21 WESTERN AVE.
METHUEN, MA 01830

CONDITIONED SPACE
BASEMENT: 735 SF
FIRST FLOOR: 1,445 SF

GARAGE: 650 SF
DECK: 148 SF

LEGEND

- (T) TINTED GLASS
- (MD) SMOKE DETECTOR
- (CO) CO DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- [Hatched Box] INSULATED INS. WALL
- [Dashed Box] 2x4 WALL
- [Dotted Box] SHELF / COUNTER

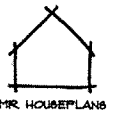
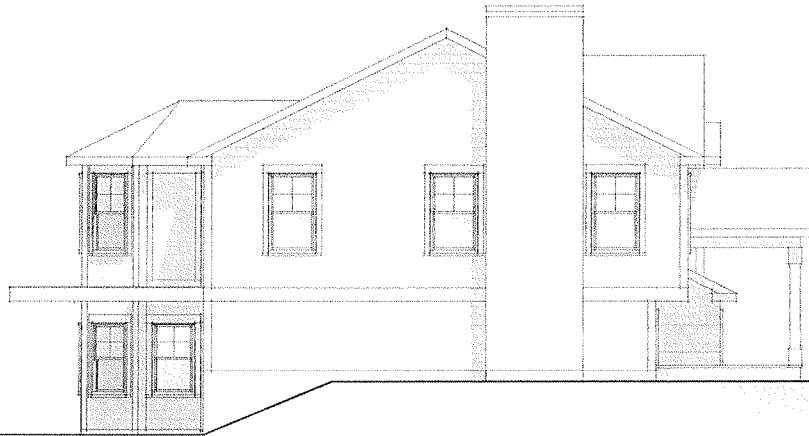
TAGS

- EXXXXX EXTERIOR DOOR
- SDXXXX SLIDING DOOR
- POXXXX POCKET DOOR
- GDXXXX GARAGE DOOR
- COXXXX CASSED OPENING
- CHXXXX CHL. HANG JACKET
- XXXX FEETINGS (MAX 17'-0" X 8'-0")

CONSTRUCTION PLANS
OCTOBER 3, 2016

01

1 LEFT ELEVATION
08 1" = 4'



MR. HOUSEPLANS

000 780-CLSTPLANS-001

BETTUCHY

RESIDENCE
21 WESTERN AVE
SEYMOUTH, MA 01968
CONDITIONED SPACE
BASEMENT: 700 SF
FIRST FLOOR: 1,400 SF
GARAGE: 655 SF
DECK: 145 SF

LEGEND

- (T) TEMPERED GLASS
- (SD) SMOKE DETECTOR
- (CO) CO DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- (R) INSULATED DOOR SILL
- (S) 2X4 SILL
- (C) SHELF / COUNTER

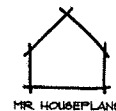
TAGS

- ID#### INTERIOR DOOR
- ED#### EXTERIOR DOOR
- SD#### SLIDING DOOR
- PD#### POCKET DOOR
- GD#### GARAGE DOOR
- CO#### CASSED OPENING
- DN#### DOWN DOOR
- UP#### UP DOOR
- FEETN#### FEETNICHES
- USAR#### USAR

CONSTRUCTION PLANS
OCTOBER 3, 2016

08

1 RIGHT ELEVATION
09 1" = 4'-0"



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BETTUCHY

RESIDENCE
31 LESLIE AVE
WESTPORT, MA 02785
CONDITIONED SPACE
BASEMENT: 755 SF
FIRST FLOOR: 1409 SF
GARAGE: 655 SF
DECK: 145 SF

LEGEND

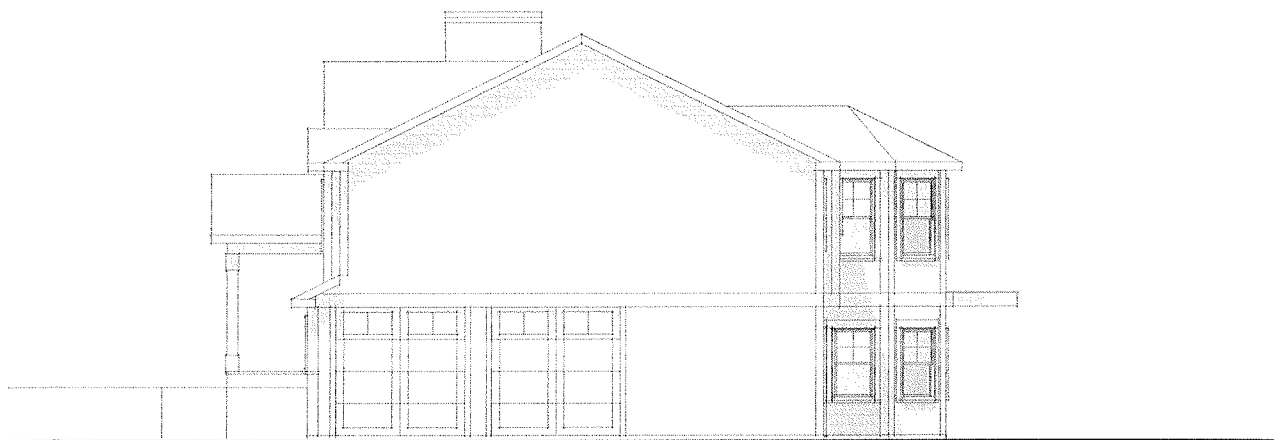
- (T) TEMPERED GLASS
- (MD) SMOKE DETECTOR
- (CO) CO DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- INSULATED 2X6 WALL
- 2X4 WALL
- SHELF / COUNTER

TAGS

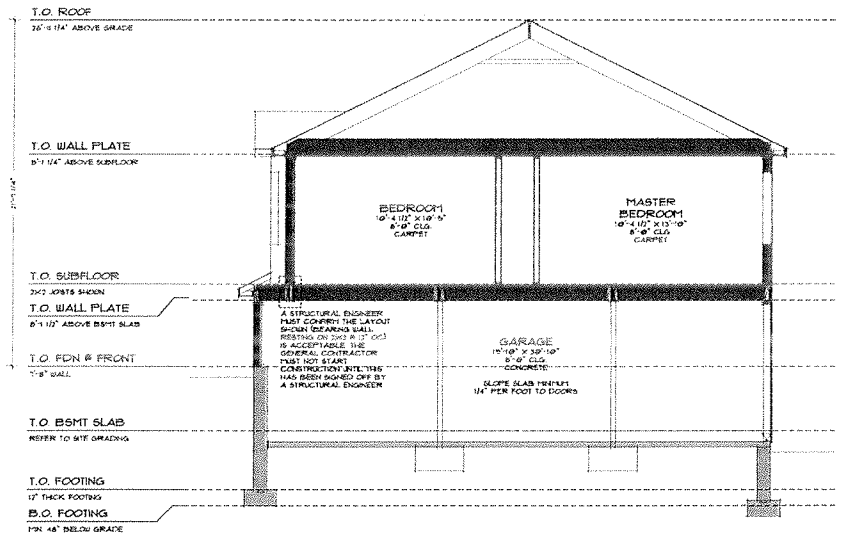
- DOOR INTERIOR DOOR
- DOOR EXTERIOR DOOR
- DOOR SLIDING DOOR
- DOOR POCKET DOOR
- DOOR GARAGE DOOR
- DOOR CASSED OPENING
- DOOR CBL. LGTH
- DOOR BRDWN
- DOOR DMT. BY
- DOOR FEET/INCHES
- DOOR 1" X 6" X 6'-8"

CONSTRUCTION PLANS
OCTOBER 5, 2014

09



1 SECTION
10 1" = 4'0"



ROOF
CONTINUOUS RIDGE VENT
30 YEAR ARCHITECTURAL ASPHALT SHIGLES,
COLOR BY OWNER
ICE & WATER SHIELD
1/2" INS. FIBERGLASS BATT
10" 1/4" EXTERIOR GRADE OSB SHEATHING
10" 1/4" R-19 HIGH DENSITY FIBERGLASS BATT
INSULATION
2X12 ROOF RAFTERS @ 16" O.C. WITH HURRICANE
CLIPS AND COLLAR TIES
2X12 CEILING JOISTS @ 16" O.C.

CLG
CEILING FINISHING, REFER TO FINISHING PLANS
10" 1/4" R-19 FIBERGLASS BATT INSULATION (AT
ATTIC)
1X3 STRAPPING @ 4' O.C.
1/2" DRYWALL WITH SKIM COAT PLASTER
PAINT, COLOR BY OWNER

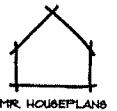
EAVE
ICE & WATER SHIELD, UP MINIMUM 3' 0"
ALUMINUM Drip EDGE
1X6 COMPOSITE FASCIA

EXTERIOR WALL
SIDS, REFER TO ELEVATIONS
CONTINUOUS HOUSE WRAP, TAPE JOINTS
10" 1/4" EXTERIOR GRADE OSB SHEATHING
2X6 @ 16" O.C.
5" 1/2" R-19 FIBERGLASS BATT INSULATION
1/2" DRYWALL WITH SKIM COAT PLASTER
PAINT, COLOR BY OWNER

FLOOR
FINISH FLOORING
3/4" 1X6 OSB, GLED AND NAILED
REFER TO FINISHING PLANS FOR RAFTER/JOIST SIZE
AND SPACING
10" 1/4" R-19 HIGH DENSITY FIBERGLASS BATT
INSULATION
1X3 STRAPPING @ 4' O.C.
1/2" DRYWALL WITH SKIM COAT PLASTER
PAINT, COLOR BY OWNER

SLAB
FINISH FLOORING, REFER TO FINISHING PLANS
4" CONCRETE SLAB ON GRADE
PREPARED OR ASH GARE DEAN
PREPARED 3000 PSI AIR ENTRAINED
CONCRETE ON UNFINISHED SOIL
3/4" CRUSHED STONE, MINIMUM 4" DEEP

FOUNDATION
10" CONCRETE WALL
14" X 14" CONCRETE FOOTING (VERIFY SOIL BEARING
CAPACITY TO ENSURE PROPER FOOTING SIZE)
FOOTING FINISH 4" 1/2" BELOW GRADE
PREPARED 3000 PSI AIR ENTRAINED
CONCRETE ON UNFINISHED SOIL
DAMP PROOFING AT EXTERIOR FACE OF CONCRETE
WALL UP TO GRADE
REFER TO SECTION 404 FOR STEEL REINFORCING
REQUIREMENTS AT FOOTING AND WALL
PERFORATED PVC PERIMETER DRAIN



MR. HOUSEPLANS

3401 PARKWAY, SUITE 100

BETTUCHY

3 WESTERN AVE.

SEVENTON, VA 0788

CONDITIONED SPACE

BASEMENT: 75 SF

FIRST FLOOR: 1,400 SF

GARAGE: 600 SF

DECK: 142 SF

LEGEND

- (T) THERMOPAN
- (MD) SMOKE DETECTOR
- (CO) CO DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- (R) INSULATED 2X6 WALL
- (S) 2X4 WALL
- (C) SHELF / COUNTER

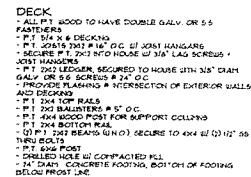
TAGS

- ED0000 EXTERIOR DOOR
- ED0001 EXTERIOR DOOR
- SD0000 SLEEPING DOOR
- PD0000 POCKET DOOR
- GD0000 GARAGE DOOR
- CD0000 CLOSET DOOR
- ED0000 EXTERIOR DOOR
- SD0000 SLEEPING DOOR
- PD0000 POCKET DOOR
- GD0000 GARAGE DOOR
- CD0000 CLOSET DOOR
- ED0000 EXTERIOR DOOR
- SD0000 SLEEPING DOOR
- PD0000 POCKET DOOR
- GD0000 GARAGE DOOR
- CD0000 CLOSET DOOR

CONSTRUCTION PLANS

OCTOBER 3, 2016

10



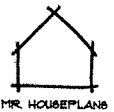
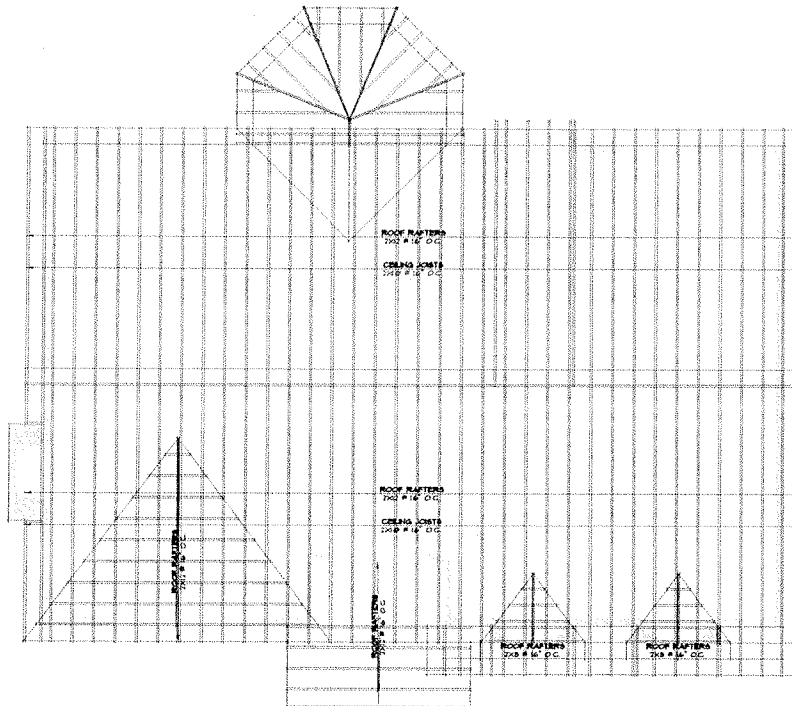
LEGEND

	TEMPERED GLASS
	SMOKE DETECTOR
	CO DETECTOR
	HEAT DETECTOR
	EXHAUST FAN
	INSULATED JOG WALL
	JOG WALL
	SHELF / COUNTER

000000 INTERIOR DOOR
 X00000 EXTERIOR DOOR
 S00000 SLIDING DOOR
 P00000 POCKET DOOR
 G00000 GARAGE DOOR
 C00000 CASED OPENING
 D00000 DEL KING
 W00000 WINDOW
 O00000 ORN IN
 FEETINCHES
 (6665 = 2'-6" X
 6'-8")

11

1 ROOF FRAMING PLAN
12 1" = 4'-0"



WWW.MR-HOUSEPLANS.COM

BETTUCHY
RESIDENCE

21 WESTERN AVE
SEVENTH, TX 75703
CONDITIONED SPACE
BASEMENT: 750 SF
FIRST FLOOR: 1,400 SF
GARAGE: 600 SF
DECK: 140 SF

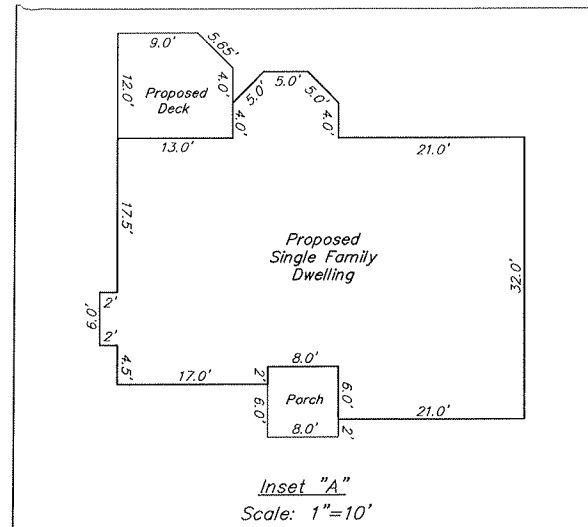
LEGEND

- (T) TEMPERED GLASS
- (SD) SMOKE DETECTOR
- (CD) CO DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- [Hatched Box] INSULATED 2x6 WALL
- [Dashed Box] 2x4 WALL
- [Dotted Line] SHELF / COUNTER

TAGS

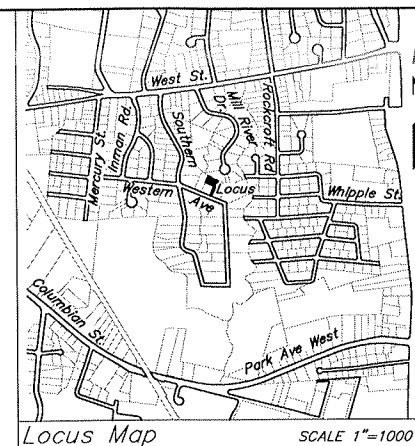
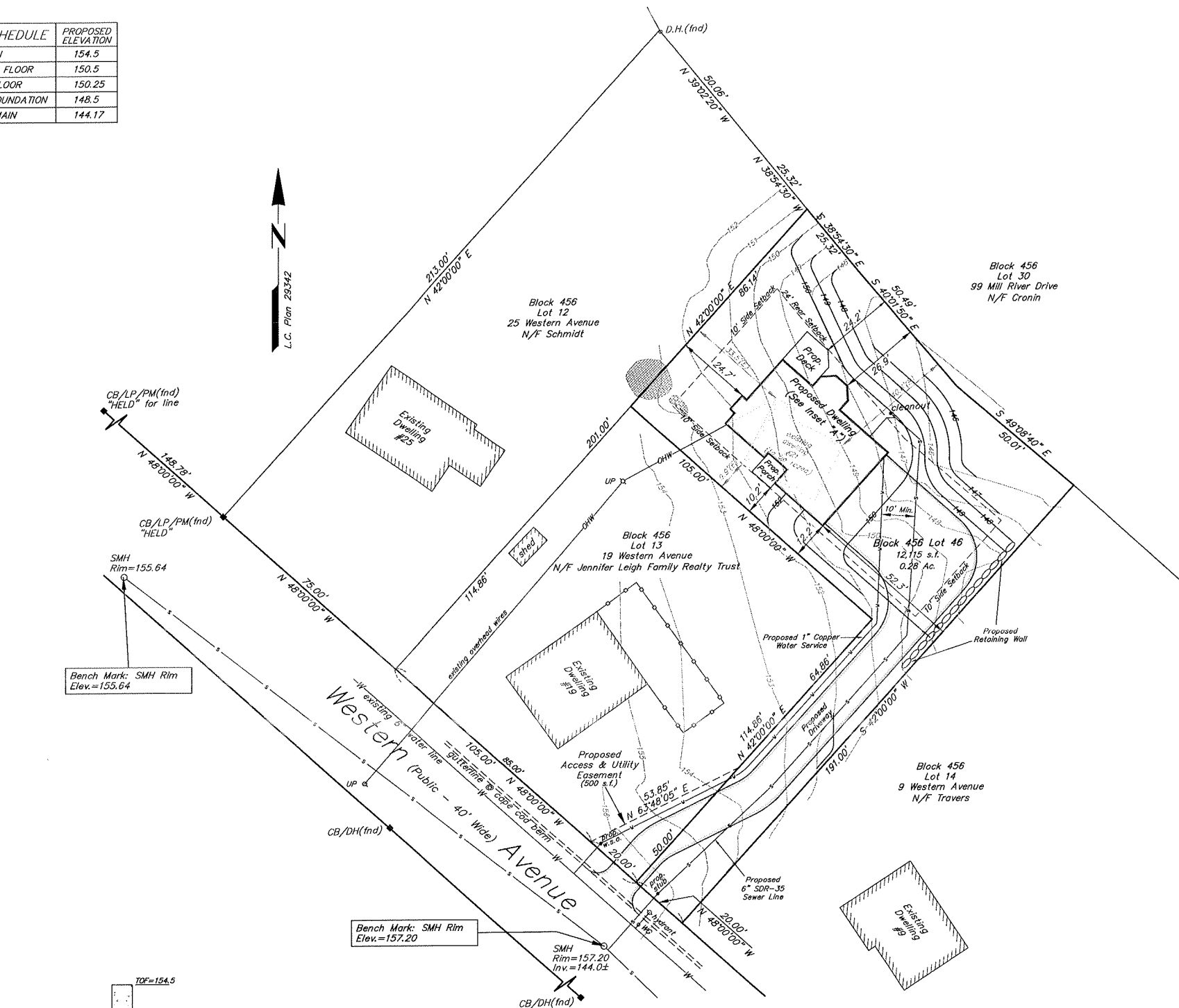
- ===== INTERIOR DOOR
- EXTERIOR DOOR
- SLIDING DOOR
- POCKET DOOR
- GARAGE DOOR
- LARGO OPENING
- DEL. HING. WINDOW
- DET. H. FEETINGS, UNDER 1" x 1" x 6" x 8"

CONSTRUCTION PLANS
OCTOBER 3, 2016



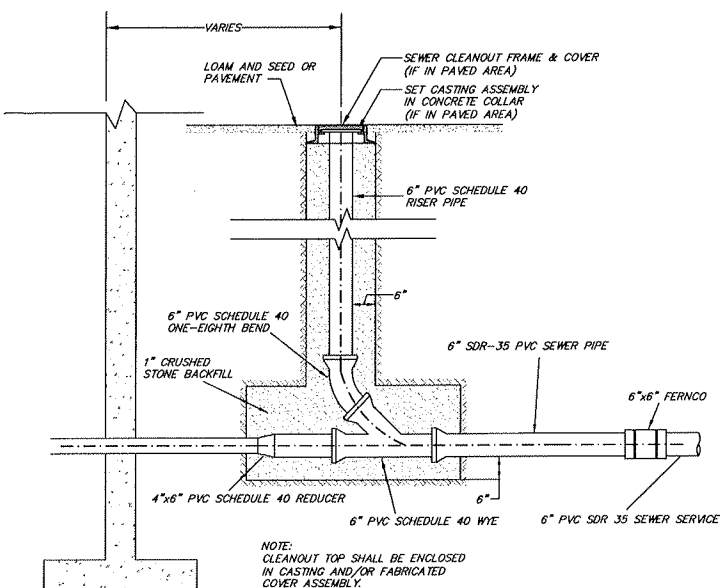
ELEVATION SCHEDULE	PROPOSED ELEVATION
TOP OF FOUNDATION	154.5
FINISHED BASEMENT FLOOR	150.5
FINISHED GARAGE FLOOR	150.25
SEWER INVERT @ FOUNDATION	148.5
SEWER INVERT AT MAIN	144.17

Legend	
Hyd.	Hydrant
CB	Catch Basin
DMH	Drain Manhole
SMH	Sewer Manhole
UP 173	Utility Pole
wso	Water Gate
gg	Gas Gate
ohw	Overhead Wires
G	Gas Line
W	Water Line
28	Existing Contour
28x5	Existing Elevation
128	Proposed Contour
28x5	Proposed Elevation

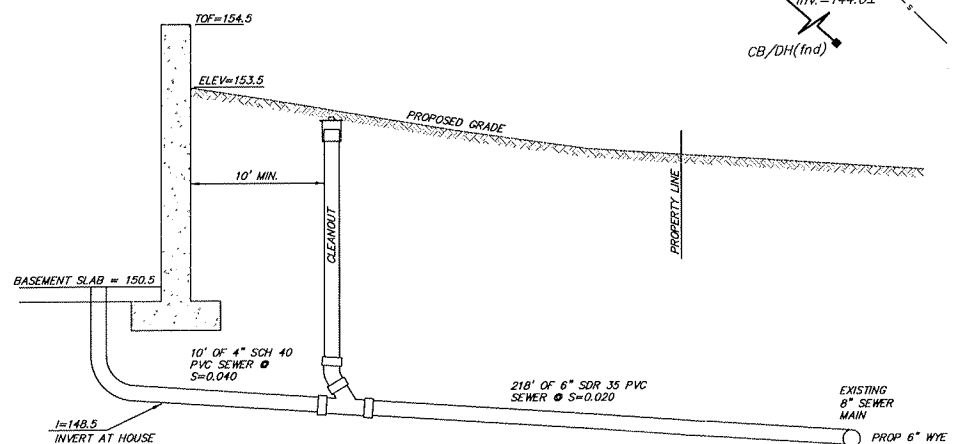


Assessor's Reference: Block 456 Lot 46
Owner: J.L.B. Family Realty Trust
Deed Reference: Document # 1,218,523
Plan References: L.C. Plan #29342 A & B
L.C. Plan #25333 A & B

DIMENSIONAL REQUIREMENTS ZONING DISTRICT: RESIDENTIAL R-1 SCHEDULE OF DISTRICT REGULATIONS	
TABLE 1	REQUIRED
AREA	25,000 S.F.
MIN. LOT WIDTH	120 FEET
MAX. HEIGHT	2.5 STORIES / 35 FEET
MIN. FRONT YARD DEPTH	18 FEET
MIN. SIDE YARD DEPTH	10 FEET*
MIN. REAR YARD DEPTH	24 FEET**
MAX. LOT COVERAGE	30%
* 20 FEET OF ANY OTHER DWELLING	
** LESSER OF 24 FEET OR 1/5 LOT DEPTH	



TYPICAL SEWER CLEANOUT DETAIL
NOT TO SCALE



SEWER CONNECTION PROFILE
NOT TO SCALE

THIS PLAN IS SUBJECT TO ALL CONSTRUCTION SPECIFICATIONS AND REGULATIONS OF THE CITY OF WYOMOUTH. ALL CONSTRUCTION SHALL BE IN ACCORD WITH THESE SPECIFICATIONS INCLUDING BUT NOT LIMITED TO MATERIALS, SIZES, INSTALLATION, TESTING, AND APPROVAL PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THESE STANDARDS FROM THE TOWN FOR USE ON THIS PROJECT.

LOCATION AND ELEVATION OF EXISTING SEWER INVERT SHOULD BE VERIFIED IN THE FIELD. THE DESIGN ENGINEER SHALL BE NOTIFIED TO ITS LOCATION AND INVERT ELEVATION PRIOR TO CONTINUING WITH THE CONSTRUCTION OF THE PROPOSED SEWER SERVICE.

SEWER CONNECTION SHALL CROSS 18-INCHES BELOW WATER MAIN OR BE ENCASED IN A PVC SLEEVE FOR 10-FEET ON EITHER SIDE.

LOCATION OF UNDERGROUND UTILITIES TAKEN FROM THE BEST AVAILABLE INFORMATION AND IS NOT WARRANTED TO BE CORRECT, NOR THAT ALL UNDERGROUND UTILITIES ARE SHOWN.

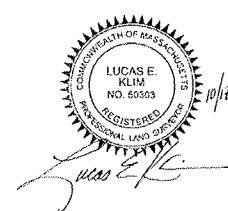
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AND AGENCIES PRIOR TO CONSTRUCTION FOR THE LOCATIONS OF UNDERGROUND UTILITIES.

DIG-SAFE OPERATIONS: 1-800-DIG-SAFE

ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, CONTACT THIS OFFICE FOR RESOLUTION.

THE LOCUS DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON MAP OF COMMUNITY PANEL.

MAP NUMBER: 25021C 0237 E DATED: JULY 17, 2012



Scale: 1" = 20'
0' 20' 40' 60'

Building Permit Plan 21 Western Avenue Weymouth, MA	
Prepared For: Whitney Construction 375 Plymouth Street Hobrook, MA 02343	
	65 Ryan Drive, Unit 3F Raynham, MA 508-386-0624
	P.O. Box 311 North Easton, MA 508-682-0229
Date: 10/17/2016	Scale: 1"=20' JN_346