



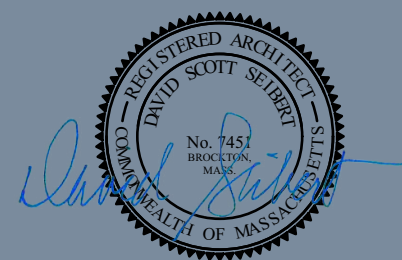
44 Wharf Street Apartments

Weymouth, Massachusetts

Schematic Design Package / Renderings / Scale: N.T.S. / July 17, 2020 / **A - 14**

BKA
ARCHITECTS

Boston / Brockton
142 Crescent Street
Brockton, MA 02302
508.583.5603
bkaarchitects.com





OSPREY OVERLOOK PARK

SITE

MBTA COMMUTER RAIL TRACKS

EAST STREET

SUMNER ROAD

WHARF STREET

COMMERCIAL STREET

EAST WEYMOUTH
COMMUTER RAIL STATION

COMMERCIAL STREET

**BOSTONIAN LOFTS
WHITMAN, MA**



BEFORE

***PREVIOUSLY
COMPLETED
SIMILAR PROJECTS***



AFTER

**EMERSON SHOE LOFTS
ROCKLAND, MA**

***PREVIOUSLY
COMPLETED
SIMILAR PROJECTS***



BEFORE



AFTER

**STAR MILL LOFTS
MIDDLEBORO, MA**

***PREVIOUSLY
COMPLETED
SIMILAR PROJECTS***



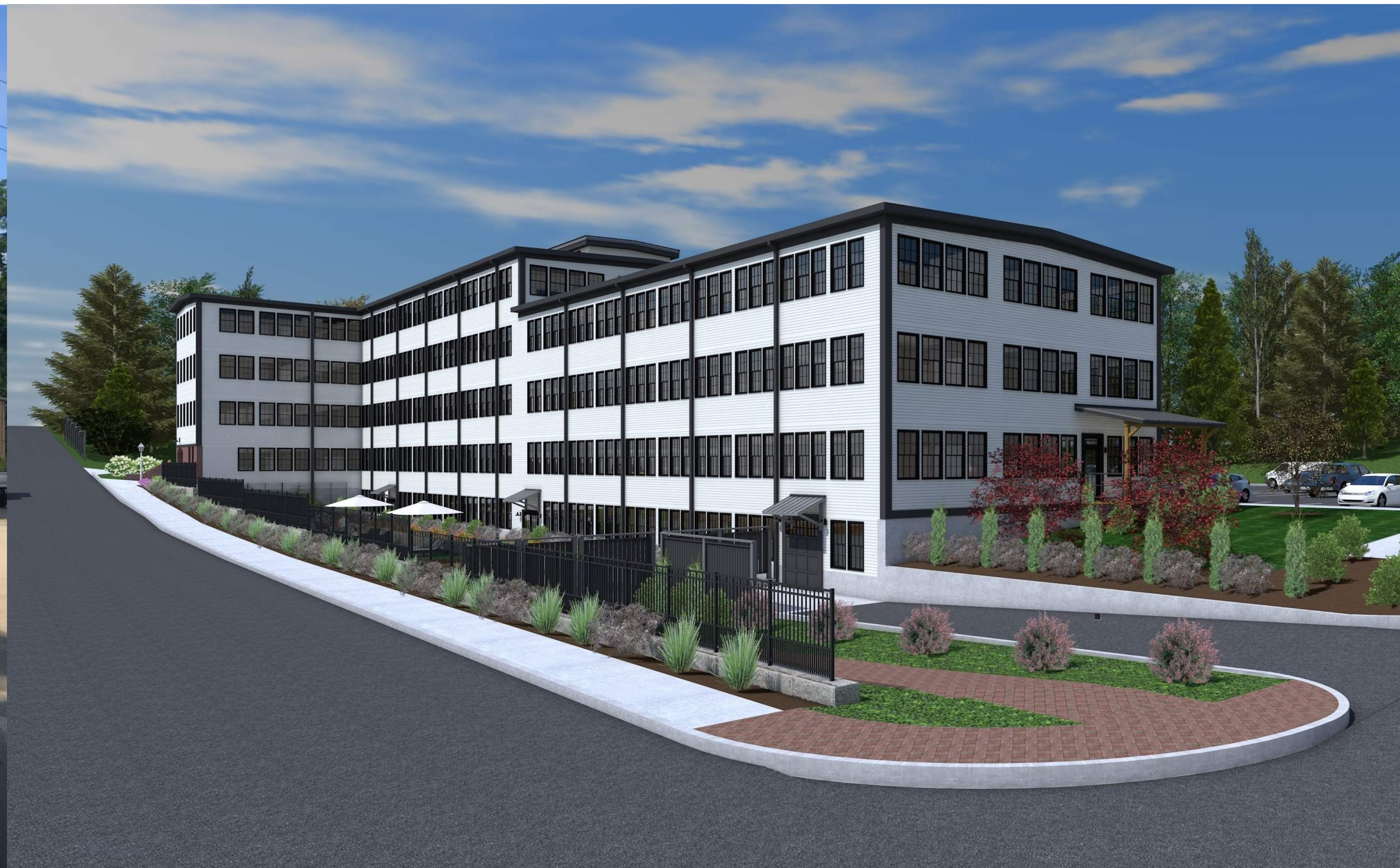
BEFORE



AFTER



BEFORE



AFTER






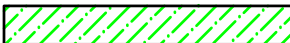


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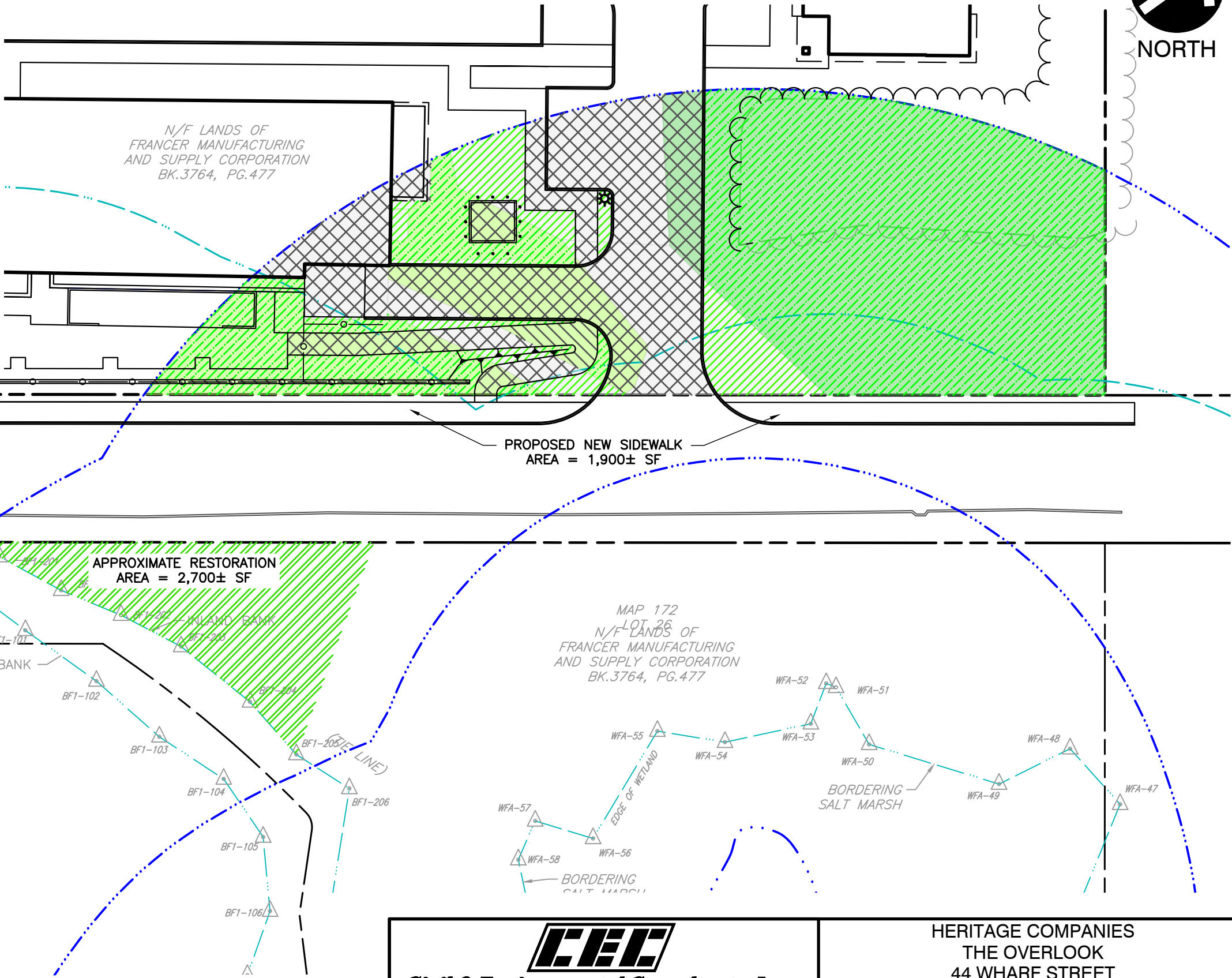


AFTER

DRAWN BY: DWP	CHECKED BY: DRAFT	APPROVED BY: DRAFT	FIGURE NO.: RIV-EX
DATE: JUNE 2020	DWG SCALE: 1"=30'	PROJECT NO: 193-187	

POST-DEVELOPMENT RIVERFRONT AREAS ON SUBJECT PARCEL

AREA BY SURFACE		
EXISTING DEGRADED AREA		
	TO REMAIN	3,363± SF
	TO BE REVEGETATED	1,359± SF
EXISTING UNDEGRADED		
	PERMANENT IMPACT (NEW DEGRADED AREA)	1,579± SF
	TEMPORARY IMPACT	2,216± SF
UNDEVELOPED AREA		
	PERMANENT IMPACT (NEW DEGRADED AREA)	451± SF
	TO REMAIN	7,827± SF
TOTAL		16,795± SF
NET INCREASE IN DEGRADED AREA		665± SF



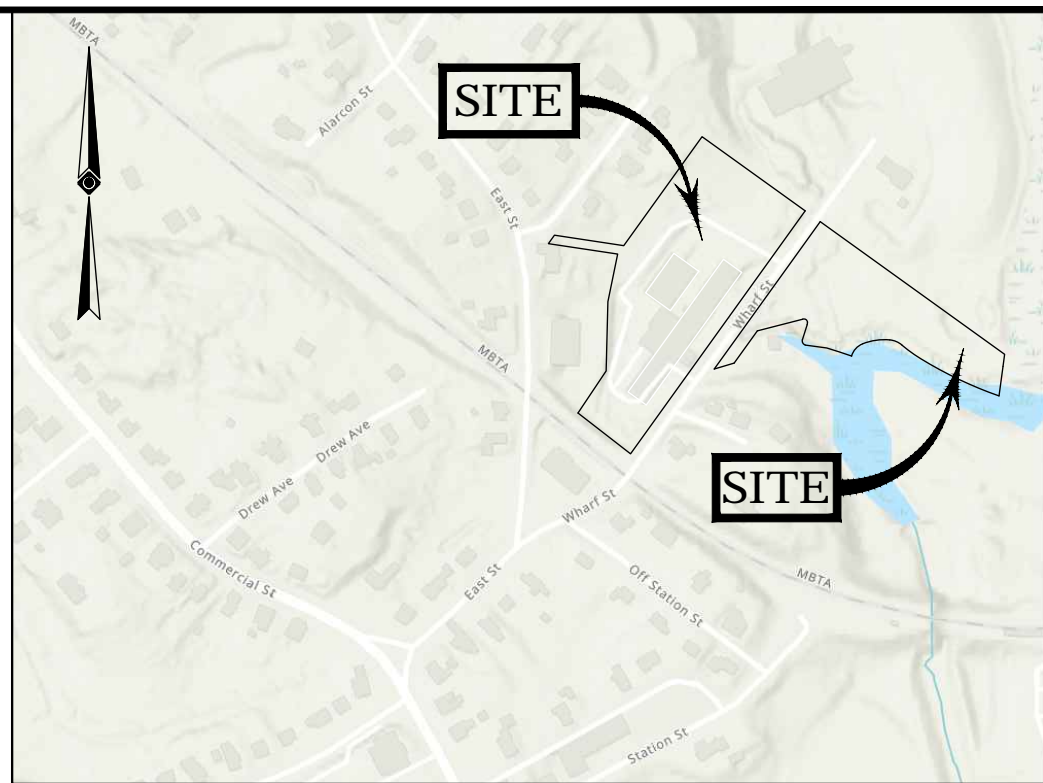
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HERITAGE COMPANIES
THE OVERLOOK
44 WHARF STREET
WEYMOUTH, MASSACHUSETTS

RIVERFRONT AREA ANALYSIS

DRAWN BY:	DWP	CHECKED BY:	DRAFT	APPROVED BY:	DRAFT	FIGURE NO.:
DATE:	JUNE 2020	DWG SCALE:	1"=30'	PROJECT NO.:	193-187	RIV-PR



NOTES:

1. PROPERTY KNOWN AS LOTS 25 & 26 AS SHOWN ON THE TOWN OF WEYMOUTH, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 19.
2. LOT 26 AREA = 153.276 SQUARE FEET OR 3.519 ACRES
LOT 26 AREA = 85,605 SQUARE FEET OR 1.962 ACRES
TOTAL AREA = 238.881 SQUARE FEET OR 5.481 ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MAPS WITHOUT THE NECESSARY MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES, BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN THE FOLLOWING FLOOD HAZARD ZONES; ZONE "X" (UNSHADE) (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, WHERE THE BASE FLOOD ELEVATION IS DETERMINED, EL+10), & ZONE "REGULATORY FLOOD WAY" (FLOODWAY AREAS IN ZONE "AE" WHERE THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASE IN THE FLOOD HEIGHTS.) PER REF. #2
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. ELEVATIONS REFER TO THE TOWN OF WEYMOUTH VERTICAL DATUM OBTAINED BY ADDING 6.63 FEET TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDS88), WHICH WAS ESTABLISHED BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VERS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY. THE FIRM, THE FIRM, ELEVATION 10' SHOWN HEREON REPRESENTS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDS88)
9. TEMPORARY BENCH MARK SET:

TBM-A: RR SPIKE IN UTILITY POLE #5-1,	ELEVATION = 23.26'
TBM-B: MAG NAIL IN ASPHALT PAVEMENT,	ELEVATION = 24.56'
10. PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
9. THE DELINEATION LINE WAS PLACED IN THE FIELD BY LUCAS ENVIRONMENTAL, LLC IN APRIL, 2020 AND FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. ON 4/17/2020.
10. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF WYOMOUTH, NORFOLK COUNTY, MAP 19.
2. MAP ENTITLED "NATIONAL, FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 231 OF 430, MAP NUMBER 250210231E, EFFECTIVE DATE: JULY 17, 2012.
3. MAP ENTITLED "SUBDIVISION PLAN OF LAND EAST STREET & WHARF STREET, WYOMOUTH MASSACHUSETTS", PREPARED BY: CCR ASSOCIATES, DATED: NOVEMBER 12, 2003, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 520 PAGE 85.
4. MAP ENTITLED "PLAN SHOWING SUBDIVISION OF LAND IN EAST WYOMOUTH, MASS. FOR WYOMOUTH INDUSTRIAL ASSOCIATION", PREPARED BY: RUSSELL H. WHITING, DATED: MARCH 30, 1921, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 1486 PAGE 501.
5. MAP ENTITLED "PLAN OF LAND WYOMOUTH, MASS. FOR GEO. E. KEITH COMPANY", PREPARED BY: RUSSELL H. WHITING, DATED: JANUARY 8, 1921, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 98 PAGE 4764.
6. MAP ENTITLED "TAKING OF FEES & EASEMENTS EAST 'WYOMOUTH PUMPING STATION', PREPARED BY: THE SEWER DEPARTMENT OF WYOMOUTH, AS PLAN T-31-54, DATED: JULY 1, 1989, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 3338 PAGE 2.
7. MAP ENTITLED "COMPILED PLAN OF LAND DEPOT STREET WYOMOUTH, MASS.", PREPARED BY: C.F. ARNOLD ASSOCIATES, INC., DATED: MARCH 21, 1995, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 430 PAGE 302.
8. MAP ENTITLED "PLAN OF LAND IN WYOMOUTH, MASS. OF THE TOWN DUMP", PREPARED BY: FRANK A. LAGROTTERIA: MARCH 25, 1959, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 208 PAGE 63.
9. MAP ENTITLED "PROPOSED PARK AN RECREATION LAND DESIGNATION AT CAPPED LANDFILL SITE, WHARF STREET", PREPARED BY: DEPARTMENT OF PUBLIC WORKS TOWN OF WYOMOUTH, DATED: JANUARY 7, 2017, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 658 PAGE 100.
10. GAS MAPPING PROVIDED BY NATIONAL GRID GAS - BOSTON.
11. MAPPING OF RIVERFRONT AREA, BASED ON ELEVATIONS ON NAVD83, PROVIDED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
12. MAP ENTITLED "TOWN OF WYOMOUTH DEPARTMENT OF PUBLIC WORKS, SEWER RECORD PLAN, DEPOT STREET", DATED NOVEMBER 11, 2005, PROVIDED BY THE TOWN OF WYOMOUTH D.P.W.
13. MAP ENTITLED "TOWN OF WYOMOUTH DEPARTMENT OF PUBLIC WORKS, SEWER RECORD PLAN WHARF STREET INCINERATOR", DATED JANUARY 17, 1974, PROVIDED BY THE TOWN OF WYOMOUTH D.P.W.

SEE SHEET 2 & 3 FOR TOPOGRAPHIC DETAIL

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.
REQUEST NUMBER: 20201601099

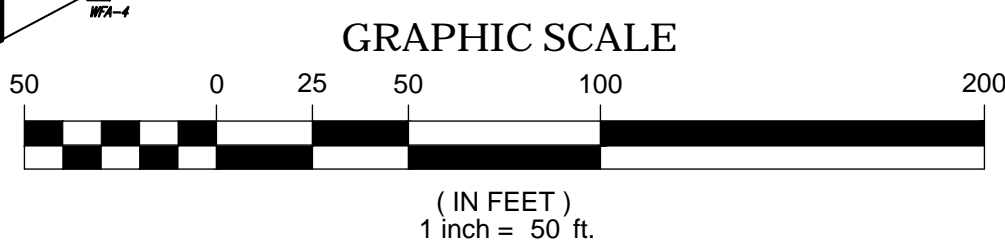
UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	800.331.0500
VERIZON	800.922.0204
COMCAST- MA	800.649.9364
NATIONAL GRID ELECTRIC - MASS ELEC	800.322.3223
NATIONAL GRID GAS - BOSTON	800.233.5325
VEYMOUTH PUBLIC WORKS DEPARTMENT	781.337.5100



TABLE OF APPARENT ENCROACHMENTS

- A** ASPHALT PAVEMENT WALKWAY
CROSSING LOT 26
- B** TRAILER AND ASPHALT PAVEMENT FOR

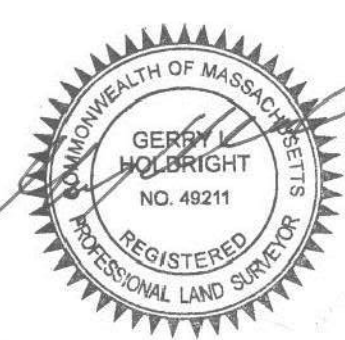
NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.



2	CHANGES TO FLOOD ZONE BOUNDARY	-	S.P.P.	G.L.H.	7-20-2020
1	16" FORCED MAIN ADDED PER RECORD DATA	-	S.P.P.	G.L.H.	6-25-2020
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN:	APPROVED:	DATE

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED
WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #4

DATE _____

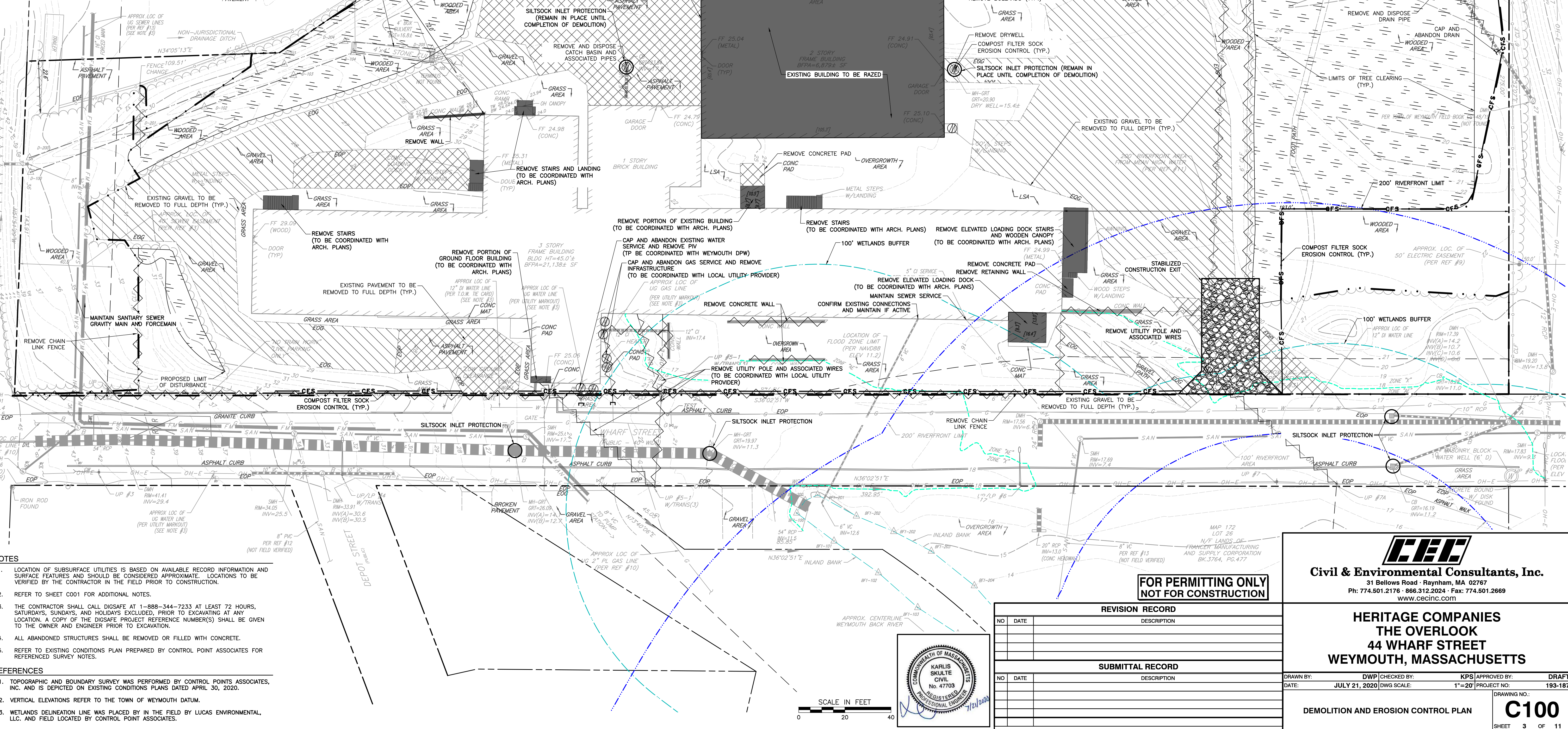
FIELD DATE 4-25-2020	BOUNDARY & TOPOGRAPHIC SURVEY CIVIL & ENVIRONMENTAL CONSULTANTS, INC.				
FIELD BOOK NO. 20-02MA	44 WHARF STREET LOT 25 & 26, MAP 19 TOWN OF WEYMOUTH, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS				
FIELD BOOK PG. 63-68 & 83					
FIELD SHEET S.B.W.		CONTROL POINT ASSOCIATES, INC. 332 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 ~ 508.948.3003 FAX		ALBANY, NY 518-217-5010 CHAPEL HILL, NC 215-712-9800 HAUPPAUGE, NY 631-380-7645 MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099	
DRAWN: B.A.V.					
REVIEWED: S.P.P.	APPROVED: G.L.H.	DATE 6-25-2020	SCALE 1" = 50'	FILE NO. 03-200107-00	DWG. NO. 1 OF 3

LEGEND

- EXISTING SUBJECT PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- EXISTING RIGHT OF WAY
- EXISTING INDEX (MAJOR) CONTOUR
- EXISTING INTERMEDIATE (MINOR) CONTOUR
- EXISTING FENCE LINE
- EXISTING CURB
- EXISTING EDGE OF PAVED ROAD
- EXISTING EDGE OF UNPAVED ROAD
- EXISTING STRUCTURE
- EXISTING STORM PIPE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER FORCEMAIN
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRE
- EXISTING TREE LINE
- EXISTING WETLANDS
- EXISTING WETLANDS BUFFER
- EXISTING ZONE AE FLOOD LIMITS
- EXISTING RIVERFRONT AREA
- EXISTING WETLANDS FLAG
- EXISTING NON-JURISDICTIONAL DRAINAGE DITCH

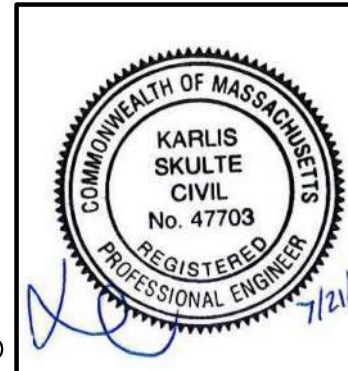
- EXISTING AIR CONDITIONING
- EXISTING CATCH BASIN GRATE
- EXISTING MANHOLE GRATE
- EXISTING SANITARY MANHOLE
- EXISTING DRAINAGE MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING MONITORING WELL
- EXISTING TOPO POINT
- EXISTING BOLLARD
- PROPOSED COMPOST FILTER SOCK
- PROPOSED INLET PROTECTION
- PROPOSED CONSTRUCTION EXIT

- GRAVEL TO BE REMOVED FULL DEPTH
- PAVEMENT TO BE REMOVED FULL DEPTH
- PAVEMENT TO BE MILLED
- TREES TO BE REMOVED
- STRUCTURE TO BE REMOVED
- LINEAR OBJECT TO BE REMOVED
- OBJECT TO BE REMOVED
- PROPOSED LIMIT OF DISTURBANCE



- ## NOTES
- LOCATION OF SUBSURFACE UTILITIES IS BASED ON AVAILABLE RECORD INFORMATION AND SURFACE FEATURES AND SHOULD BE CONSIDERED APPROXIMATE. LOCATIONS TO BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
 - REFER TO SHEET C001 FOR ADDITIONAL NOTES.
 - THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER AND ENGINEER PRIOR TO EXCAVATION.
 - ALL ABANDONED STRUCTURES SHALL BE REMOVED OR FILLED WITH CONCRETE.
 - REFER TO EXISTING CONDITIONS PLAN PREPARED BY CONTROL POINT ASSOCIATES FOR REFERENCED SURVEY NOTES.

- ## REFERENCES
- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CONTROL POINT ASSOCIATES, INC. AND IS DEPICTED ON EXISTING CONDITIONS PLANS DATED APRIL 30, 2020.
 - VERTICAL ELEVATIONS REFER TO THE TOWN OF WEYMOUTH DATUM.
 - WETLANDS DELINEATION LINE WAS PLACED BY IN THE FIELD BY LUCAS ENVIRONMENTAL, LLC. AND FIELD LOCATED BY CONTROL POINT ASSOCIATES.



REVISION RECORD	
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SUBMITTAL RECORD	
NO	DATE

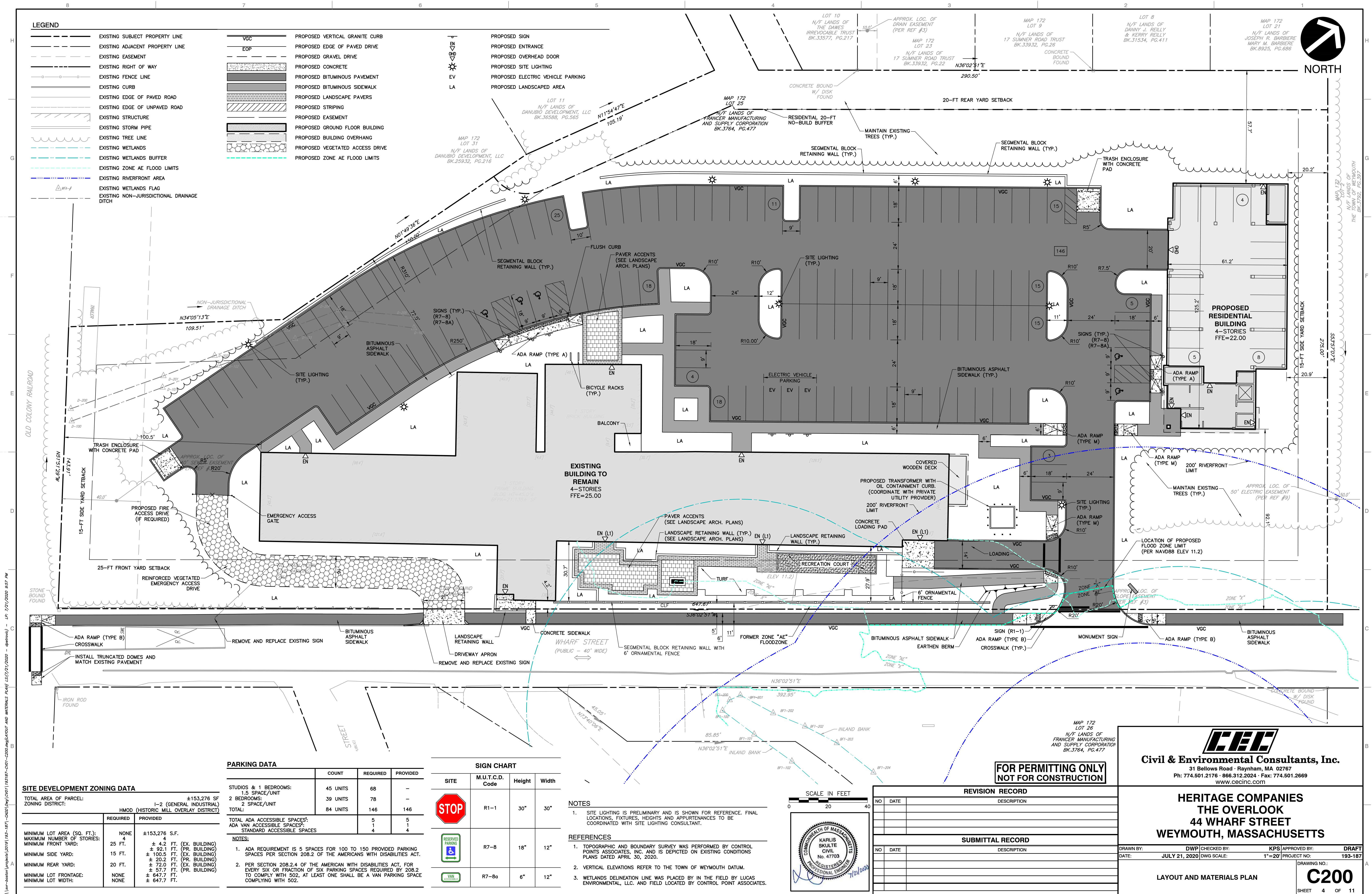
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HERITAGE COMPANIES
THE OVERLOOK
44 WHARF STREET
WEYMOUTH, MASSACHUSETTS

DRAWN BY: DWP CHECKED BY: KPS APPROVED BY: DRAFT
 DATE: JULY 21, 2020 DWG SCALE: 1"=20' PROJECT NO: 193-187

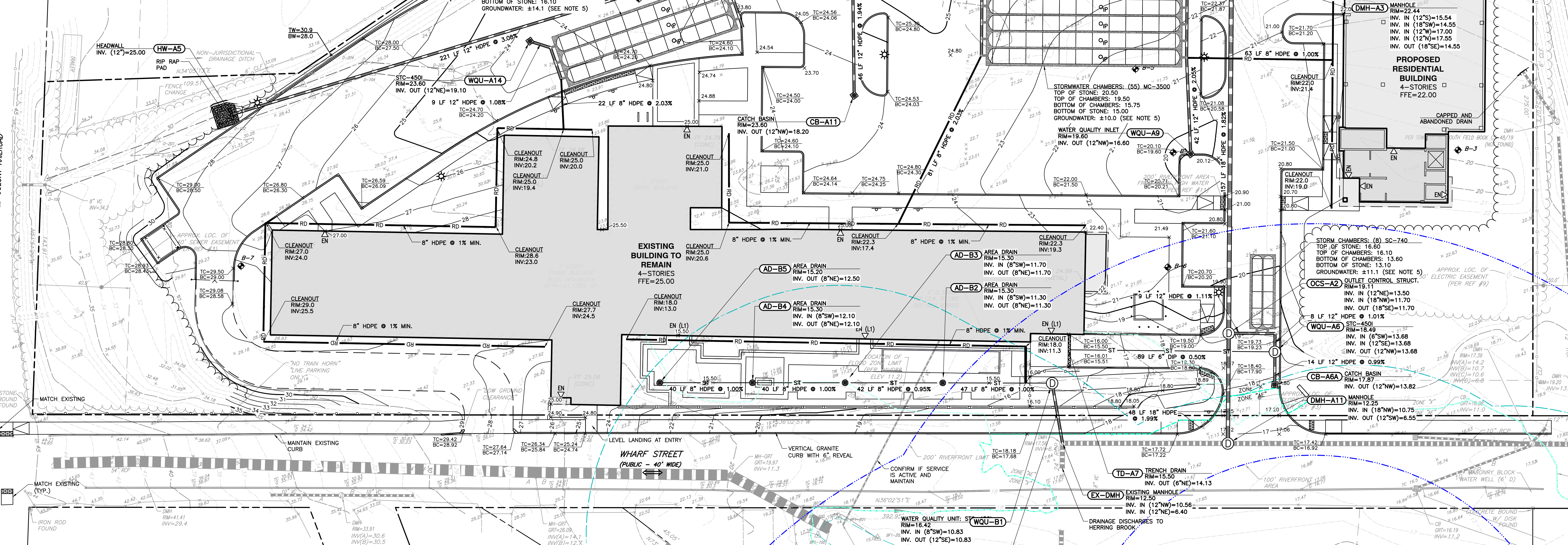
DEMOLITION AND EROSION CONTROL PLAN

DRAWING NO: **C100**
 SHEET 3 OF 11



LEGEND

EXISTING SUBJECT PROPERTY LINE	PROPOSED GROUND FLOOR BUILDING
EXISTING ADJACENT PROPERTY LINE	PROPOSED BUILDING OVERHANG
EXISTING EASEMENT	PROPOSED FENCE
EXISTING RIGHT OF WAY	PROPOSED TREELINE
EXISTING INDEX (MAJOR) CONTOUR	PROPOSED INDEX (MAJOR) CONTOUR
EXISTING INTERMEDIATE (MINOR) CONTOUR	PROPOSED INTERMEDIATE (MINOR) CONTOUR
EXISTING FENCE LINE	PROPOSED SPOT ELEVATION
EXISTING CURB	TOP OF WALL ELEVATION
EXISTING EDGE OF PAVED ROAD	BOTTOM OF WALL ELEVATION
EXISTING EDGE OF UNPAVED ROAD	TOP OF CURB ELEVATION
EXISTING STRUCTURE	BOTTOM OF CURB ELEVATION
EXISTING TREE LINE	PROPOSED STORM PIPE
EXISTING WETLANDS	PROPOSED YARD DRAIN
EXISTING WETLANDS BUFFER	PROPOSED CURB INLET
EXISTING ZONE AE FLOOD LIMITS	PROPOSED CATCH BASIN
EXISTING RIVERFRONT AREA	PROPOSED STORM MANHOLE
EXISTING WETLANDS FLAG	PROPOSED ROOF DRAIN
EXISTING NON-JURISDICTIONAL DRAINAGE DITCH	PROPOSED SWALE
PROPOSED EDGE OF PAVED DRIVE	
PROPOSED GRAVEL DRIVE	
PROPOSED ENTRANCE	
PROPOSED ZONE AE FLOOD LIMITS	



- NOTES:
- LOCATIONS OF SUBSURFACE UTILITIES ARE BASED ON AVAILABLE RECORD INFORMATION AND SURFACE FEATURES AND SHOULD BE CONSIDERED APPROXIMATE. LOCATIONS TO BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
 - REFER TO SHEET C001 FOR ADDITIONAL NOTES.
 - THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER AND ENGINEER PRIOR TO EXCAVATION.
 - PERMISSION TO BE OBTAINED FROM ADJACENT PROPERTY OWNER PRIOR TO PERFORMING CONSTRUCTION ON ADJACENT PROPERTIES.
 - GROUNDWATER ELEVATIONS AS DEPICTED ON THIS PLAN ARE BASED ON INFORMATION INCLUDED IN A GEOTECHNICAL REPORT PREPARED BY PAUL B. ALDINGER & ASSOCIATES, INC., DATED AUGUST 2019, AND SHOULD BE CONSIDERED APPROXIMATE AND REFLECTIVE OF CONDITIONS AT THE TIME OF INVESTIGATION. REFER TO GEOTECHNICAL REPORT FOR MORE DETAIL.

- REFERENCES:
- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CONTROL POINTS ASSOCIATES, INC. AND IS DEPICTED ON EXISTING CONDITIONS PLANS DATED APRIL 30, 2020.
 - VERTICAL ELEVATIONS REFER TO THE TOWN OF WEYMOUTH DATUM.



REVISION RECORD	
NO	DATE
SUBMITTAL RECORD	
NO	DATE

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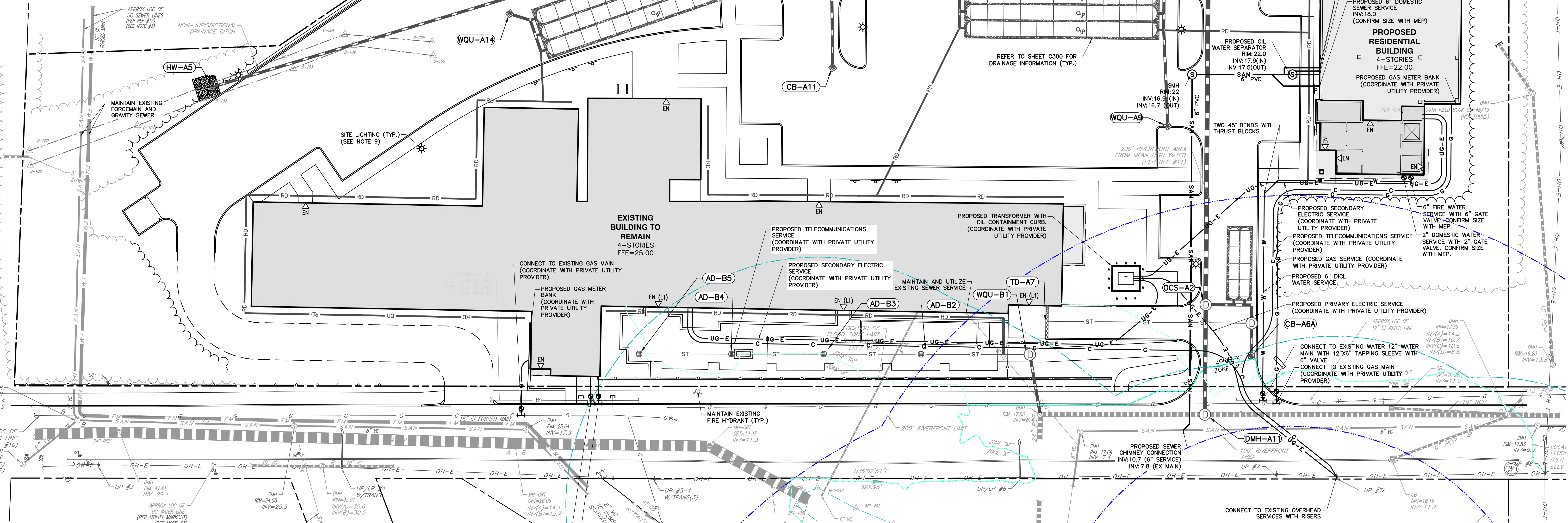
DRAWN BY: DWP CHECKED BY: KPS APPROVED BY: DRAFT
DATE: JULY 21, 2020 DWG SCALE: 1"=20' PROJECT NO: 193-187

GRADING AND DRAINAGE PLAN

DRAWING NO: **C300**
SHEET 5 OF 11

**FOR PERMITTING ONLY
NOT FOR CONSTRUCTION**

- LEGEND**
- | | |
|--|-------------------------------|
| EXISTING SUBJECT PROPERTY LINE | PROPOSED SANITARY MANHOLE |
| EXISTING ADJACENT PROPERTY LINE | PROPOSED SANITARY CLEANOUT |
| EXISTING EASEMENT | PROPOSED LIGHT POLE |
| EXISTING RIGHT OF WAY | PROPOSED SANITARY SEWER |
| EXISTING FENCE LINE | PROPOSED WATER LINE |
| EXISTING CURB | PROPOSED UNDERGROUND ELECTRIC |
| EXISTING EDGE OF PAVED ROAD | PROPOSED GAS LINE |
| EXISTING EDGE OF UNPAVED ROAD | PROPOSED COMMUNICATION LINES |
| EXISTING STRUCTURE | PROPOSED STORM PIPE |
| EXISTING STORM PIPE | PROPOSED YARD DRAIN |
| EXISTING WATER LINE | PROPOSED CURB INLET |
| EXISTING SANITARY SEWER LINE | PROPOSED CATCH BASIN |
| EXISTING SANITARY SEWER FORCEMAIN | PROPOSED STORM MANHOLE |
| EXISTING GAS LINE | PROPOSED ROOF DRAIN |
| EXISTING OVERHEAD WIRE | PROPOSED ZONE AE FLOOD LIMITS |
| EXISTING WETLANDS BUFFER | |
| EXISTING ZONE AE FLOOD LIMITS | |
| EXISTING RIVERFRONT AREA | |
| EXISTING WETLANDS FLAG | |
| EXISTING NON-JURISDICTIONAL DRAINAGE DITCH | |
| EXISTING CATCH BASIN GRATE | |
| EXISTING MANHOLE GRATE | |
| EXISTING SANITARY MANHOLE | |



- NOTES**
- LOCATION OF SUBSURFACE UTILITIES IS BASED ON AVAILABLE RECORD INFORMATION AND SURFACE FEATURES AND SHOULD BE CONSIDERED APPROXIMATE. LOCATIONS TO BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
 - THE SANITARY SEWER AND STORM DRAIN SYSTEMS SHALL BE FLUSHED PRIOR TO FINAL ACCEPTANCE.
 - REFER TO SHEET C001 FOR ADDITIONAL NOTES.
 - THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER AND ENGINEER PRIOR TO EXCAVATION.
 - SIZES AND LOCATIONS OF PROPOSED UTILITY SERVICES ARE PRELIMINARY ONLY AND SHALL BE COORDINATED WITH MEP ENGINEER PRIOR TO FINAL DESIGN.
 - REFER TO SHEET C300 FOR SIZES, MATERIALS, RIMS AND INVERTS OF STORM DRAIN.
 - ALL FIRE HYDRANTS SHALL BE PER TOWN OF WEYMOUTH FIRE DEPARTMENT SPECIFICATIONS.
 - ALL BENDS AND TEE CONNECTIONS SHALL HAVE THRUST BLOCKS INSTALLED.
 - SITE LIGHTING IS PRELIMINARY AND IS SHOWN FOR REFERENCE. FINAL LOCATIONS, FIXTURES, HEIGHTS AND APPURTENANCES TO BE COORDINATED WITH SITE LIGHTING CONSULTANT.

- REFERENCES**
- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CONTROL POINTS ASSOCIATES, INC. AND IS DEPICTED ON EXISTING CONDITIONS PLANS DATED APRIL 30, 2020.
 - VERTICAL ELEVATIONS REFER TO THE TOWN OF WEYMOUTH DATUM.
 - WETLANDS DELINEATION LINE WAS PLACED BY IN THE FIELD BY LUCAS ENVIRONMENTAL, LLC. AND FIELD LOCATED BY CONTROL POINT ASSOCIATES.

CONNECT TO EXISTING WATER 12" WATER MAIN WITH 12"x4" TAPPING SLEEVE WITH 4" VALVE FOR DOMESTIC SERVICE. COORDINATE WITH PLUMBING ENGINEER.

CONNECT TO EXISTING WATER 12" WATER MAIN WITH 12"x6" TAPPING SLEEVE WITH 6" VALVE FOR FIRE SERVICE. COORDINATE WITH PLUMBING ENGINEER.

SCALE IN FEET
0 20 40



**FOR PERMITTING ONLY
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REVISION RECORD	
NO	DESCRIPTION
SUBMITTAL RECORD	
NO	DESCRIPTION

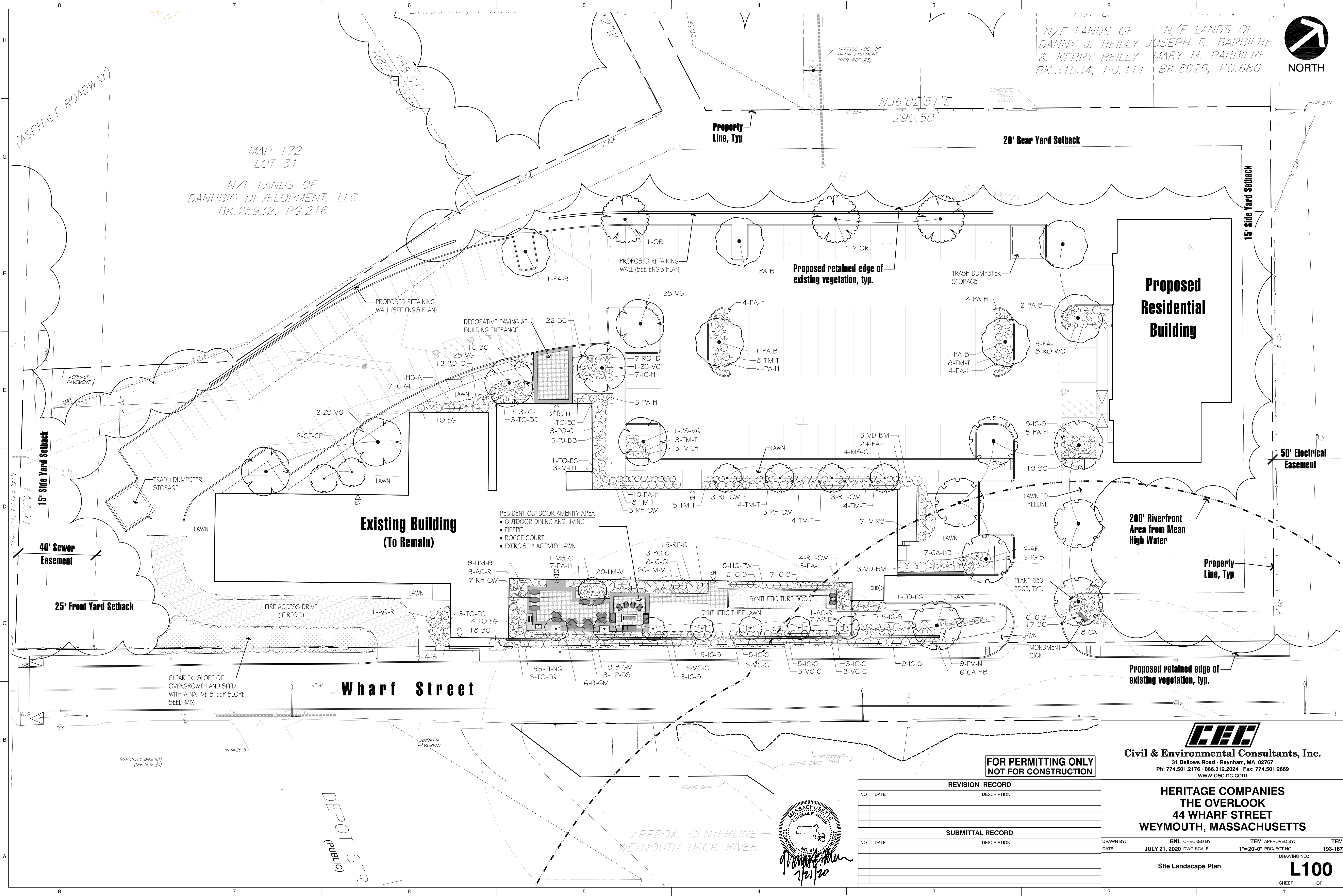
Civil & Environmental Consultants, Inc.
31 Bellows Road • Raynham, MA 02767
Ph: 774.501.2176 • 866.312.2024 • Fax: 774.501.2669
www.ccecinc.com

**HERITAGE COMPANIES
THE OVERLOOK
44 WHARF STREET
WEYMOUTH, MASSACHUSETTS**

DRAWN BY: DWP CHECKED BY: KPS APPROVED BY: DRAFT
DATE: JULY 21, 2020 DWG SCALE: 1"=20' PROJECT NO: 193-187

UTILITIES PLAN

DRAWING NO: **C500**
SHEET 6 OF 11

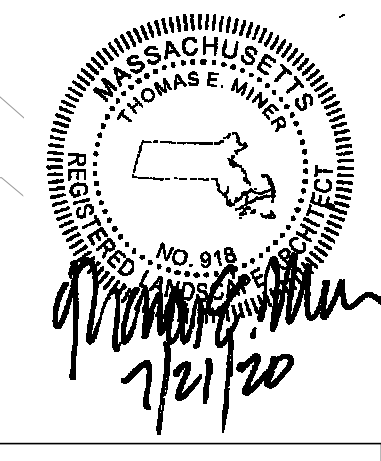


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**HERITAGE COMPANIES
THE OVERLOOK
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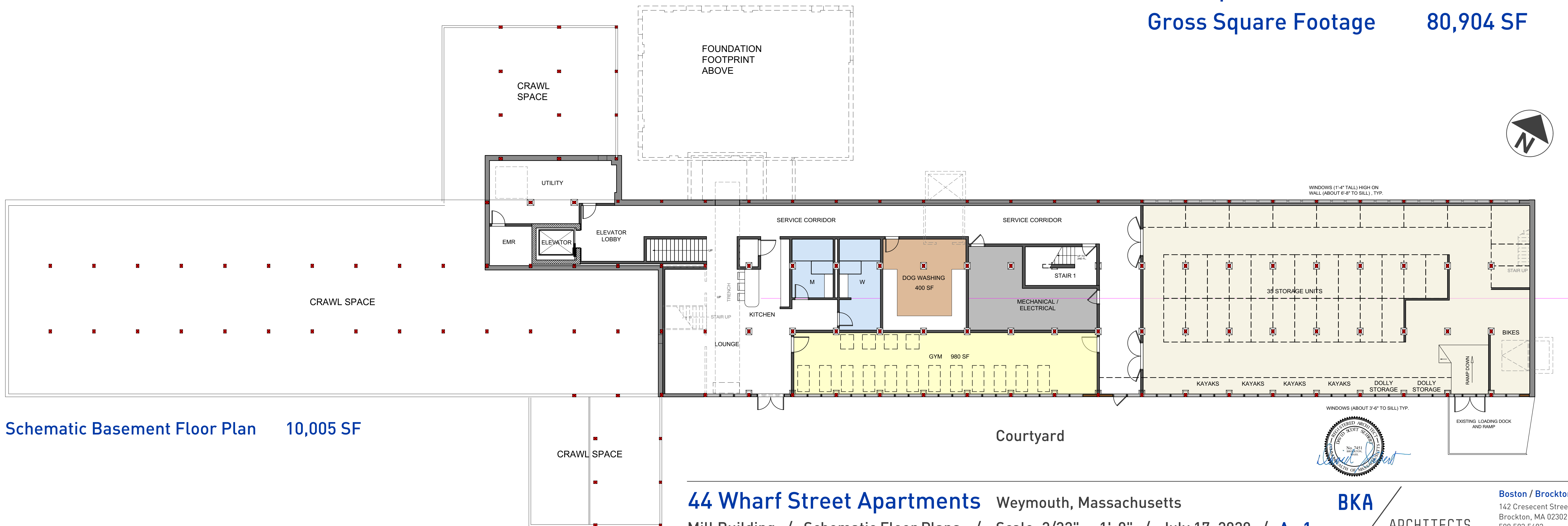
DRAWN BY: **BNL** CHECKED BY: **TEM** APPROVED BY: **TEM**
DATE: **JULY 21, 2020** DWG SCALE: **1"=20'-0"** PROJECT NO: **193-187**
Site Landscape Plan
L100
SHEET OF

REVISION RECORD	
NO	DATE
SUBMITTAL RECORD	
NO	DATE





Total Apartment Units 66
Gross Square Footage 80,904 SF





Schematic Third Floor Plan 18,300 SF

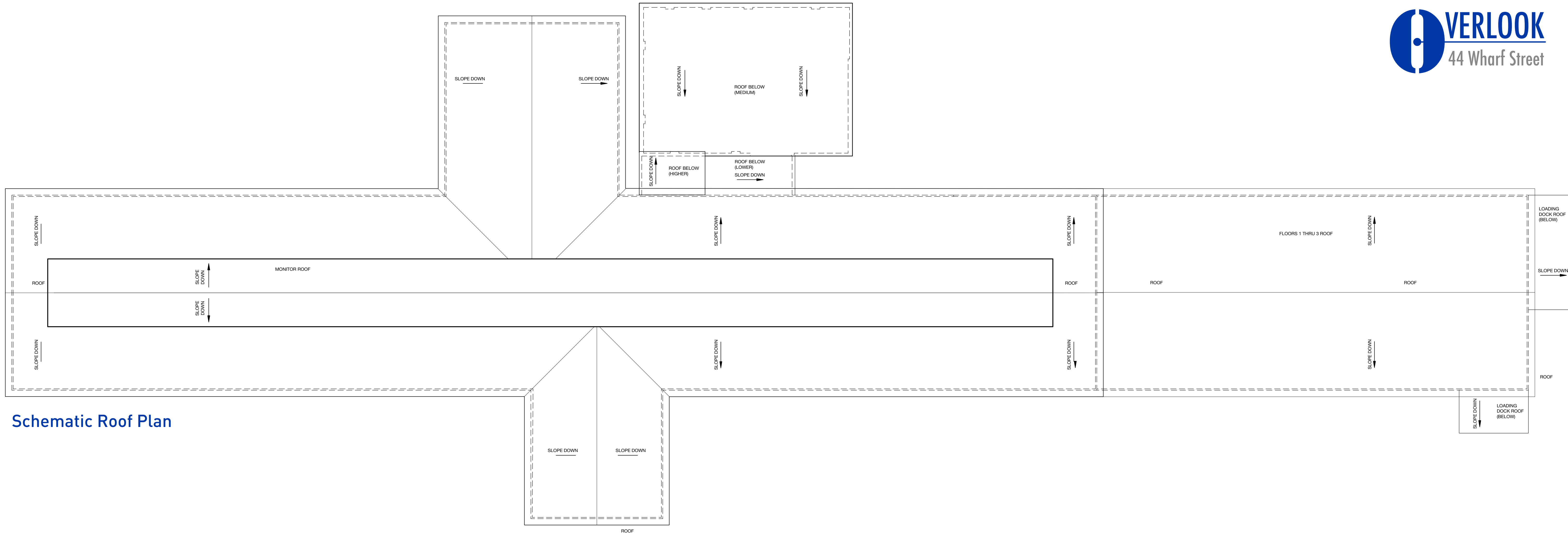
1 BEDROOM	7	10.5
1 BED JR.	1	1.5
1 BED PLUS	0	0.0
2 BEDROOM	7	14.0
2 BEDROOM PLUS	2	4.0
TOTAL	17	30.0
PARKING SPACES		



Schematic Second Floor Plan 18,300 SF

1 BEDROOM	9	13.5
1 BED JR.	2	3.0
1 BED PLUS	0	0.0
2 BEDROOM	6	12.0
2 BEDROOM PLUS	1	2.0
TOTAL	18	30.5
PARKING SPACES		



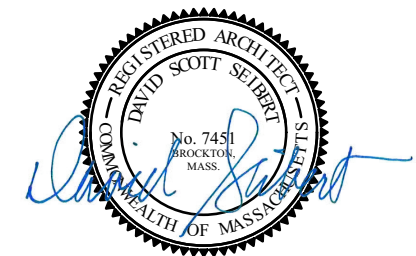


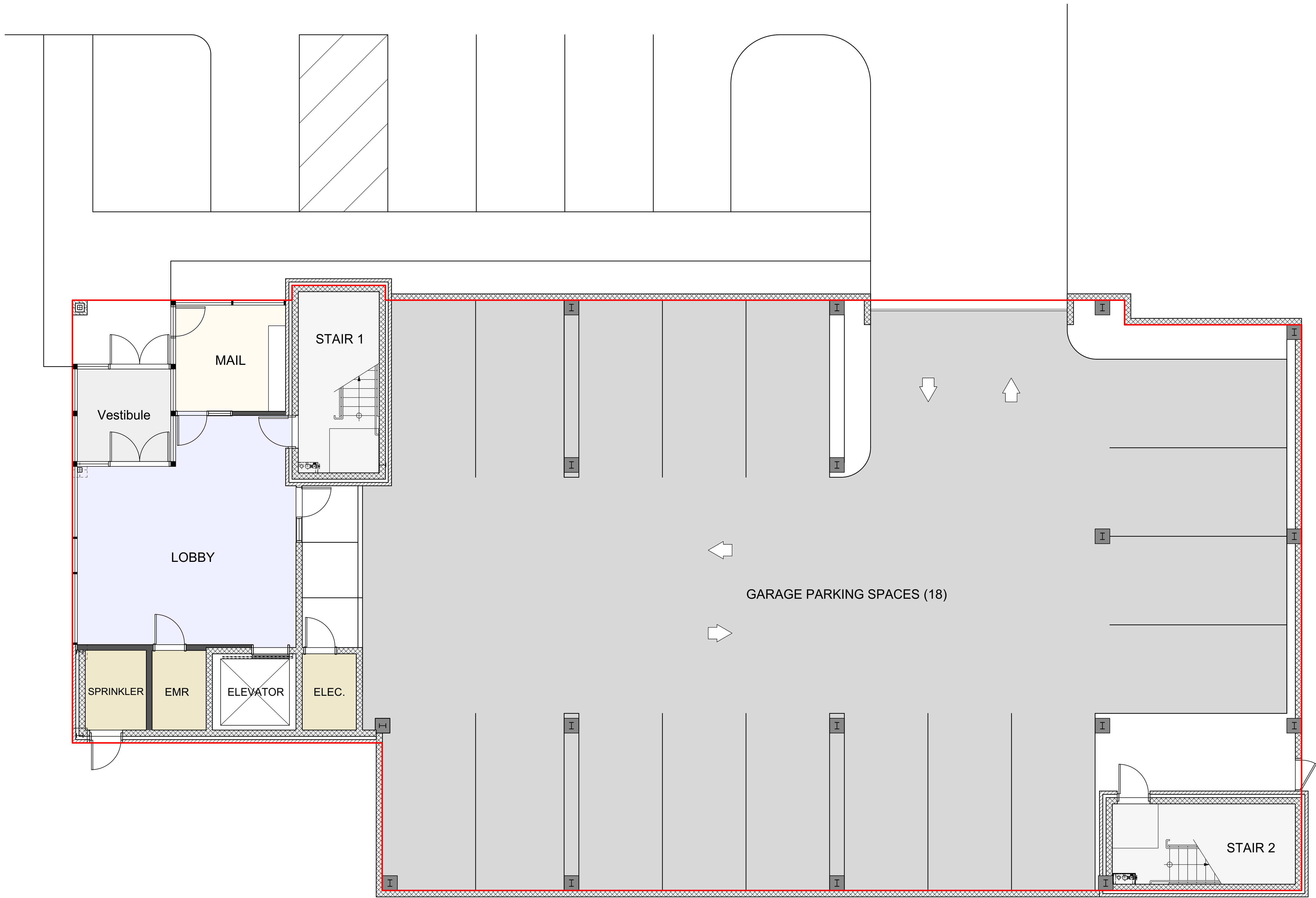
Schematic Roof Plan



Schematic Fourth Floor Plan 13,804 SF

1 BEDROOM	6	9.0
1 BED JR.	0	0.0
1 BED PLUS	0	0.0
2 BEDROOM	7	14.0
2 BEDROOM PLUS	0	2.0
TOTAL	13	23.0
PARKING SPACES		





Schematic First Floor Plan

6,997 SF First Floor
6,997 SF Per Typical Floor (3)

27,988 Total Gross SF

Unit Type / Floor		Total
1 BEDROOM	2	6
2 BEDROOM	4	12
TOTAL		18



Schematic Typical Floor Plan

6,997 SF First Floor
6,997 SF Per Typical Floor (3)
27,988 Total Gross SF

Unit Type / Floor		Total
1 BEDROOM	2	6
2 BEDROOM	4	12
TOTAL		18



Podium Building



44 Wharf Street Apartments

Weymouth, Massachusetts

Schematic Design Package / Elevations / Scale: N.T.S. / July 17, 2020 / **A - 16**

BKA
ARCHITECTS

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142 Crescent Street
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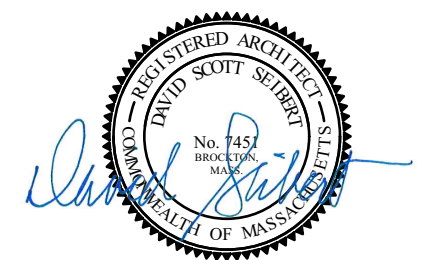


Mill Building Entry

44 Wharf Street Apartments

Weymouth, Massachusetts

Schematic Design Package / Renderings / Scale: N.T.S. / July 17, 2020 / **A-7**



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View Looking East



View of New Podium Building



View of Courtyard



44 Wharf Street Apartments

Weymouth, Massachusetts

Schematic Design Package / Renderings / Scale: N.T.S. / July 17, 2020 / **A - 14**

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