



October 31, 2022

Mary Ellen Schloss
Conservation Administrator
Town of Weymouth
75 Middle Street
Weymouth, MA 02189

**Re: Proposed Middle Street Right Turn Lane and Libbey Industrial Parkway Sidewalk Project
Middle Street and Libbey Industrial Parkway
Weymouth Massachusetts**

Dear Ms. Schloss:

On behalf of the Town of Weymouth Department of Planning and Community Development, Tetra Tech is submitting the attached materials in support of a Notice of Intent (NOI) for work within the Riverfront Area (RA) and the 100-foot buffer zone to, bordering vegetated wetland (BVW) and bank, associated with the above referenced project (the Project) located in Weymouth, Massachusetts.

The purpose of the Project is to construct a right turn lane on Middle Street to Libbey Industrial Parkway, a bike lane on Middle Street, and a 5-foot wide concrete sidewalk between Middle Street and the Boston Children's Hospital (BCH) facility located at 200 Libbey Industrial Parkway, which is currently under construction.

The portion of the Project subject to jurisdiction is located within previously disturbed areas adjacent to Libbey Industrial Parkway and will result in 3,595 square feet (sf) of impact to RA, all of which is previously degraded, as well as areas within the 50-foot local no disturb area to BVW and Bank. Boundary of BVW is generally coincident with the toe-of-slope associated with the existing roadway. The Project incorporates construction-term sediment controls and disturbed areas adjacent to the sidewalk/paved areas will be stabilized by seeding with an upland grass mix suitable for the intended use. No changes to the areas stormwater management system are proposed.

Riverfront Area Alternatives Analysis. The purpose of the Project is to provide safe pedestrian access to the BCH facility. Currently, no pedestrian accommodations exist along Libbey Industrial Parkway. This condition requires pedestrians from the residential properties and Massachusetts Bay Transportation Authority bus stops in the vicinity of Middle Street who are seeking pedestrian access to the BCH facility to walk within roadway travel lanes. The Project will also result in an ancillary benefit of providing safe pedestrian access to other properties along Libbey Industrial Parkway that are between Middle Street and the BCH facility.

Alternatives to the proposed project include a No-Build Alternative and the Southern Sidewalk Alternative.

- The No-Build Alternative would not meet the purpose of the proposed Project and is considered not practicable.
- The Southern Sidewalk Alternative would locate the sidewalk to the southern side of Libbey Industrial Parkway up to the western side of Old Swamp River bridge, at which point it would cross to the northern side of the road and use the sidewalk currently located on the bridge. This alternative would result in approximately 115 sf of impact to non-developed/non-degraded RA.

The proposed Project is the least environmentally damaging practicable alternative.

Variance Request. Because the Project proposes alterations to upland areas within 50 feet of BVW and Bank, of which include landscaped areas, maintained road shoulders, and/or previously degraded areas, the applicant requests the Conservation Commission grant a Variance for the proposed project pursuant to the Town's

Wetlands Protection Ordinance/Regulations. As discussed above, there are no practicable alternatives to the Project and the Project incorporates appropriate construction-term sediment controls and post-construction stabilization practices.

Refer to Attachment A for the NOI and associated documents.

If you have any questions or require additional information, please contact me at 508-561-1163.

Sincerely,



Ken Deshais, CPSS
Senior Project Scientist

Cc: Robert Luongo, Director, Department of Planning and Community Development
Josh Kleinman, FoxRock 200 Libbey, LLC
Glenn Dougherty, Tetra Tech

Attachments: Notice of Intent

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ATTACHMENT A

Notice of Intent

**NOTICE OF INTENT
UNDER THE TOWN OF WEYMOUTH
WETLANDS PROTECTION ORDINANCE, CHAPTER 7, SECTION 301**

1. Project Location Libbey Industrial Parkway
2. Town of Weymouth Atlas Reference (Parcel #) N/A
3. Project Description Construction of sidewalk between Middle Street and 200 Libbey Industrial Parkway
4. County, Norfolk: Book _____ Page _____
Weymouth Department of Planning and
5. *Applicant Community Development *Telephone# 781-340-5007
6. *Applicant Address 75 Middle Street
7. Property Owner Town of Weymouth
8. Representative Tetra Tech - Ken Deshais Telephone# 508-561-1163
9. Representative's Address 100 Nickerson Road, Marlborough, MA 01752
10. Billing Party for Legal Notice (All info is required):
Name: Town of Weymouth
Address: 75 Middle Street
Home Phone: _____ Cell: _____
Email address mschloss@weymouth.ma.us
11. Has the Conservation Commission received the **original** material **plus six (6) copies** of the Notice of Intent form, 8.5"X11", U.S.G.S. locus and 8.5"x11" sheet clearly showing the proposed site and work in addition to labeled resource areas? YES X NO _____
12. Are the following additional interests relevant to the proposed project? If so, Notice of Intent must include a discussion of these interests. Aesthetics _____ Wildlife _____ Recreation _____
Erosion Control X
13. Have you filed your Local Wetland Fees? State Fees? YES _____ NO Exempt
14. Have you filed the Abutters' Notification and Affidavit of Service? YES X NO _____

I, THE UNDERSIGNED, HEREBY APPLY FOR A PERMIT PURSUANT TO THE CODE OF ORDINANCES, TOWN OF WEYMOUTH, CHAPTER 7, SECTION 301


Signature

11/01/2022
Date

*THE WEYMOUTH CONSERVATION OFFICE WILL SUBMIT THE NECESSARY LEGAL AD, AND THE APPLICANT WILL BE BILLED DIRECTLY BY THE PATRIOT LEDGER. FOR BILLING PURPOSES, THE PATRIOT LEDGER REQUIRES THAT THE TELEPHONE NUMBER SUBMITTED MUST BE THE DIRECT CONTACT NUMBER THAT MATCHES THE NAME AND ADDRESS OF THE APPLICANT, OTHERWISE THE LEGAL AD WILL NOT BE PUBLISHED AND THE HEARING WILL BE DELAYED.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Weymouth
City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>Libbey Industrial Parkway</u>	<u>Weymouth</u>	<u>02190</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
	<u>42°11'37.79"N</u>	<u>70°56'59.17"W</u>
	d. Latitude	e. Longitude
<u></u>	<u></u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Robert</u>	<u>Luongo</u>	
a. First Name	b. Last Name	
<u>Director - Weymouth Department of Planning and Community Development</u>		
c. Organization		
<u>75 Middle Street</u>		
d. Street Address		
<u>Weymouth</u>	<u>MA</u>	<u>02190</u>
e. City/Town	f. State	g. Zip Code
<u>781-340-5015</u>	<u>RLuongo@weymouth.ma.us</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u>See Attached List</u>		
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Ken</u>	<u>Deshais</u>	
a. First Name	b. Last Name	
<u>Tetra Tech</u>		
c. Company		
<u>100 Nickerson Raod</u>		
d. Street Address		
<u>Marlborough</u>	<u>MA</u>	<u>01752</u>
e. City/Town	f. State	g. Zip Code
<u>508-561-1163</u>	<u>ken.deshais@tetrattech.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>EXEMPT</u>		
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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WPA Form 3 – Notice of Intent

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Provided by MassDEP:

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Weymouth

City/Town

A. General Information (continued)

6. General Project Description:

The project includes the construction of a right turn lane on Middle Street and a sidewalk along Libbey Industrial Parkway between Middle Street and the Boston Children's Hospital (BCH) facility which is currently under construction at 200 Libbey Industrial Parkway.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

See Attached List

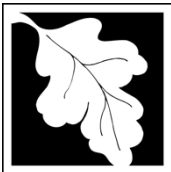
_____	b. Certificate # (if registered land)
_____	d. Page Number

c. Book

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Weymouth
City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Old Swamp River (Inland)	

1. Name of Waterway (if available) - **specify coastal or inland**

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 27,821 square feet

4. Proposed alteration of the Riverfront Area:

<u>3,595</u>	<u>1,560</u>	<u>2,035</u>
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Weymouth
City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

_____	_____
a. square feet of BVW	b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____	_____
a. number of new stream crossings	b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Weymouth

City/Town

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- August 2021
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Weymouth

City/Town

C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).
 Make check payable to “Commonwealth of Massachusetts - NHESP” and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
 Include copy of NHESP “no Take” determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP’s Boston Office. For coastal towns in the Southeast Region, please contact MassDEP’s Southeast Regional Office.

c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Weymouth

City/Town

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Libbey Industrial Parkway Sidewalk Construction Plans

a. Plan Title

Tetra Tech Inc.

b. Prepared By

10/31/2022

d. Final Revision Date

Glenn K. Dougherty

c. Signed and Stamped by

1"=20'

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



**Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands**

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Weymouth
City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

[Handwritten Signature]

1. Signature of Applicant

10/31/2022

2. Date

[Handwritten Signature]

3. Signature of Property Owner (if different)

10/31/2022

4. Date

[Handwritten Signature]

5. Signature of Representative (if any)

10/31/2022

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

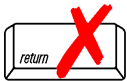
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

Libbey Industrial Parkway Weymouth
 a. Street Address b. City/Town
Exempt
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Robert Luongo
 a. First Name b. Last Name
Director - Department of Planning and Community Development, Weymouth Town Hall
 c. Organization
75 Middle Street
 d. Mailing Address
Weymouth MA 02190
 e. City/Town f. State g. Zip Code
781-340-5015 RLuongo@weymouth.ma.us
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

See Attached List
 a. First Name b. Last Name
 c. Organization
 d. Mailing Address
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
EXEMPT FROM FEES			

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	0
	a. Total Fee from Step 5
State share of filing Fee:	0
	b. 1/2 Total Fee less \$12.50
City/Town share of filing Fee:	0
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

Property Owners:

Middle Street & Libbey Industrial Parkway:

Town of Weymouth
75 Middle Street
Weymouth, MA 02190

ATTN: Robert Luongo
781-340-5015
rluongo@weymouth.ma.us

944 Middle Street

FoxRock Properties LLC
1200 Hancock Street, Suite 301
Quincy, MA 02169

Certificate #: 190814
Book: 955 Page: 14

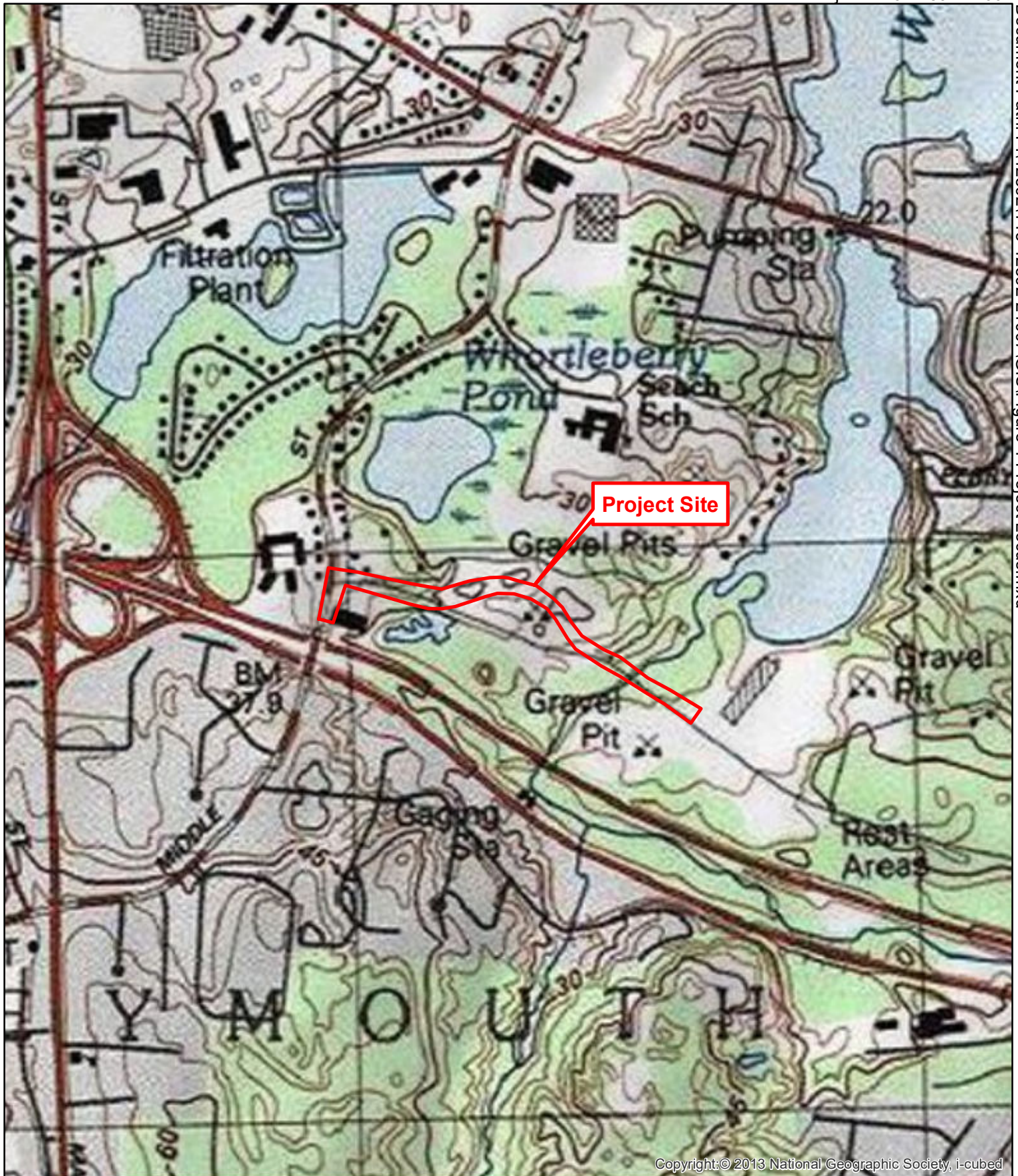
ATTN: Josh Kleinman
617-433-7792
jkleinman@foxrockproperties.com

97 Libbey Industrial Parkway:

FoxRock Properties LLC
1200 Hancock Street, Suite 301
Quincy, MA 02169

Book: 31203 Page: 532

ATTN: Josh Kleinman
617-433-7792
jkleinman@foxrockproperties.com



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100 Nickerson Road
 Marlborough, MA 01752
 508.786.2200
 www.tetrattech.com



0 500 1,000
 Feet
 1 inch = 1,000 feet

Libbey Industrial Parkway Sidewalk
 Weymouth, MA

Base Map: MassGIS
 USGS 2001

Figure 1
 Project Locus

SITE ACCESS AUTHORIZATION

DATE: 10/31/2022

PROJECT: Middle Street Right Turn Lane and Libbey Industrial Parkway Sidewalk

TO: **Weymouth Conservation Commission and Conservation Administrator**

FROM: Town of Weymouth

LOCATION: 944 Middle Street & 97 Libbey Industrial Parkway

(Hereafter referred to as the property)

I (We) hereby authorize the individual members of the Conservation Commission and its agents to enter upon the property for the purpose of gathering information prior to issuing a Determination of Applicability or an Order of Conditions and for the purpose of enforcing the Order of Conditions prior to the issuance of a Certificate of Compliance.

TIME: **FROM THE PRESENT TO DATE OF ISSUANCE OF CERTIFICATE OF COMPLIANCE**

PROPERTY OWNER:  DATE: 10/31/2022

AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act and Code of Ordinances, Town of Weymouth, Chapter 7, Section 301

(To be submitted to the Massachusetts Department of Environmental Protection and the **Weymouth Conservation Commission** when filing a Notice of Intent or Request for Determination)

I Ken Deshais hereby certify under the pains and penalties of perjury that on 11/1/2022 (date)

I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, and **Town of Weymouth**, in connection with the following matter:

A Notice of Intent or Request for Determination filed under the Massachusetts Wetlands Protection Act by Robert Luongo, Director, Weymouth Department of Planning and Community Development

With the **Town of Weymouth Conservation Commission** on 11/1/2022 (Date)

For property located at Libbey Industrial Parkway

Shown on Assessors Map# N/A Block # _____ Lot# _____

The forms of the notification, and a list of the abutters and town departments to whom it was given and their addresses, are attached to this Affidavit of Service.

Ken Deshais
Name

11/1/2022
Date

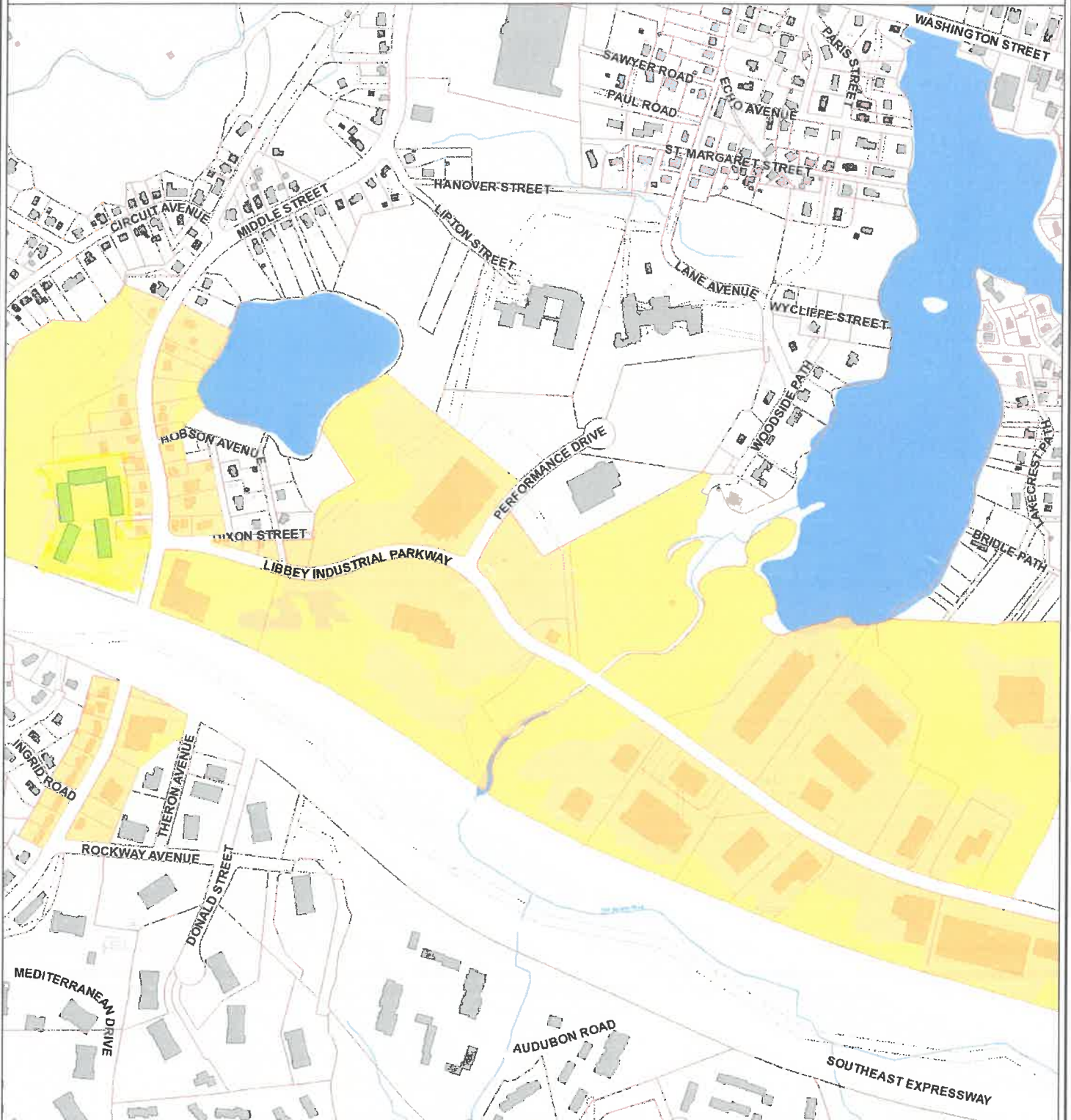
TOWN OF WEYMOUTH

NOTIFICATION TO ABUTTERS UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT AND LOCAL WETLANDS PROTECTION ORDINANCE, CHAPTER 7, SECTION 301

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

- A. The name of the applicant is Robert Luongo, Director - Weymouth Department of Planning and Community Development
- B. The applicant has filed: Notice of Intent, *or* OOC Amendment Request, *or* Request for Determination with the Conservation Commission for the municipality of Weymouth seeking permission to remove, fill, dredge or alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, Section 40).
- C. The address of the lot where the activity is proposed and a brief description including square footage and/or dimensions of proposed project:
Construction of a sidewalk along Libbey Industrial Parkway between Middle Street and 200 Libbey Industrial Parkway
- D. Copies of the Notice of Intent or OOC Amendment Request or Request for Determination may be examined at The Weymouth Conservation Commission Office, Weymouth Town Hall, between the hours of 8:30 and 4:30, Monday through Friday (it is recommended to call for an appointment first at 781 340 5007). Copies may also be viewed on the Town of Weymouth Website, on the conservation page under the current and past cases tab at: <https://www.weymouth.ma.us/conservation-commission/pages/current-and-past-cases-partial-list>
- E. Copies of the Notice of Intent or OOC Amendment Request or Request for Determination may be obtained from (check one):
 the Applicant **or** the Applicant's Representative
by calling this telephone number 781-340-5007 contact person Mary Ellen Schloss
between the hours of: 8:30 - 4:30 on the following days of the week: Monday - Friday
- F. Information regarding the date, time, and place of the public hearing may be obtained from:
Weymouth Conservation Commission
By calling this telephone number: 781-340-5007
Between the hours of: 8:30 – 4:30 Mon. though Friday
- G. Check One: This is the Applicant
This is the Applicant's Representative
Other (specify) Town of Weymouth Conservation Commission

NOTE: Notice of the public hearing/meeting, including its date, time and place will be published at least five days in advance in the Patriot Ledger, and will also be posted on the Town website at www.weymouth.ma.us not less than forty-eight hours in advance. You may also contact the Weymouth Conservation Commission or the Department of Environment Protection Regional office for more information about this application or the Wetland Protection Act. To contact DEP, call 508-946-2700.



Easements

- Assessors Parcels

Buildings

- BUILDING
- DECK
- OTHER
- SHED

Base Map

Roads - Layout

- PUB/PRIV TRAVELWAYS
- PAPER

Hydrography

- Streams
- Ponds / Major Streams

Towns

- Built-Up Areas

1" = 557 ft



DISCLAIMER: ALL DATA IS PROVIDED "AS IS" WITH ALL FEATURES, IF ANY. THE TOWN OF WEYMOUTH EXPRESSLY DISCLAIMS ALL WARRANTIES OF ANY TYPE, EXPRESSED OR IMPLIED, INCLUDING BUT NOT LIMITED TO ANY WARRANTY AS TO THE ACCURACY OF THE DATA, MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: BLOCK: LOT: EXT:	33 430 44 0	0 DIXON ST YOUNG MARY L & ROSS ARTHUR LTT C/O MICHAEL FLIBOTTE 1 CAMPANELLI DR BRAINTREE, MA, 02184	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 45 0	0 DIXON ST NAUGHTON JAMES & ROSS LOUIS C/O MICHAEL FLIBOTTE 1 CAMPANELLI DR BRAINTREE, MA, 02184	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 46 0	0 DIXON ST TOWN OF WEYMOUTH 75 MIDDLE ST E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 55 0	16 DIXON ST 16 DIXON REAL ESTATE TRUST DOYLE DANIEL T TR & DOYLE JOHN 16 DIXON ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 43 0	35 DIXON ST CASSIDY JL & CASSIDY JA SR LE CASSIDY K I & J A JR TIC 60 HOBSON AVE WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 432 3 0	0 LIBBEY IND PKY TOWN OF WEYMOUTH 75 MIDDLE ST WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 433 18 0	0 LIBBEY IND PKY TOWN OF WEYMOUTH SEWER DEPT 75 MIDDLE ST WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 433 8 0	0 LIBBEY IND PKY FOXROCK PERFORMANCE RLTY, LLC C/O FOXROCK PROPERTIES LLC P O BOX 690528 QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 433 4 0	90 LIBBEY IND PKY FOXROCK LIBBEY REALTY LLC C/O FOXROCK PROPERTIES LLC P O BOX 690528 QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 432 2 0	97 LIBBEY IND PKY FOXROCK WEYMOUTH AT REALTY LLC C/O FOXROCK PROPERTIES LLC P O BOX 690528 QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: BLOCK: LOT: EXT:	34 433 7 0	150 LIBBEY IND PKY TOWN OF WEYMOUTH WATER SUPPLY RESERVATION 75 MIDDLE ST E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 435 7 163	163 LIBBEY IND PKY LIBBEY INDUSTRIAL PARKWAY LLC 15 SCOTLAND BLVD BRIDGEWATER, MA, 02324	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 435 7 169	169 LIBBEY IND PKY GOLDBERG MICHAEL A /TR MARTINBERG REALTY TRUST 169 LIBBEY IND PKY WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 435 1 0	183-&185 LIBBEY IND PKY FAY KATHLEEN & DEVANEY PAMELA & FAY STEPHEN & FAY MICHAEL & 113 CHIEF JUSTICE CUSHING HWY SCITUATE, MA, 02066	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 435 15 0	195 LIBBEY IND PKY GINNS FAMILY LIBBEY, LLC 195 LIBBEY IND PKY UNIT #3 WEYMOUTH, MA, 02190	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 14 0	200 LIBBEY IND PKY FOXROCK 200 LIBBEY, LLC C/O FOXROCK PROPERTIES LLC P O BOX 690528 QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 9	218 LIBBEY IND PKY VINFEN CORPORATION 950 CAMBRIDGE ST CAMBRIDGE, MA, 02141	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 1	220--234 LIBBEY IND PKY KSB II TRUST PIKE MATTHEW TRUSTEE 230 LIBBEY IND PKY UNIT 1 WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 2	220--234 LIBBEY IND PKY KSB II TRUST PIKE MATTHEW TRUSTEE 220--234 LIBBEY IND PKY UNIT 2 WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 3	220--234 LIBBEY IND PKY KSB II TRUST PIKE MATTHEW TRUSTEE 230 LIBBEY IND PKY WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: BLOCK: LOT: EXT:	34 435 3 4	220--234 LIBBEY IND PKY PIKE MATTHEW TRUSTEE KSB II TRUST 11 HOWARD ST HINGHAM, MA, 02043	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 5	220--234 LIBBEY IND PKY RIIHIMAKI THOMAS A & KYUNG P KSB TRUST 228 LIBBEY IND PKY U-5 WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 6	220--234 LIBBEY IND PKY KSB TR LIBBEY BUS PK CONDO U-6 RIIHIMAKI T A & KYUNG P TRS 230 LIBBEY PARKWAY U-6 E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 7	220--234 LIBBEY IND PKY RIIHIMAKI THOMAS & REBECCA TRS K S B TRUST U-7 & U8B 234 LIBBEY PKWY U-7 E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 8A	220--234 LIBBEY IND PKY PIKE MATTHEW TRUSTEE KSB II TRUST 220--234 LIBBEY IND PKY #8A WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 8B	220--236 LIBBEY IND PKY RIIHIMAKI THOMAS & REBECCA TRS K S B TRUST U-7 & U8B 234 LIBBEY PKWY U-8B E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 435 16 0	221 LIBBEY IND PKY KENNEDY JAMES J TR JFK REALTY TRUST 221 LIBBEY IND PKY E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 435 17 0	233--237 LIBBEY IND PKY ICCI LIBBEY TRUST TILTON PHILIP & MICHELLE TRS 233--237 LIBBEY IND PKY WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	34 435 3 II-1	242 LIBBEY IND PKY FULCRUMRE 242 LLC 935 GREAT PLAIN AVE SUITE 123 NEEDHAM, MA, 02492	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 445 24 0	260 LIBBEY IND PKY E G SAWYER BUILDING CORP 260 LIBBEY IND PKY WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: 38 BLOCK: 435 LOT: 5 EXT: 0	267 LIBBEY IND PKY	FOXROCK 267 LIBBEY BB REALTY LLC P O BOX 690528 QUINCY, MA, 02269	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 34 BLOCK: 445 LOT: 27 EXT: 0	270 LIBBEY IND PKY	HARVEST MINISTRIES OF N E INC 644 MIDDLE ST PMB #397 WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 38 BLOCK: 445 LOT: 25 EXT: 1	276-280 LIBBEY IND PKY	WOTTON REALTY LLC C/O ENTERPRISE EQUIPM'T CO INC 276-280 LIBBEY IND PKY #1 WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 38 BLOCK: 445 LOT: 25 EXT: 2	276--280 LIBBEY IND PKY	ANNESE JOSEPH S & LEGGE MELANIE CO-TRUSTEES 280 LIBBEY IND PKY WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 38 BLOCK: 472 LOT: 2 EXT: A300	293 LIBBEY IND PKY	GIDEON LLC 29 REEF POINT HULL, MA, 02045	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 38 BLOCK: 472 LOT: 2 EXT: A100	293 LIBBEY IND PKY	GIDEON LLC 29 REEF POINT HULL, MA, 02045	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 38 BLOCK: 472 LOT: 2 EXT: A200	293 LIBBEY IND PKY	GIDEON LLC 29 REEF POINT HULL, MA, 02045	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 38 BLOCK: 472 LOT: 2 EXT: B450	317 LIBBEY IND PKY	FALCONI REALTY COMPANY, LLC 253 CENTRE ST QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 38 BLOCK: 472 LOT: 2 EXT: B650	317 LIBBEY IND PKY	GIDEON LLC 29 REEF POINT HULL, MA, 02045	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 38 BLOCK: 472 LOT: 2 EXT: B100	317 LIBBEY IND PKY	NOBLE CRAIG D & CHRISTINA S 19 BERKLEY CIRCLE HINGHAM, MA, 02043	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: BLOCK: LOT: EXT:	38 472 2 B200	317 LIBBEY IND PKY ALLY GLOBAL LOGISTICS LLC 45 POND ST SUITE 200 NORWELL, MA, 02061	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 472 2 B300	317 LIBBEY IND PKY FALCONI REALTY LLC 253 CENTRE ST QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 472 2 B400	317 LIBBEY IND PKY PERFORMANCE DANCE CENTER LLC C/O GIOSCIA LINDA T 6 PINE BROOK DR HALIFAX, MA, 02338	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 472 2 B500	317 LIBBEY IND PKY MILLENNIUM WEYMOUTH GRP LLC 317 LIBBEY IND PKY UNIT B-500 WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	38 472 2 B610	317 LIBBEY IND PKY BURGDORF DAVID M 35 VILLAGE RD WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 427 80 0	0 MIDDLE ST LENTO MICHAEL A & RITA E TBE 907 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 427 81 0	0 MIDDLE ST LENTO MICHAEL A & RITA E TBE 907 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	37 431 6 0	0 MIDDLE ST FALCONI REALTY CO LLC 253 CENTRE ST QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 28 0	0 MIDDLE ST KLASSON H K & ERICSON B S 100 SEAVER ROAD E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 19 0	860 MIDDLE ST WHITTEMORE CHARLES W & ANITA M 860 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: 33 BLOCK: 427 LOT: 66 EXT: 0	861 MIDDLE ST	KAUR SURJIT & SINGH HARDIAL TBE 17 SUNDIN CIR WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 430 LOT: 23 EXT: 0	868 MIDDLE ST	SLOWE DANIEL J 868 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 427 LOT: 2 EXT: 0	875--REAR MIDDLE ST	TOWN OF WEYMOUTH CONSERVATION 75 MIDDLE ST E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 430 LOT: 26 EXT: 0	876 MIDDLE ST	HOLMES JULIE 876 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 427 LOT: 4 EXT: 0	887 MIDDLE ST	HOLCOMB LIISA M 887 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 427 LOT: 5 EXT: 0	893 MIDDLE ST	ABREU AMAURY 893 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 430 LOT: 29 EXT: 0	896 MIDDLE ST	LITTLE HERBERT MARK 896 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 427 LOT: 6 EXT: 0	899 MIDDLE ST	CONNAUGHTON GERALD P & COSTELLO CLARE T 899 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 430 LOT: 30 EXT: 0	900 MIDDLE ST	WHITTEMORE SCOTT D & IRENE M TBE 900 MIDDLE ST E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 430 LOT: 59 EXT: 0	904 MIDDLE ST	YESAYAN ANNA & CHILINGARYAN ELMIRA JT 904 MIDDLE ST WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: BLOCK: LOT: EXT:	33 427 7 0	907 MIDDLE ST LENTO MICHAEL A & RITA E TBE 907 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 66 0	912 MIDDLE ST RICHARDSON DOUGLAS C & EILEEN 912 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 427 9 0	915 MIDDLE ST GRASSELLI JON P & MARIE TBE 915 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 61 0	918 MIDDLE ST GARNER JOHN J & FITZGERALD LINDA M 918 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 427 21 0	921 MIDDLE ST MAYNARD ROBERT & LORI 17 WANTON SHIPYARD NORWELL, MA, 02061	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 68 0	922 MIDDLE ST WILLIAMS JONATHAN D & CHARLES ALAN E JT 922 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 427 11 0	925 MIDDLE ST PRINCE KATHLEEN M 925 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 430 62 0	930 MIDDLE ST TIRRELL WAYNE F & KATHY M TBE 930 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	33 432 1 0	944 MIDDLE ST FOXROCK LIBBEY CORNER REALTY, LLC C/O FOXROCK PROPERTIES LLC PO BOX 690528 QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: BLOCK: LOT: EXT:	37 427 70 0	983 MIDDLE ST MA YONGFENG & WONG LAI PING TBE 983 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: 37 BLOCK: 427 LOT: 69 EXT: 0	989 MIDDLE ST	CARLTON DEAN 511 MAIN ST WEYMOUTH, MA, 02190	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 431 LOT: 7 EXT: 0	992 MIDDLE ST	FALCONI REALTY CO LLC 253 CENTRE ST QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 427 LOT: 27 EXT: 0	995 MIDDLE ST	GERAGHTY MAIREAD K 995 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 427 LOT: 26 EXT: 0	1003 MIDDLE ST	O'DONNELL CHARLES P 1003 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 427 LOT: 25 EXT: 0	1009 MIDDLE ST	REBECCA WHITAKER REVOCABLE TR WHITAKER REBECCA 1009 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 431 LOT: 10 EXT: 0	1010 MIDDLE ST	MCFARLAND JAMES O & EILEEN L R TRS OF PJM REALTY NOMINEE TR 15 CEFALO RD WEST ROXBURY, MA, 02132	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 427 LOT: 24 EXT: 0	1015 MIDDLE ST	LUO GUIFENG & HUANG GUANGDONG TBE 1015 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 431 LOT: 11 EXT: 0	1022 MIDDLE ST	MCFARLAND JAMES O & EILEEN L R TRS OF PJM REALTY NOMINEE TR 15 CEFALO RD WEST ROXBURY, MA, 02132	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 427 LOT: 23 EXT: 0	1025 MIDDLE ST	BARKER MARILYN C LIFE EST BARKER G E & M R JT 1025 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 431 LOT: 12 EXT: 0	1028 MIDDLE ST	ORTIZ FRANCISCO J 1028 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10/28/2022

PARCEL #	LOCATION	OWNER NAME/ADDRESS	CERTIFIED	
			YES	NO
MAP: 37 BLOCK: 427 LOT: 22 EXT: 0	1031 MIDDLE ST	TORRES FERMIN & HERRERA ROSA 1031 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 37 BLOCK: 427 LOT: 28 EXT: 0	1037 MIDDLE ST	FENG ZHONGDONG & TAN XUEFENG TBE 1037 MIDDLE ST WEYMOUTH, MA, 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 34 BLOCK: 433 LOT: 17 EXT: 0	7 PERFORMANCE DR	FOXROCK WEYMOUTH AT REALTY LLC C/O FOXROCK PROPERTIES LLC P O BOX 690528 QUINCY, MA, 02169	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 34 BLOCK: 435 LOT: 13 EXT: 0	0-REAR WOODSIDE PTH	TOWN OF WEYMOUTH WATER DEPT WOODSIDE PATH E WEYMOUTH, MA, 02189	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MAP: 33 BLOCK: 427 LOT: 10 EXT: 0	1 TARA DRIVE	TARA CARDENS CONDO ASSOC 1 TARA DRIVE WEYMOUTH, MA 02188	<input checked="" type="checkbox"/>	<input type="checkbox"/>

This list of abutters is a certified copy of the Town of Weymouth's tax records for fiscal year 2023.
 The record of ownership is accurate through May 2022.

Prepared by:  10/28/22

Reviewed by:

|



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the Massachusetts Stormwater Handbook. The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

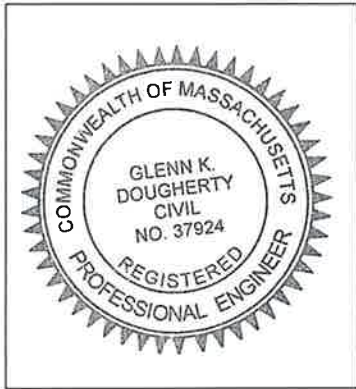
Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



Glenn K. Dougherty
Signature and Date

11/01/2022

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
 - Credit 1
 - Credit 2
 - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): _____

Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - Static
 - Simple Dynamic
 - Dynamic Field¹
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - Site is comprised solely of C and D soils and/or bedrock at the land surface
 - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - Solid Waste Landfill pursuant to 310 CMR 19.000
 - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
 - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
 - is within the Zone II or Interim Wellhead Protection Area
 - is near or to other critical areas
 - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - involves runoff from land uses with higher potential pollutant loads.
 - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
 - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
 - The ½" or 1" Water Quality Volume or
 - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the proprietary BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
- Limited Project
 - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - Bike Path and/or Foot Path
 - Redevelopment Project
 - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - Name of the stormwater management system owners;
 - Party responsible for operation and maintenance;
 - Schedule for implementation of routine and non-routine maintenance tasks;
 - Plan showing the location of all stormwater BMPs maintenance access areas;
 - Description and delineation of public safety features;
 - Estimated operation and maintenance budget; and
 - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.



ILLICIT DISCHARGE COMPLIANCE STATEMENT

Owner Name: Town of Weymouth

Site Address: Libbey Industrial Parkway

Date: November 1, 2022

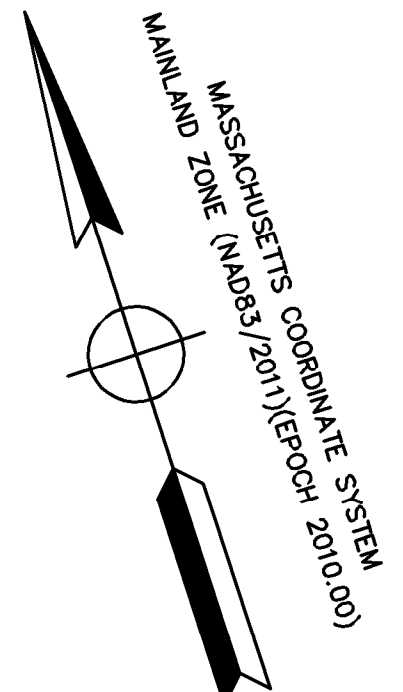
This statement is provided in accordance with the provisions of Massachusetts Stormwater Management Standards (the Standards), Standard 10, and the Massachusetts Stormwater Handbook.

To the best of the Engineer's knowledge, no illicit discharges exist, and no illicit discharges are proposed as part of the Project. Any illicit discharges identified during or after construction will be immediately disconnected in accordance with the Standards.

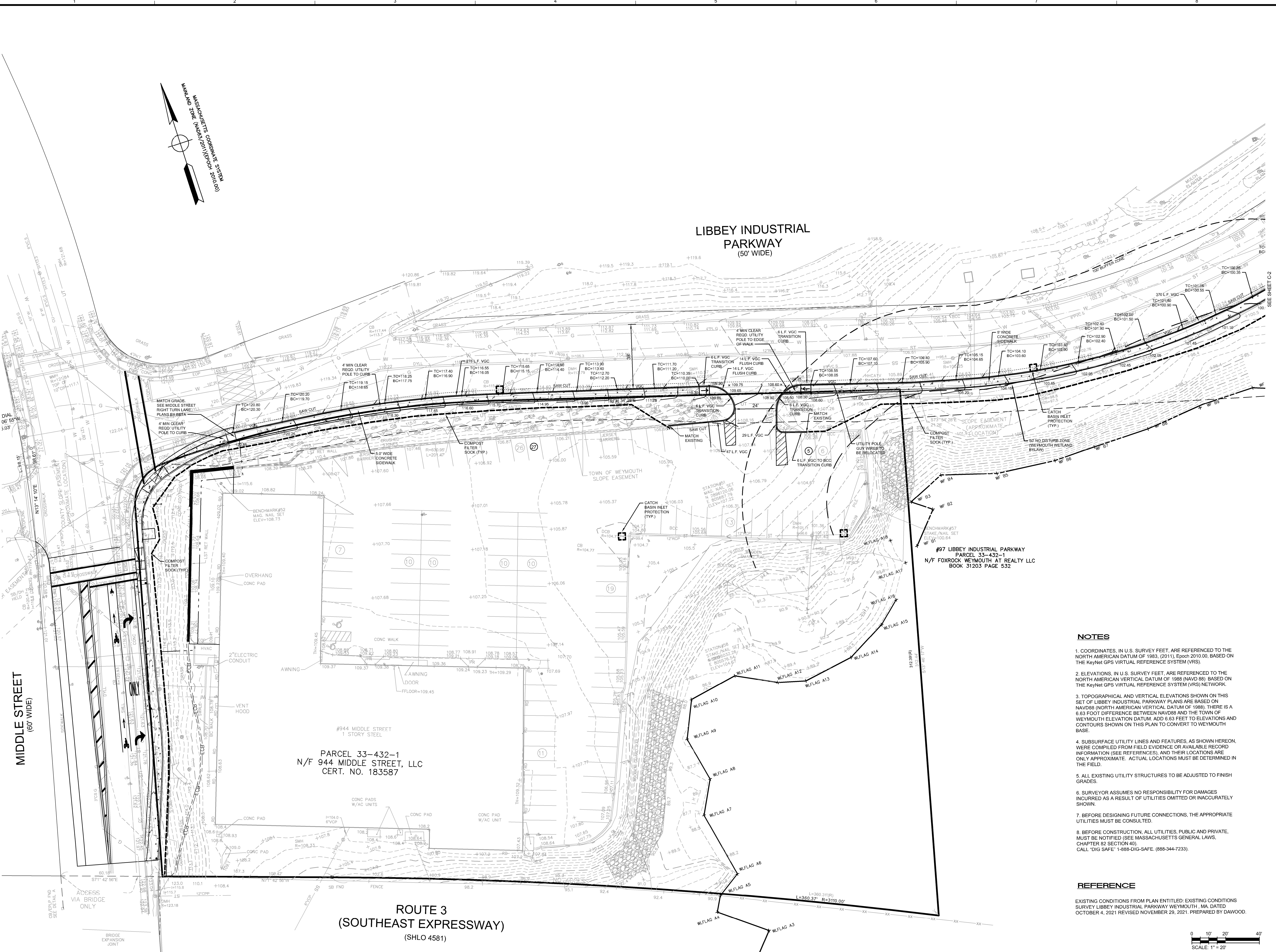
Signed:



Glenn K. Dougherty, P.E.
Senior Project Manager



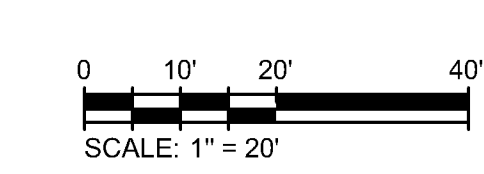
**LIBBEY INDUSTRIAL PARKWAY
(50' WIDE)**



- NOTES**
- COORDINATES, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, (2011), Epoch 2010.00, BASED ON THE KeyNet GPS VIRTUAL REFERENCE SYSTEM (VRS).
 - ELEVATIONS, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BASED ON THE KeyNet GPS VIRTUAL REFERENCE SYSTEM (VRS) NETWORK.
 - TOPOGRAPHICAL AND VERTICAL ELEVATIONS SHOWN ON THIS SET OF LIBBEY INDUSTRIAL PARKWAY PLANS ARE BASED ON NAVD88 (NORTH AMERICAN VERTICAL DATUM OF 1988). THERE IS A 6.63 FOOT DIFFERENCE BETWEEN NAVD88 AND THE TOWN OF WEYMOUTH ELEVATION DATUM. ADD 6.63 FEET TO ELEVATIONS AND CONTOURS SHOWN ON THIS PLAN TO CONVERT TO WEYMOUTH BASE.
 - SUBSURFACE UTILITY LINES AND FEATURES, AS SHOWN HEREON, WERE COMPILED FROM FIELD EVIDENCE OR AVAILABLE RECORD INFORMATION (SEE REFERENCES), AND THEIR LOCATIONS ARE ONLY APPROXIMATE. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD.
 - ALL EXISTING UTILITY STRUCTURES TO BE ADJUSTED TO FINISH GRADES.
 - SURVEYOR ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
 - BEFORE DESIGNING FUTURE CONNECTIONS, THE APPROPRIATE UTILITIES MUST BE CONSULTED.
 - BEFORE CONSTRUCTION, ALL UTILITIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED (SEE MASSACHUSETTS GENERAL LAWS, CHAPTER 82 SECTION 40), CALL "DIG SAFE" 1-888-DIG-SAFE. (888-344-7233).

REFERENCE

EXISTING CONDITIONS FROM PLAN ENTITLED: EXISTING CONDITIONS SURVEY LIBBEY INDUSTRIAL PARKWAY WEYMOUTH, MA, DATED OCTOBER 4, 2021 REVISED NOVEMBER 29, 2021. PREPARED BY DAWOOD.



MARK	DATE	DESCRIPTION
1	5-17-22	PRICING SET
2	10-31-22	NOTICE OF INTENT FILING

Client: FOXROCK PROPERTIES
File Loc.: LIBBEY INDUSTRIAL PARKWAY, WEYMOUTH MA
Libbey Industrial Parkway
Sidewalk Construction Plans

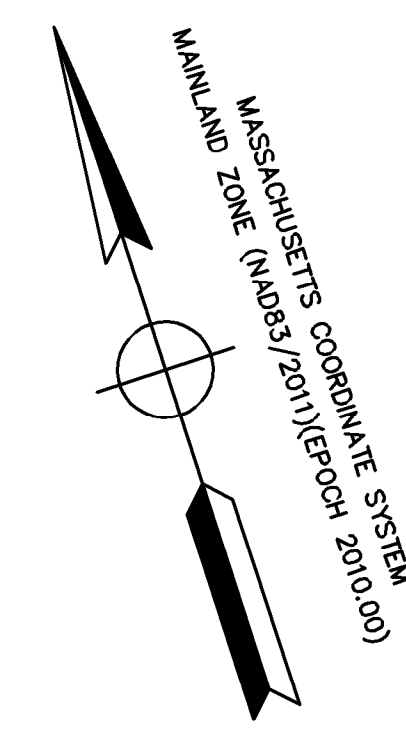
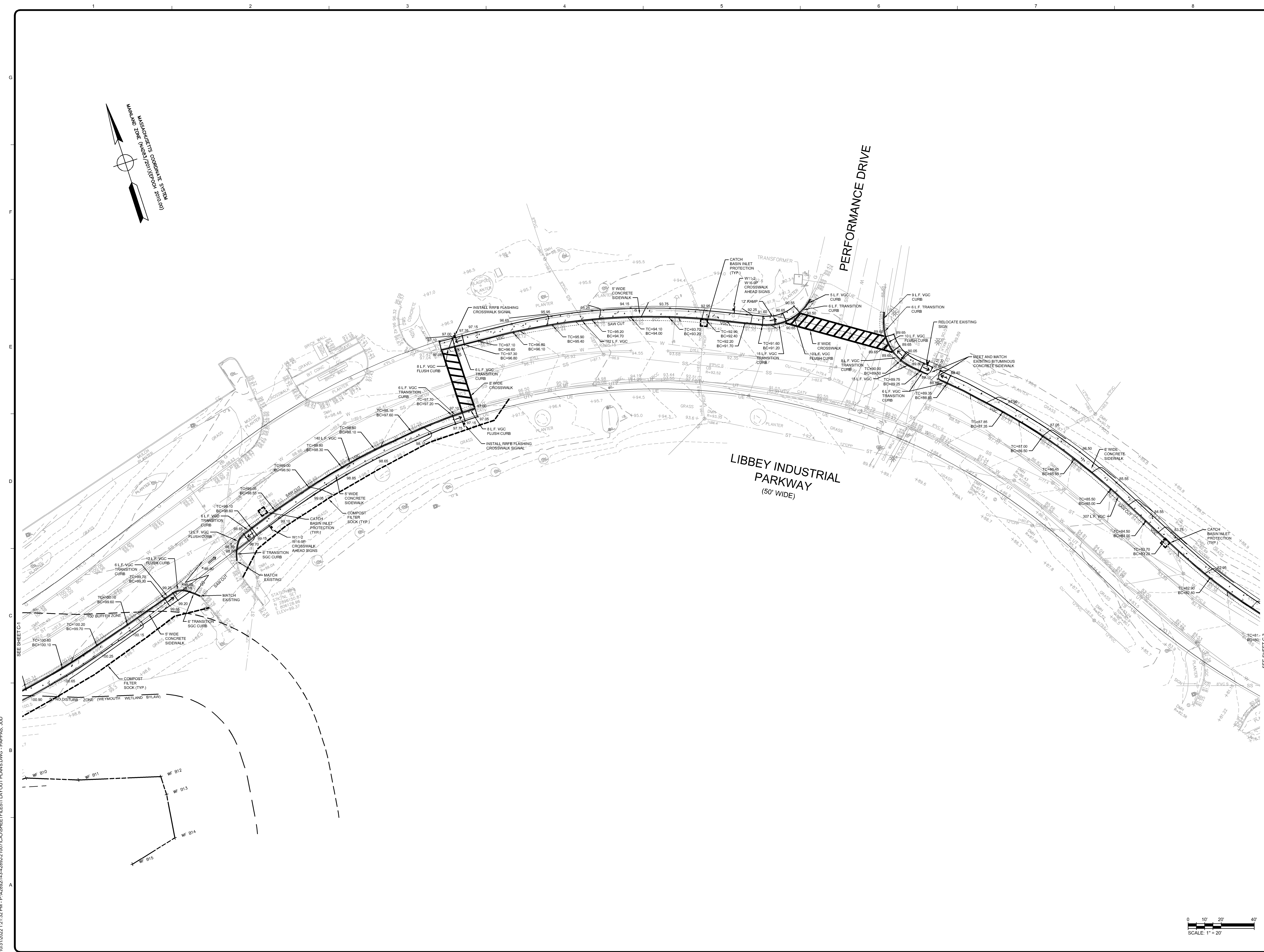
Project No.: 143-42892-21007
Designed By: G.K.D.
Drawn By: J.L.P.
Checked By: R.D.A.

C-1

Bar Measures 1 inch

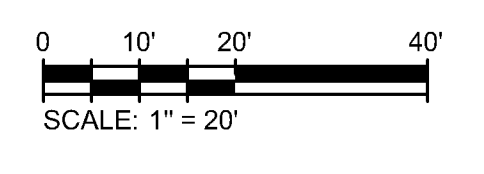
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1 2 3 4 5 6 7 8

G F E D C B A



MARK	DATE	DESCRIPTION
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2	10-31-22	NOTICE OF INTENT FILING

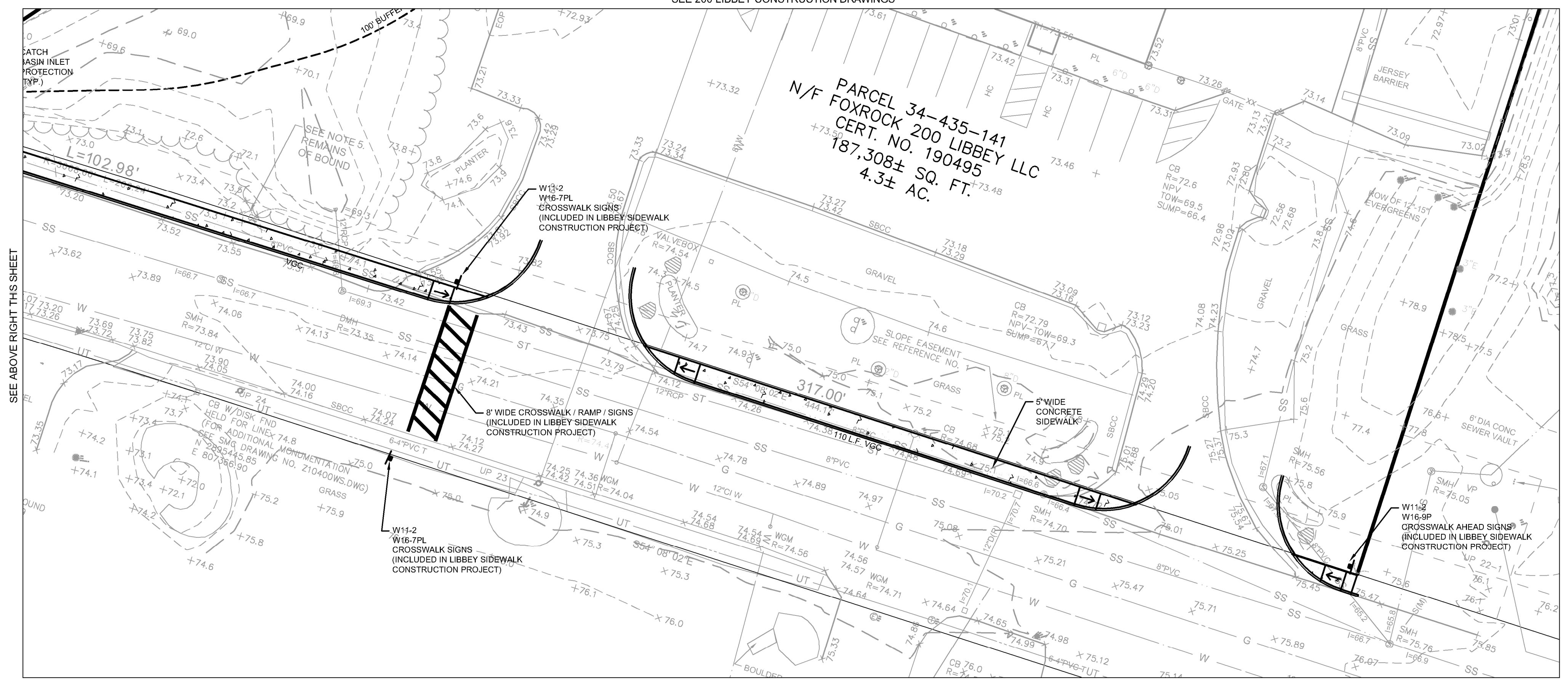
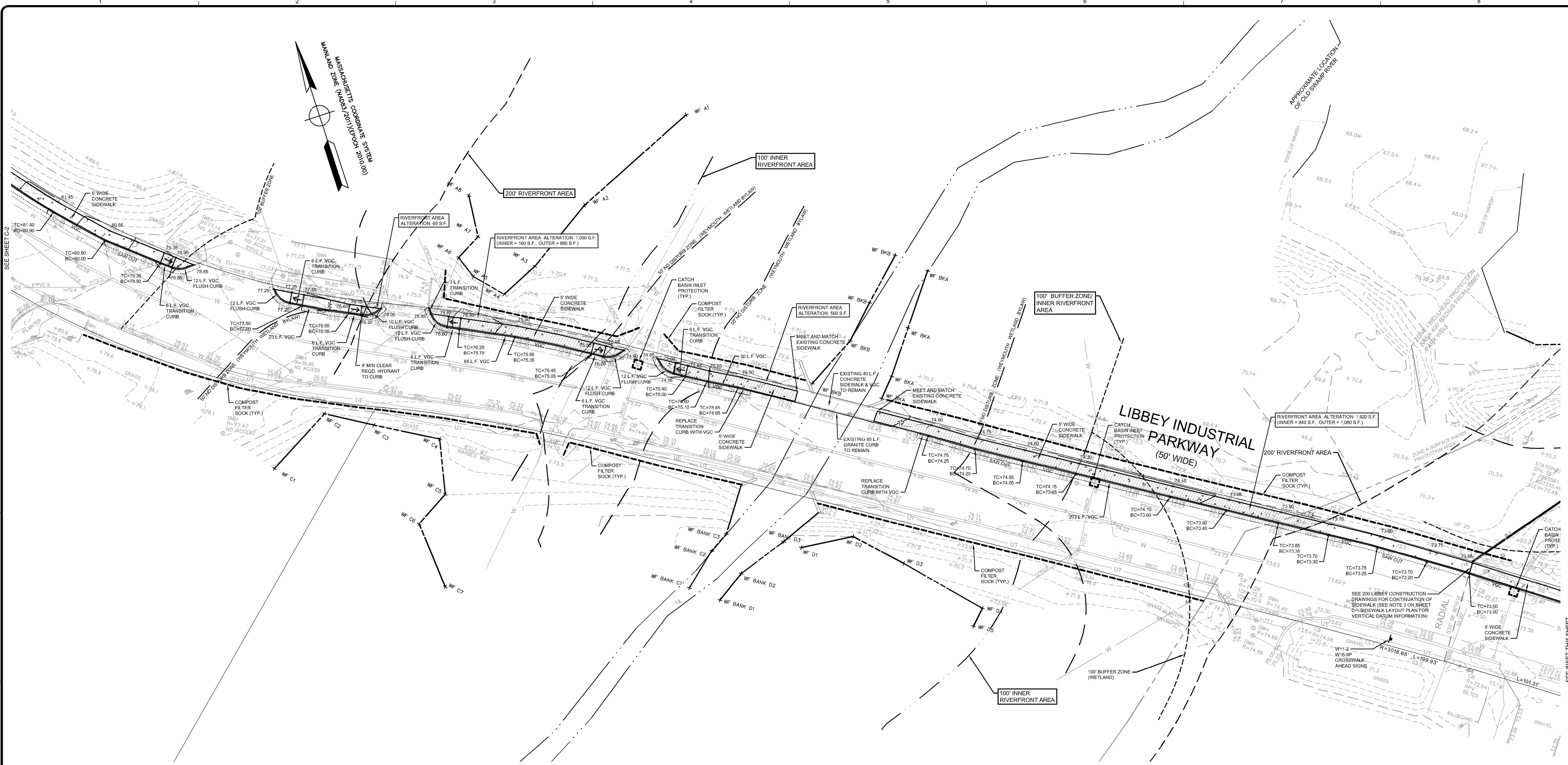
Client: FOURCOCK PROPERTIES
Proj. Loc.: LIBBEY INDUSTRIAL PARKWAY, WENMOUTH, MA
Libbey Industrial Parkway
Sidewalk Construction Plans

Project No.: 143-42892-21007
Designed By: G.K.D.
Drawn By: J.L.P.
Checked By: R.D.A.

Sidewalk Construction Plan

C-2
Copyright: Tetra Tech
Bar Measures 1 inch

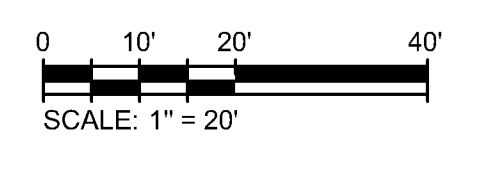
10/31/2022 12:04:55 PM - P:\42892\143-42892-21007\CA\3\SHETS\1\1 LAYOUT PLANS.DWG - PAPPAS, JUD



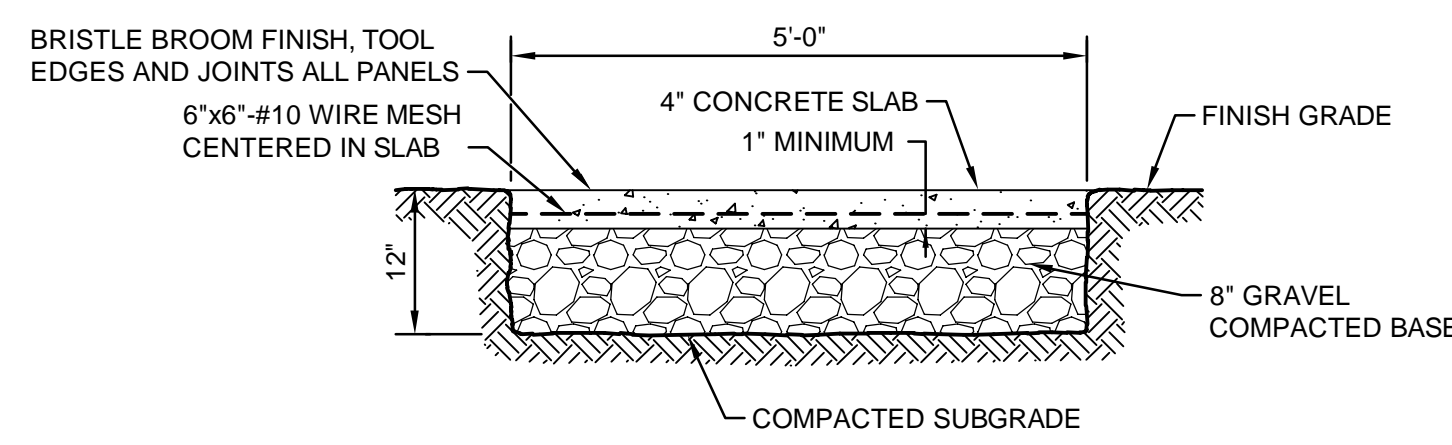
MARK	DATE	DESCRIPTION
1	5-17-22	PRICING SET
2	10-31-22	NOTICE OF INTENT FILING

Client: FOXROCK PROPERTIES
File Loc: LIBBEY INDUSTRIAL PARKWAY, WENDETHUMA
Libbey Industrial Parkway
Sidewalk Construction Plans

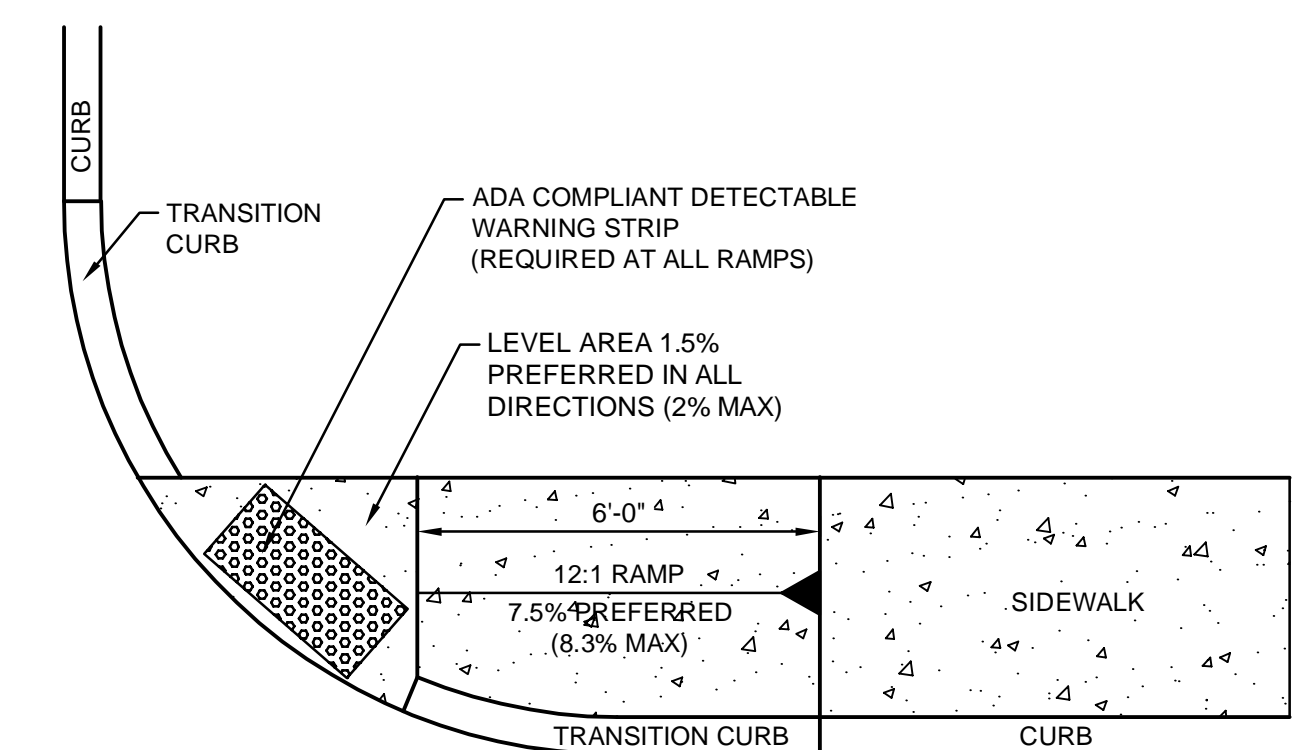
Project No: 143-42892-21007
Designed By: G.K.D.
Drawn By: J.L.P.
Checked By: R.D.A.



NOTE:
IN AREAS THAT SIDEWALK ADJUTS ROAD
OR PARKING LOT CURBING SIDEWALK
CROSS SLOPE TO BE DIRECTED TO
CURB LINE. 1.5% MAXIMUM UNLESS
SHOWN OTHERWISE.

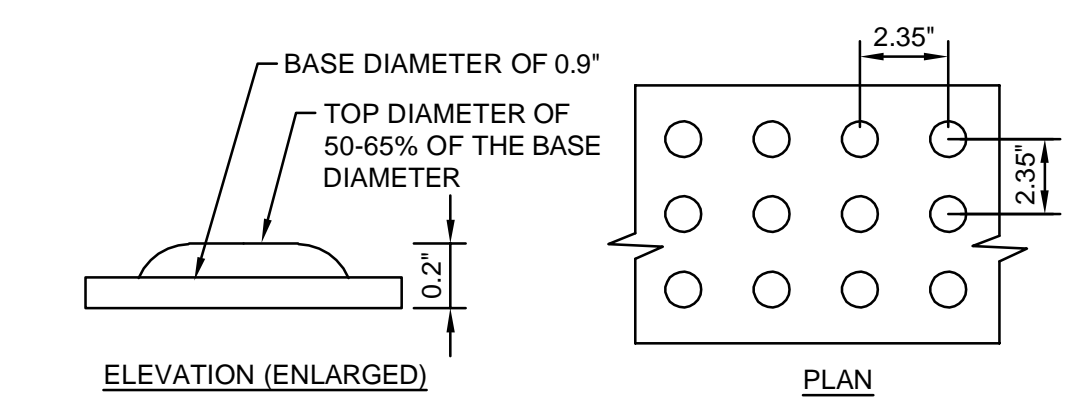


CEMENT CONCRETE WALK
NOT TO SCALE



NOTES:
1.) THE DETECTABLE WARNING SHALL BE A CAST-IN-PLACE
COMPOSITE PANEL PAVER SYSTEM AS MANUFACTURED
BY ADA SOLUTIONS, INC. COLOR SHALL BE BRICK RED.
2.) TRANSITIONS FROM CURB CUTS TO WALKS, GUTTERS,
OR STREETS SHALL BE FLUSH.
3.) IF TRANSITION EXCEEDS .075 FT/FT, THE TRANSITION
MUST BE 0'-6" OVER 15' (MAX.) FOR CURB RUN.

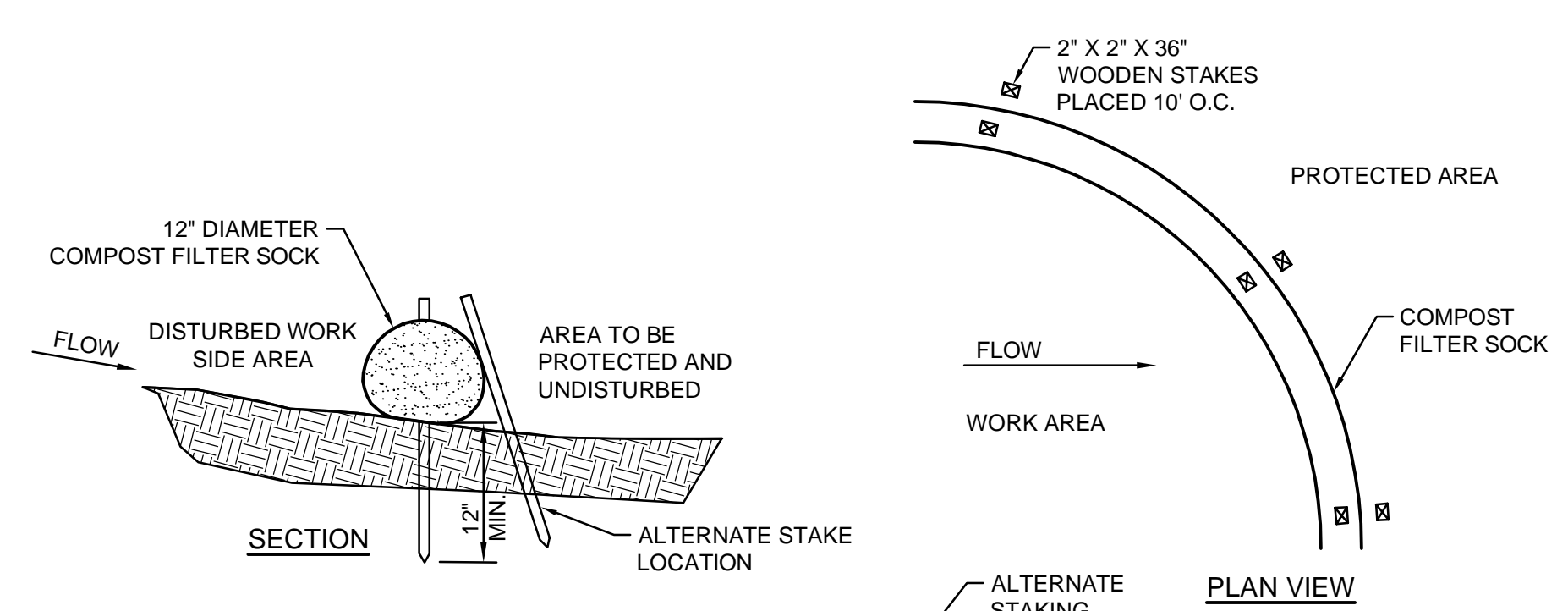
WHEEL CHAIR RAMP AT DRIVE
NOT TO SCALE



DETECTABLE WARNING - TRUNCATED DOMES
NOT TO SCALE

1. THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 2.0% MAX.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL NOT EXCEED 1:12
3. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC..)
4. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
5. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
6. ALL SLOPING SURFACES AT WHEEL CHAIR RAMPS FOR SIDEWALKS SHALL HAVE DETECTABLE WARNING-TRUNCATED DOMES AND COLOR CONCRETE
7. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% CONTRAST IN PERCENT IS DETERMINED BY: $CONTRAST = \frac{(B1 - B2)/B1}{100}$ WHERE B1 = LIGHT REFLECTANCE VALUE (LRV) OF THE LIGHTER AREA AND B2 = LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA. B1 SHALL NEVER EQUAL 100 AND B2 SHALL ALWAYS BE GREATER THAN 0.
8. ALL PROPOSED WHEELCHAIR RAMPS SHALL HAVE A PEDESTRIAN WARNING SURFACE MEETING THE REQUIREMENTS OF THE ADA GUIDELINES. (SEE SPECIFICATIONS). ALL WHEELCHAIR RAMPS SHALL BE CONSTRUCTED WITH COLOR TINTED CONCRETE MEETING THE ADA GUIDELINES FOR CONTRASTING COLOR. FINAL COLOR TO BE DETERMINED BY THE ARCHITECT. ALL CONCRETE SHALL BE 4000 PSI PER ASTM C-260 AND THE PROJECT SPECIFICATIONS.
9. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
10. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE WITHIN 1/2' WITH THE ROADWAY.

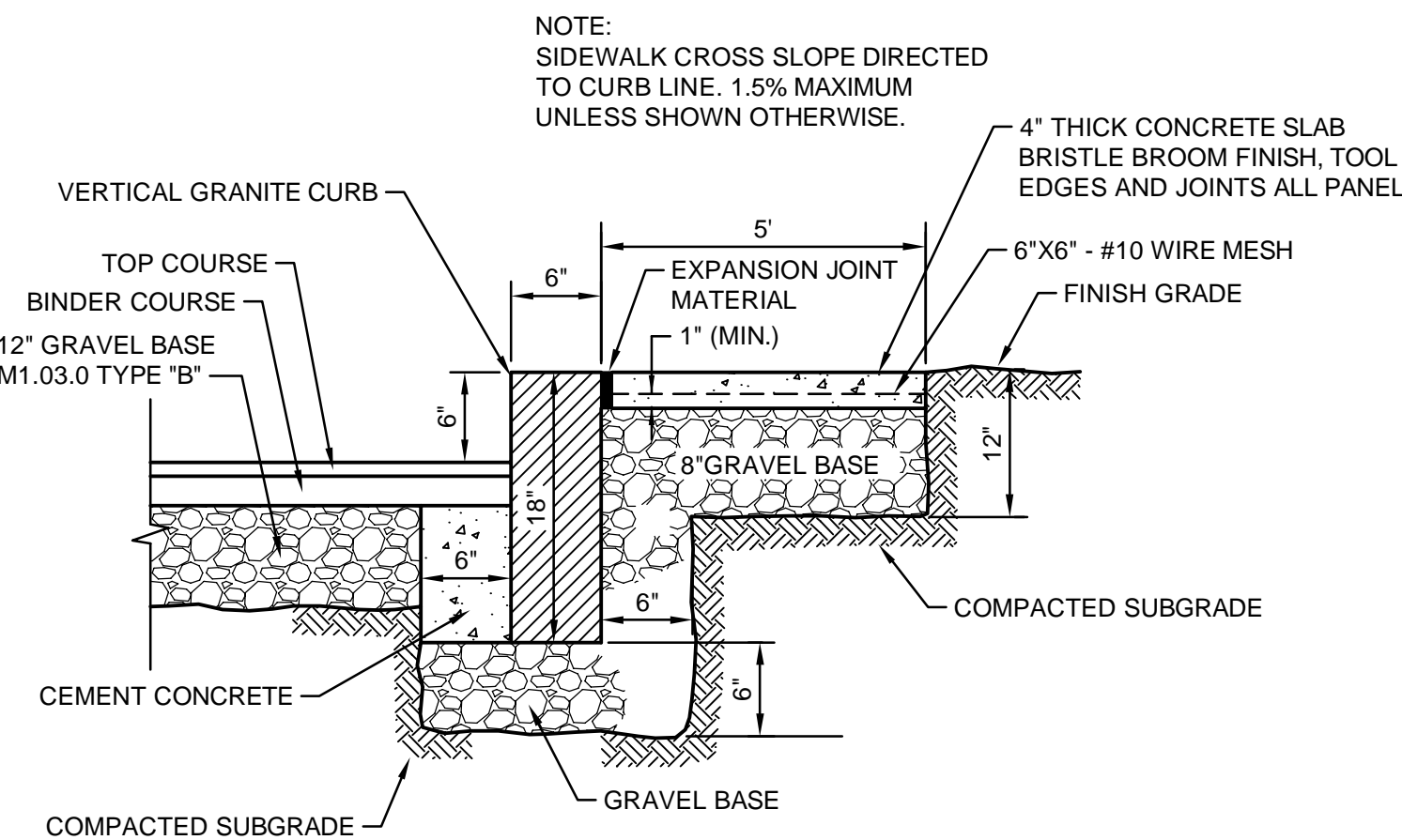
ACCESSIBLE CURB RAMP / ROUTE NOTES



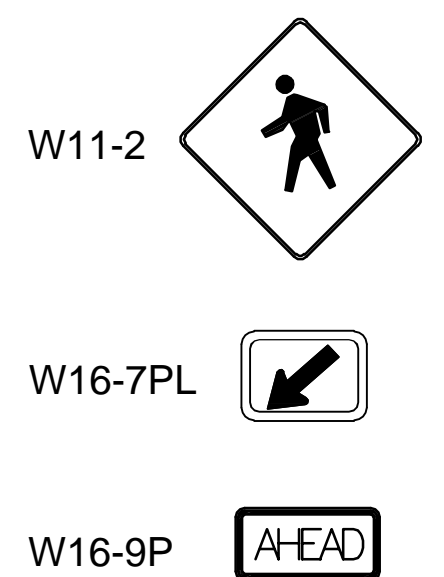
NOTES:

1. PREFABRICATED COMPOST SOCK SHALL BE FILTREX SOXX OR APPROVED EQUAL.
 2. MATERIAL FOR SOCKS SHALL CONSIST OF SANITIZED MATURE COMPOST, FREE OF VIABLE WEED SEEDS AND FOREIGN DEBRIS SUCH AS GLASS AND PLASTIC. COMPOST SHALL BE IN SHREDDED OR GRANULAR FORM AND FREE FROM HARD LUMPS. IN ADDITION, NO KILN-DRIED WOOD OR CONSTRUCTION DEBRIS SHALL BE ALLOWED. CONTRACTOR SHALL REFER TO MASSDOT SPECIFICATIONS M1.06.0 FOR MATERIAL SPECIFICATIONS.
 3. SOCK SHALL CONSIST OF JUTE MESH OR OTHER APPROVED BIODEGRADABLE MATERIAL.
- PRACTICE: COMPOST FILTER SOCK** A COMPOST FILTER SOCK IS A TYPE OF CONTAINED COMPOST FILTER BERM CONSISTING OF A MESH TUBE FILLED WITH COMPOSTED MATERIAL THAT IS PLACED PERPENDICULAR TO SHEET-FLOW RUNOFF TO RETAIN SEDIMENT FROM DISTURBED AREAS. THE COMPOST FILTER SOCK ACTS AS A FILTER TO RETAIN SEDIMENT AND OTHER POLLUTANTS (E.G., SUSPENDED SOLIDS, NUTRIENTS) WHILE ALLOWING THE WATER TO FLOW THROUGH IT. COMPOST QUALITY MUST MEET AASHTO 2010 SPECIFICATIONS.
- INSTALLATION:** ONCE THE FILTER SOCK IS FILLED AND PUT IN PLACE, IT SHOULD BE ANCHORED TO THE SLOPE BY STAKES THROUGH THE CENTER OR OUTER EDGE OF THE SOCK AT REGULAR INTERVALS. ALTERNATIVELY, STAKES CAN BE PLACED ON THE DOWNSTREAM SIDE OF THE SOCK. THE ENDS OF THE FILTER SOCK SHOULD BE DIRECTED UPSLOPE, TO PREVENT STORMWATER FROM RUNNING AROUND THE END OF THE TUBE. THERE SHOULD BE NO GAPS BETWEEN SEGMENTS AND THE SOCK ENDS MUST OVERLAP A MINIMUM OF 6 INCHES.
- MAINTENANCE:** SOCKS MUST BE INSPECTED FOR SEDIMENT ACCUMULATION. IF THERE IS EXCESSIVE PONDING BEHIND THE FILTER SOCK OR ACCUMULATED SEDIMENT REACHES THE TOP OF THE SOCK, AN ADDITIONAL SOCK SHOULD BE ADDED ON TOP OR IN FRONT OF THE EXISTING FILTER SOCK IN THESE AREAS. AN ADEQUATE RESERVE OF SOCKS MUST BE KEPT ON SITE AT ALL TIMES FOR EMERGENCY AND/OR ROUTINE REPLACEMENT. SOCKS SHALL BE REMOVED ONLY AFTER EXPOSED SOILS IN THE CONTRIBUTING DRAINAGE AREA ACHIEVE FINAL STABILIZATION. SEDIMENT ACCUMULATION MUST BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SOCK.

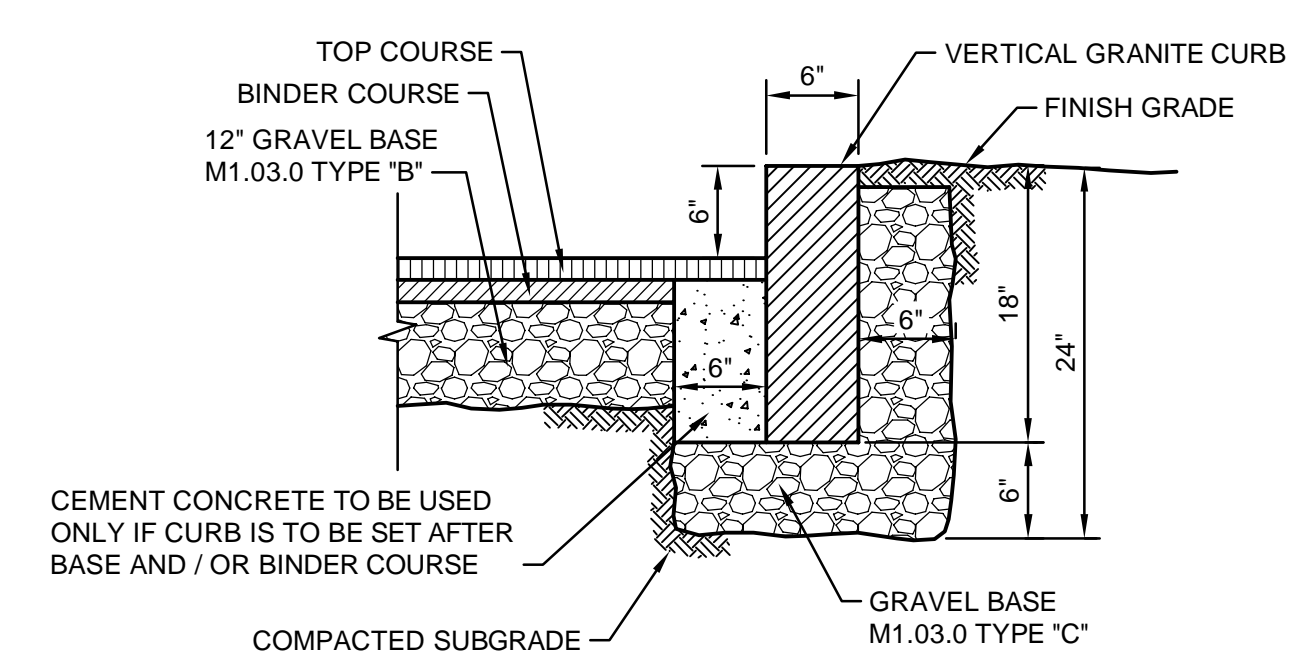
COMPOST FILTER SOCK
N.T.S.



CONCRETE CURB & SIDEWALK
NOT TO SCALE

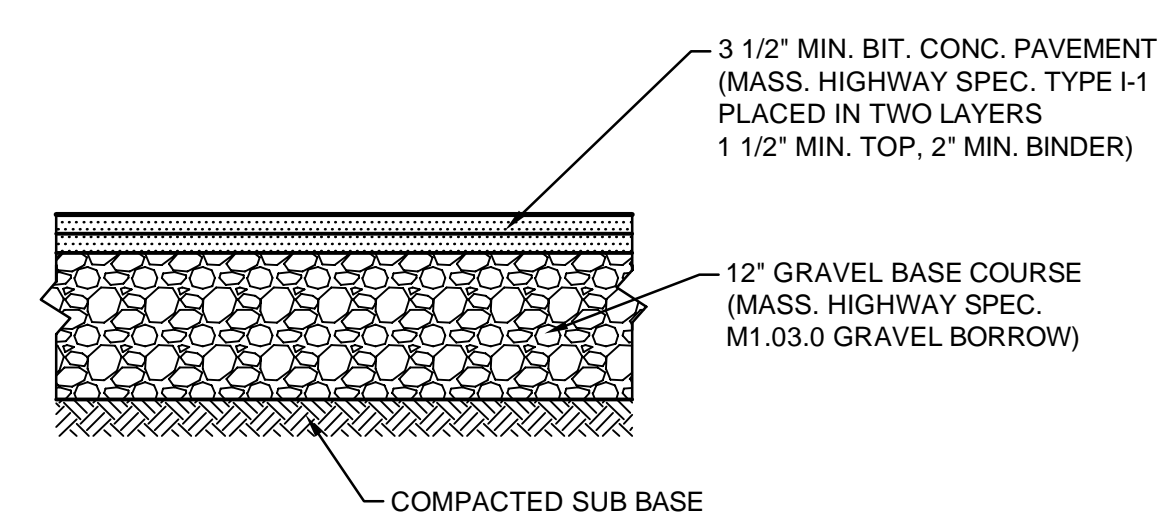


SIGNAGE TABLE
NOT TO SCALE

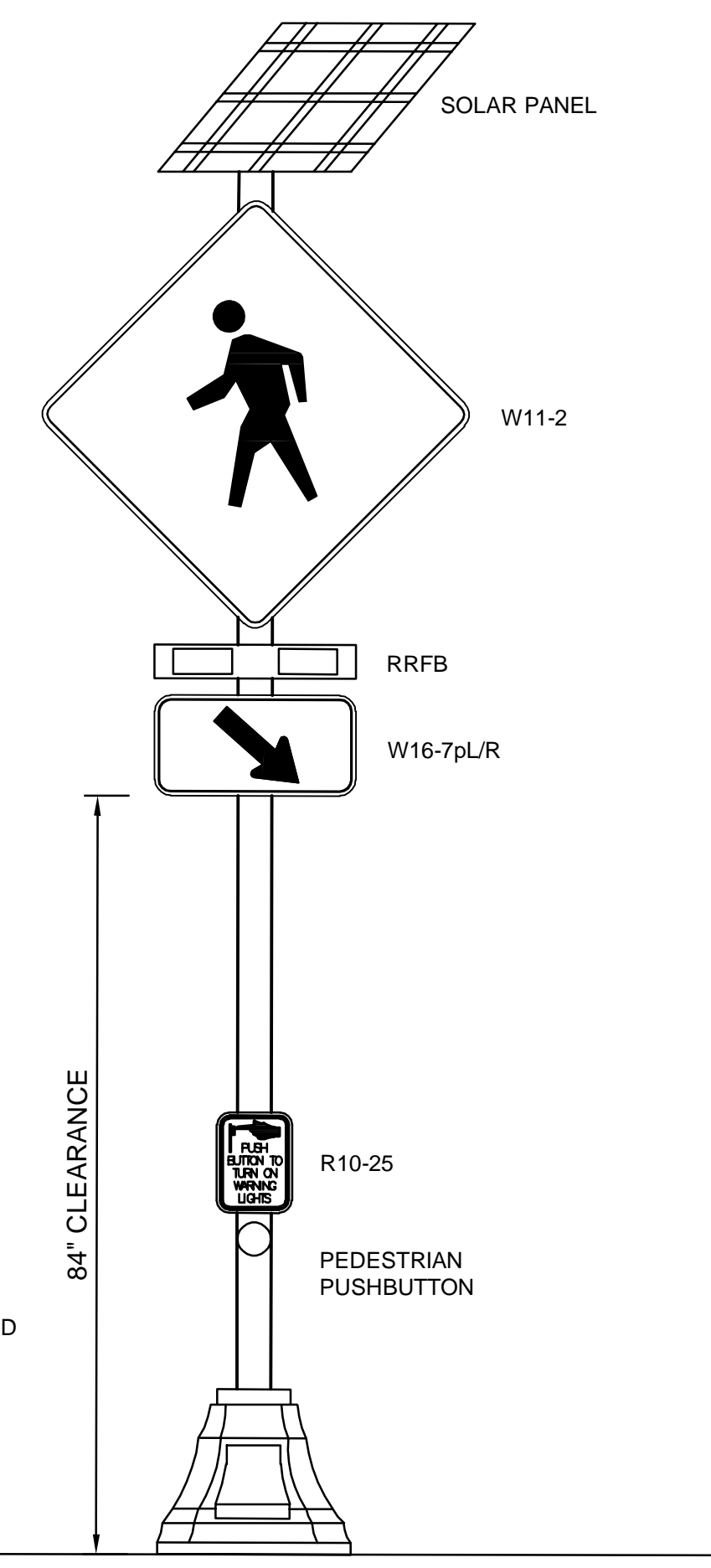


VERTICAL GRANITE CURB
NOT TO SCALE

NOTE:
CEMENT CONCRETE BACKING TO BE PROVIDED AT ALL JOINTS AND AT CURB MID SECTION FOR SPANS GREATER THAN 3 FEET. CONCRETE BACKING TO BE PLACED FROM BASE TO WITHIN 9 INCHES OF GRADE AND SPAN 1 FOOT AT JOINTS AND 1.5 FEET AT MID SECTION.

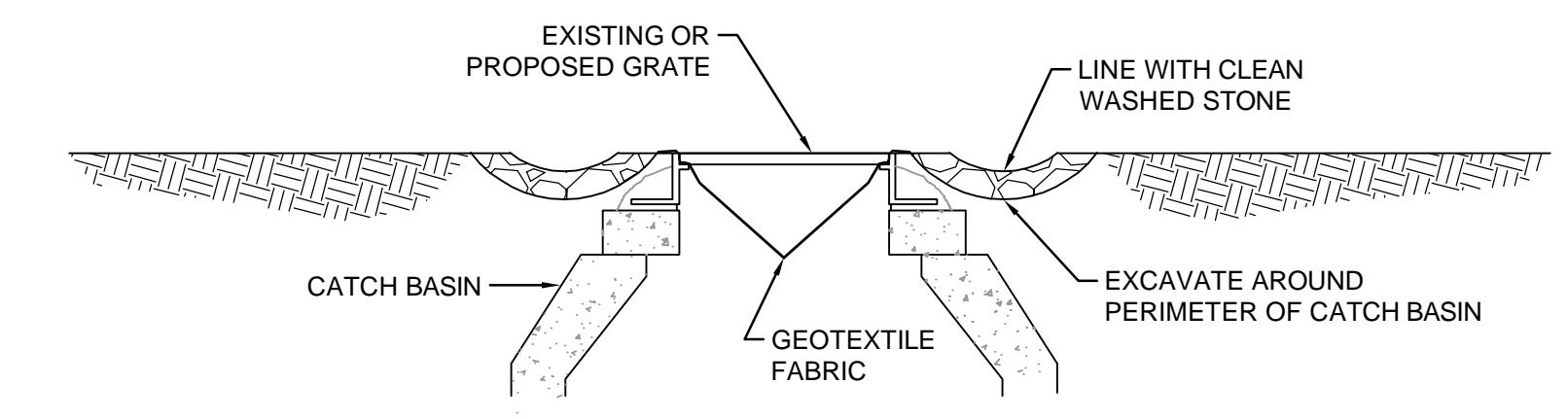


PAVEMENT SECTION
NOT TO SCALE

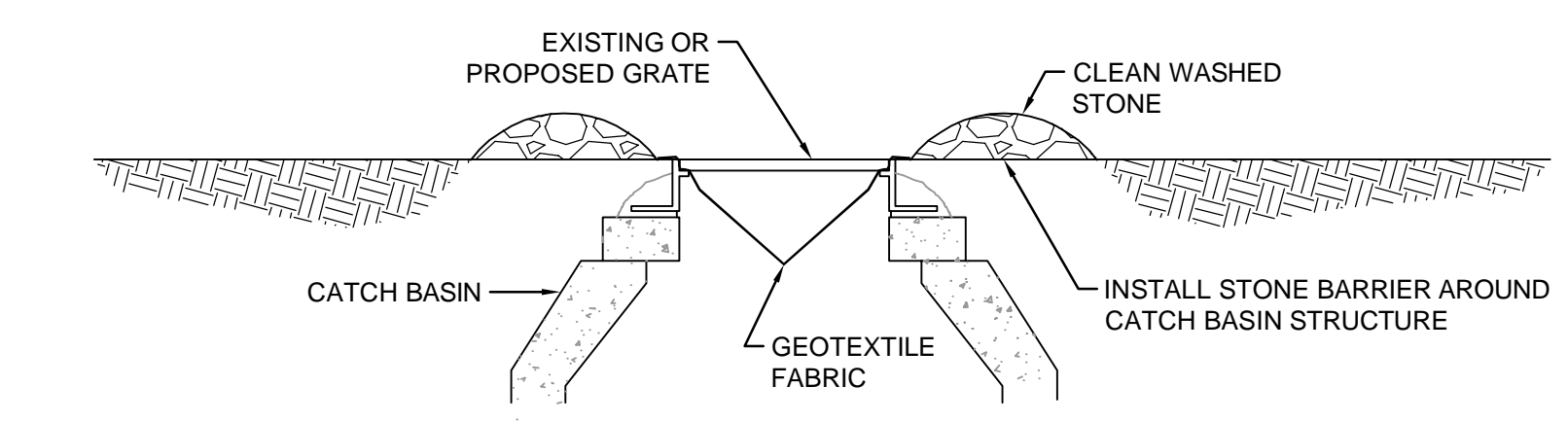


RECTANGULAR RAPID FLASHING BEACON (RRFB)
NOT TO SCALE

NOTE:
PROP 14' TRAFFIC SIGNAL POST AND BASE WITH W11-2/W16-7pLR SIGN PANELS, RECTANGULAR RAPID FLASHING BEACON (RRFB), R10-25 SIGN PANEL AND PEDESTRIAN PUSHBUTTON

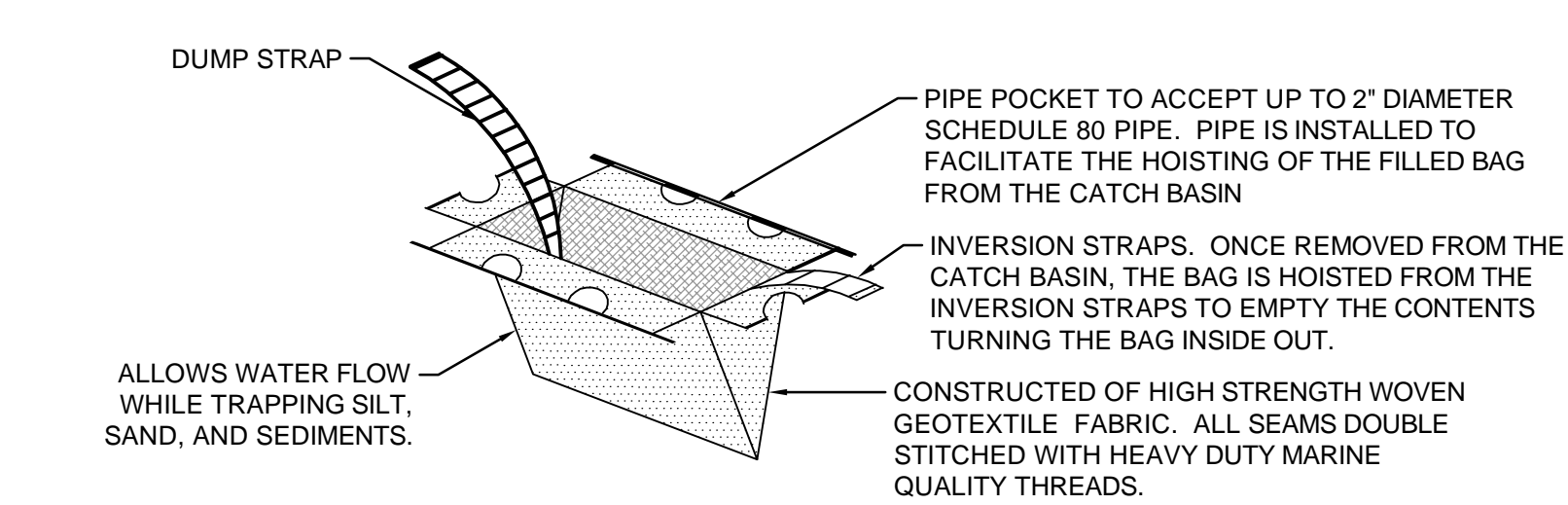


EXCAVATION



GRAVEL/STONE BARRIER

COMBINATION INLET PROTECTION FOR USE WHERE CONTRIBUTING AREAS ARE UN-STABILIZED



GEOTEXTILE CATCH BASIN INLET PROTECTION
N.T.S.

FOR USE WHERE CONTRIBUTING AREAS ARE PAVED

MARK	DATE	DESCRIPTION
1	5-17-22	PRICING SET
2	10-31-22	NOTICE OF INTENT FILING