

# DEFINITIVE SUBDIVISION PLAN

FOR  
**WEATHERVANE MASSAPOAG, LLC.**  
 MASSAPOAG STREET, WEYMOUTH, MA

0 MASSAPOAG (SOUTH), ASSESSOR'S REF: 44-505-1  
 0 MASSAPOAG (NORTH), ASSESSOR'S REF: 44-505-2  
 68 MASSAPOAG, ASSESSORS REF: 44-504-8

APPROVAL UNDER THE  
 SUBDIVISION CONTROL LAW  
 WEYMOUTH PLANNING BOARD

DATE: \_\_\_\_\_

\_\_\_\_\_

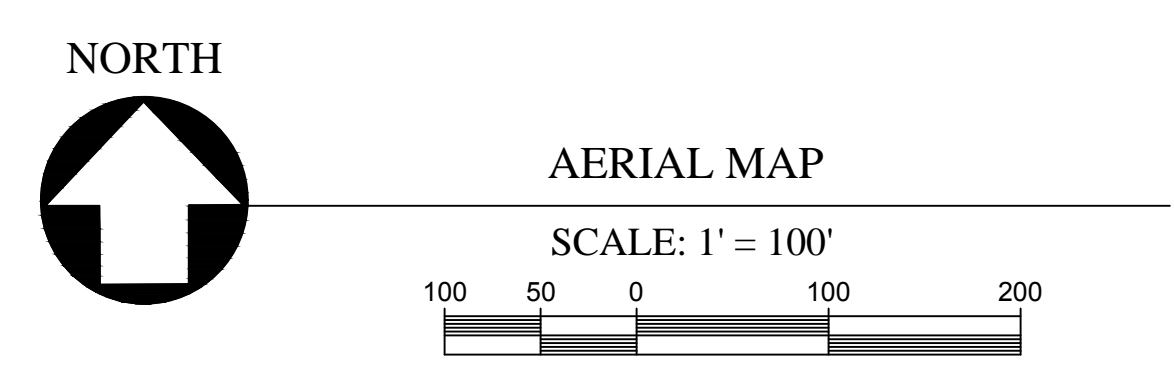
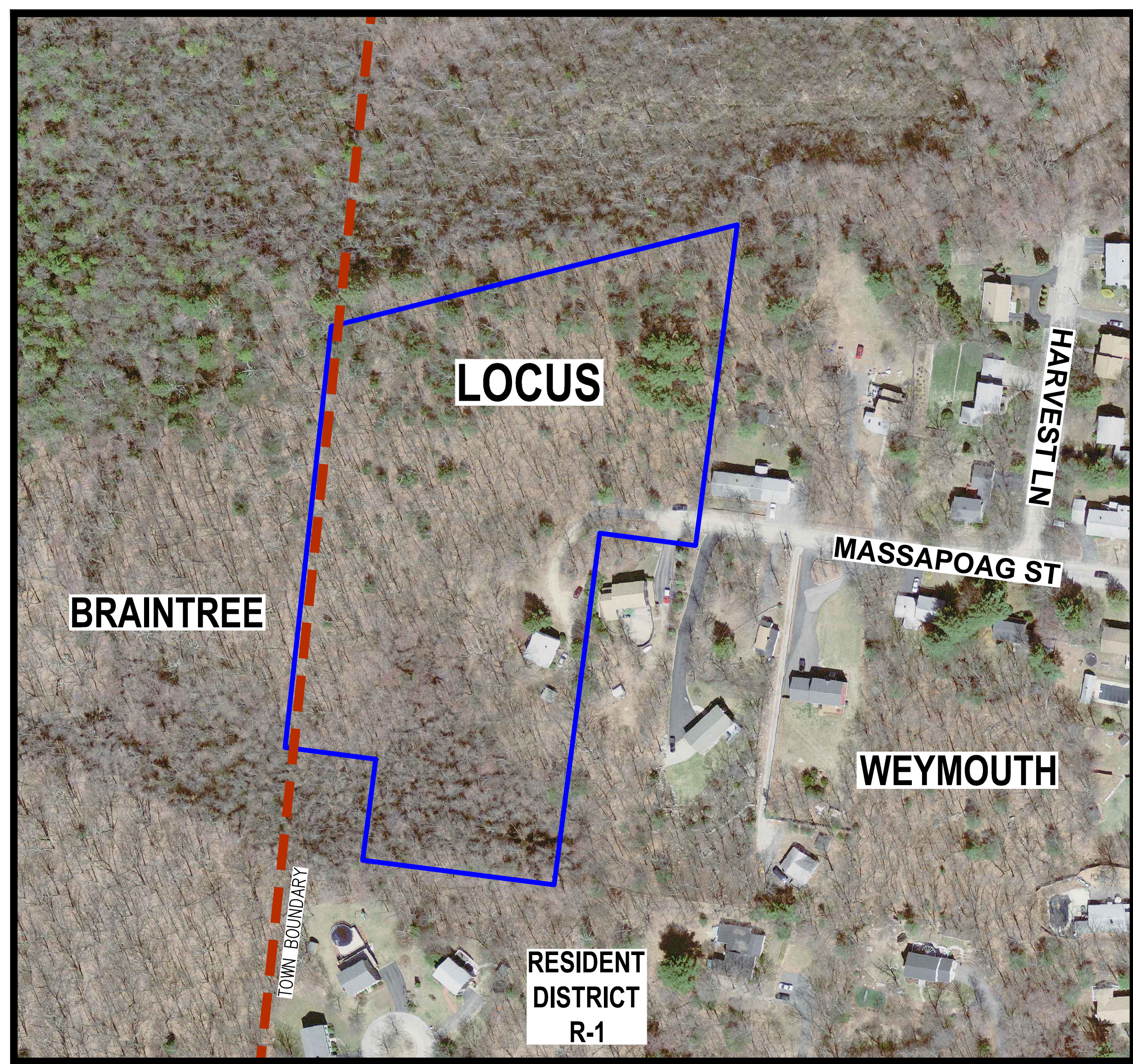
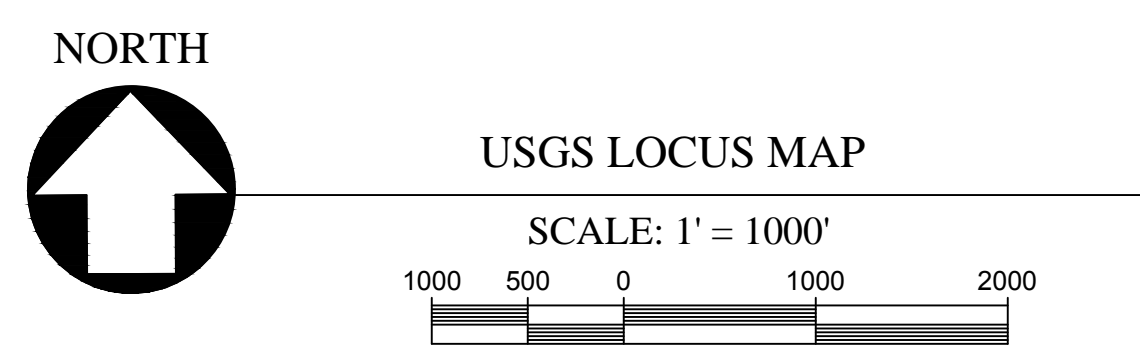
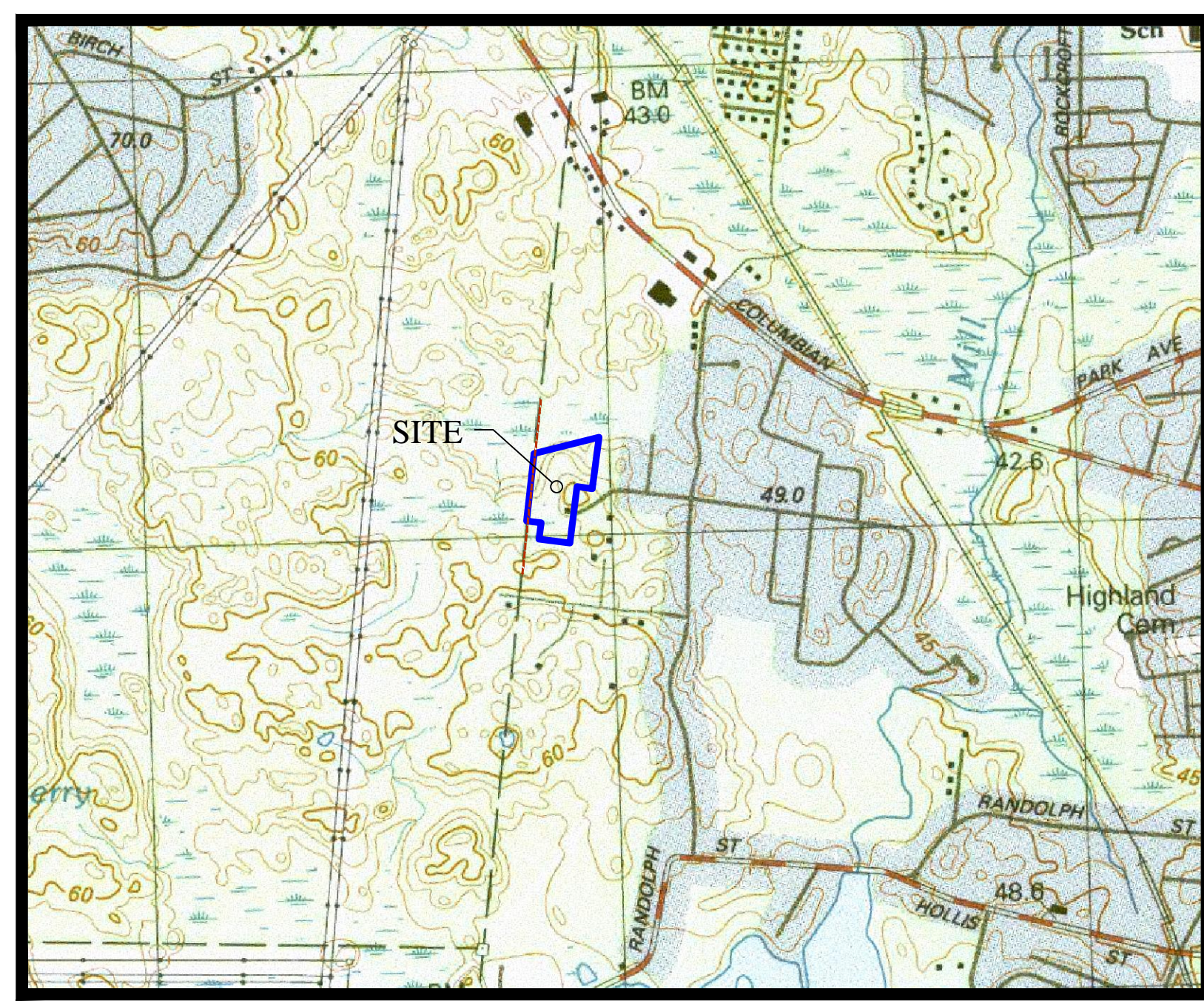
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PLANNING BOARD ENDORSEMENT  
 DOES NOT IMPLY CONFORMANCE  
 WITH TOWN OF WEYMOUTH  
 ZONING BY-LAW.

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DRAWING INDEX:

- C-1 COVER SHEET
- C-2 LOTTING PLAN
- C-3 SITE PLAN
- C-4 GRADING AND DRAINAGE PLAN
- C-5 UTILITIES PLAN
- C-6 SOIL EROSION AND SEDIMENT CONTROL PLAN
- C-7 ROADWAY PLAN AND PROFILE
- C-8.1 DETAIL SHEET (1 OF 2)
- C-8.2 DETAIL SHEET (2 OF 2)
- TP-1 TEST PIT PLAN

SUPPLEMENTAL PLANS:

PLAN OF LAND 0 MASSAPOAG STREET (SHEET 1 & 2)  
 (PREPARED BY HOYT LAND SURVEYING)

OWNER/APPLICANT:

WEATHERVANE MASSAPOAG, LLC.  
 190 OLD DERBY STREET, SUITE 311  
 HINGHAM, MA 02043

SURVEYOR

(FOR THE EXISTING CONDITION PLAN)

HOYT LAND SURVEYING  
 1287 WASHINGTON STREET  
 WEYMOUTH, MA 02189  
 781-682-9142

ENGINEER/ SURVEYOR:

CROCKER DESIGN GROUP, LLC.  
 2 SHARP STREET, UNIT B  
 HINGHAM, MA 02043  
 781-820-0416

Date	Description	No.
11.19.21	REV. PER CON. COMM. AND TOWN ENG. COMMENTS	3.
4.23.20	REVISED PER TOWN STAFF COMMENTS	2.
2.05.19	REVISED WETLAND FLAGS AND LOT	1.

Revisions

GABRIEL R. CROCKER  
 CIVIL  
 No. 47917  
 REGISTERED  
 PROFESSIONAL ENGINEER

**CROCKER DESIGN GROUP, LLC.**

2 SHARP STREET, UNIT B  
 HINGHAM, MA 02043  
 P: 781-820-0416

MASSACHUSETTS

Project

**DEFINITIVE SUBDIVISION PLAN**

MASSAPOAG STREET  
 WEYMOUTH, MA

Prepared for

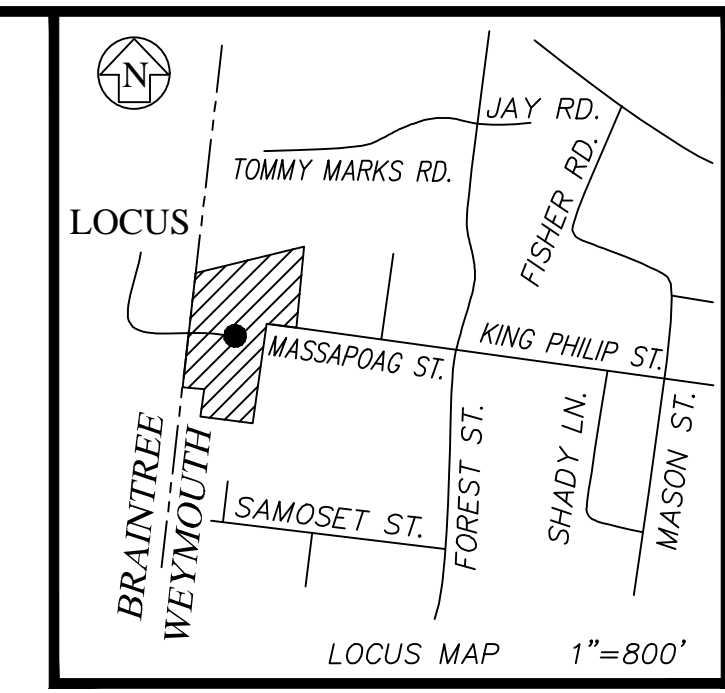
**WEATHERVANE MASSAPOAG, LLC.**

190 OLD DERBY STREET, SUITE 311  
 HINGHAM, MA 02043

Drawing Title

**COVER SHEET**

Project No.	100-029	Drawing No.	<b>C-1</b>
Date	12.20.2018		
Scale	AS NOTED		
Drawn By	SZA		
Approved By	GC		

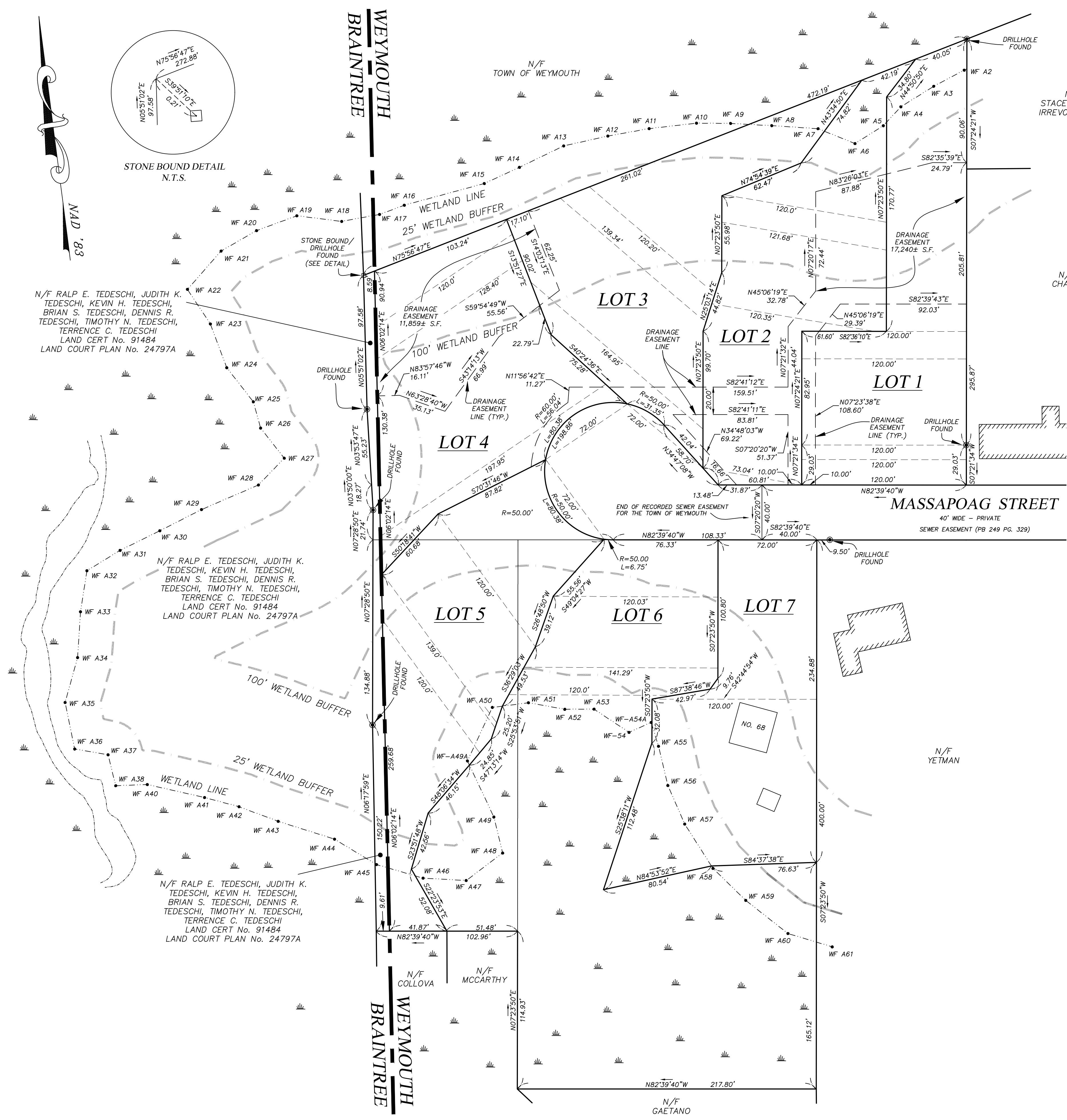
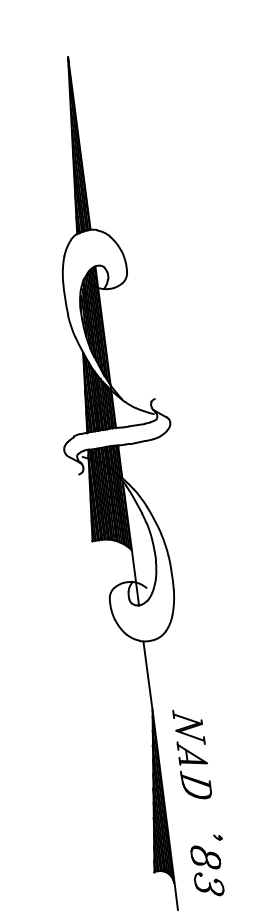
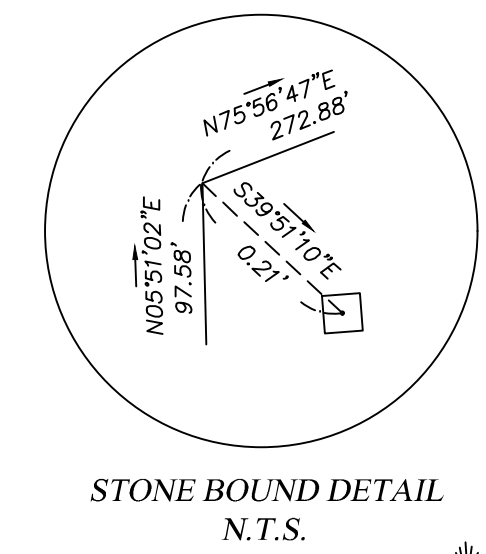


APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW  
WEYMOUTH PLANNING BOARD

DATE: \_\_\_\_\_

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ZONING BY-LAW.

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**ZONING TABLE :**

REQUIREMENT	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4	PROPOSED LOT 5	PROPOSED LOT 6	PROPOSED LOT 7
MINIMUM LOT AREA (SF)	25,000 SF	25,001 SF	25,001 SF	25,001 SF	25,001 SF	25,052 SF	68,032 SF	25,001 SF
MINIMUM UPLAND AREA	65% OF MIN REQ. LOT AREA	23,624 SF	23,414 SF	23,952 SF	25,001 SF	23,439 SF	21,253 SF	21,250 SF
MAX LOT SHAPE FACTOR*	SQUARE LOT PERIM / LOT AREA = MAX. 30	29.87	27.99	29.21	20.66	29.90	29.75	23.23
MINIMUM LOT WIDTH (FT)	120 FT	120.00'	GREATER THAN 120.00'	GREATER THAN 120.00'	GREATER THAN 120.00'	GREATER THAN 120.00'	GREATER THAN 120.00'	120.00'
MINIMUM LOT FRONT LINE (FT)**	40 FT	120.00'	77.47'	73.39'	80.38'	80.38'	83.08'	72.00'
MIN. LOT MEASUREMENT ACROSS FRONT YARD***	60% OF LOT WIDTH=72 FT*	120.00'	73.04'	72.00'	72.00'	83.06'	72.00'	72.00'

\* 120-53.2. NO LOT SHALL BE CREATED SO AS TO BE SO IRREGULARLY SHAPED OR EXTENDED THAT IT HAS A "SHAPE FACTOR" IN EXCESS OF 30. "SHAPE FACTOR" EQUALS THE SQUARE OF THE LOT PERIMETER DIVIDED BY THE LOT AREA.

\*\* 120-56. FRONT LOT LINE, FRONTAGE AND FRONTAGE WIDTH. (A) EACH LOT SHALL HAVE A FRONT LOT LINE, AS SAID TERM IS DEFINED IN § 120-6, OF NOT LESS THAN 40 FEET, UNLESS STATED OTHERWISE IN TABLE 1, SCHEDULE OF DISTRICT REGULATIONS, AT THE END OF THIS CHAPTER. [AMENDED MAY 1990 STM BY ART. 1, APPROVED 8-29-1990]

(C) EACH LOT SHALL HAVE FRONTAGE AND FRONTAGE WIDTH, AS SAID TERMS ARE DEFINED IN § 120-6, OF NO LESS THAN 40 FEET, UNLESS STATED OTHERWISE IN TABLE 1, SCHEDULE OF DISTRICT REGULATIONS, INCLUDED AS AN ATTACHMENT TO THIS CHAPTER.

\*\*\* 120-59.1. MEASUREMENTS ACROSS LOTS. [ADDED FEBRUARY 1985 STM BY ART. 7, APPROVED 6-3-1985; AMENDED MAY 1997 ATM BY ART. 42, APPROVED 8-11-1997]

IF ANY LOT IN EXISTENCE AS OF FEBRUARY 23, 1985, IS TO BE SUBDIVIDED INTO THREE OR MORE LOTS OR IF ANY LOT SUBSEQUENTLY CREATED IS TO BE SUBDIVIDED, THEN EACH SUBDIVIDED LOT SHALL HAVE A MINIMUM LOT MEASUREMENT ACROSS THE FRONT YARD FROM SIDE LOT LINE TO SIDE LOT LINE AT ANY POINT FROM THE LOT LINE TO THE MINIMUM LOT WIDTH LINE AT THE FRONT LINE OF THE BUILDING SHALL NOT BE LESS THAN 60% OF THE MINIMUM REQUIRED LOT WIDTH, AND NO PORTION OF A PRINCIPAL BUILDING SHALL BE ERRECTED ON ANY PORTION OF A LOT WHICH IS LESS THAN THE REQUIRED LOT WIDTH AS SET FORTH IN THESE BYLAWS. SAID MINIMUM REQUIRED LOT WIDTH SHALL EXTEND AN ADDITIONAL 20 FEET BEYOND THE REAR PORTION OF THE PRINCIPAL BUILDING.

LOT WIDTH DEFINITION:  
THE HORIZONTAL DISTANCE PARALLEL TO THE FRONT LOT LINE OR, IN THE CASE OF A CURVED OR IRREGULAR LOT LINE, A LINE PARALLEL TO A STRAIGHT LINE DRAWN BETWEEN THE FRONT LOT CORNERS, MEASURED BETWEEN THE SIDE LOT LINES AT THE BUILDING LINE.

**LOCUS INFORMATION**  
CURRENT OWNER:  
ASSESSOR'S REF: 44-504-8; 44-505-1; 44-505-2

WEATHERVANE MASSAPOAG, LLC  
190 OLD DERBY STREET, SUITE 311  
WEYMOUTH, MA

LEGAL REF:  
BOOK 36561 PAGE 424  
BOOK 36686 PAGE 426

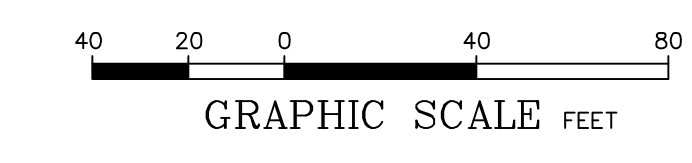
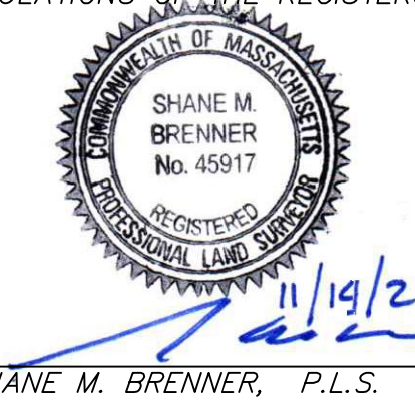
**ZONE:**  
R-1  
WATERSHED PROTECTION DISTRICT

**FEMA REFERENCE:**  
ZONE X  
FIRM 25021C0236E  
DATED 7-17-12

**HORIZONTAL DATUM:**  
NAD '83

I CERTIFY:

- THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY.
- THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



Date	Description	No.
2-05-19	REVISED WETLAND FLAGS AND LOT	1
10-08-21	ADDRESS PEER REVIEW COMMENTS	2

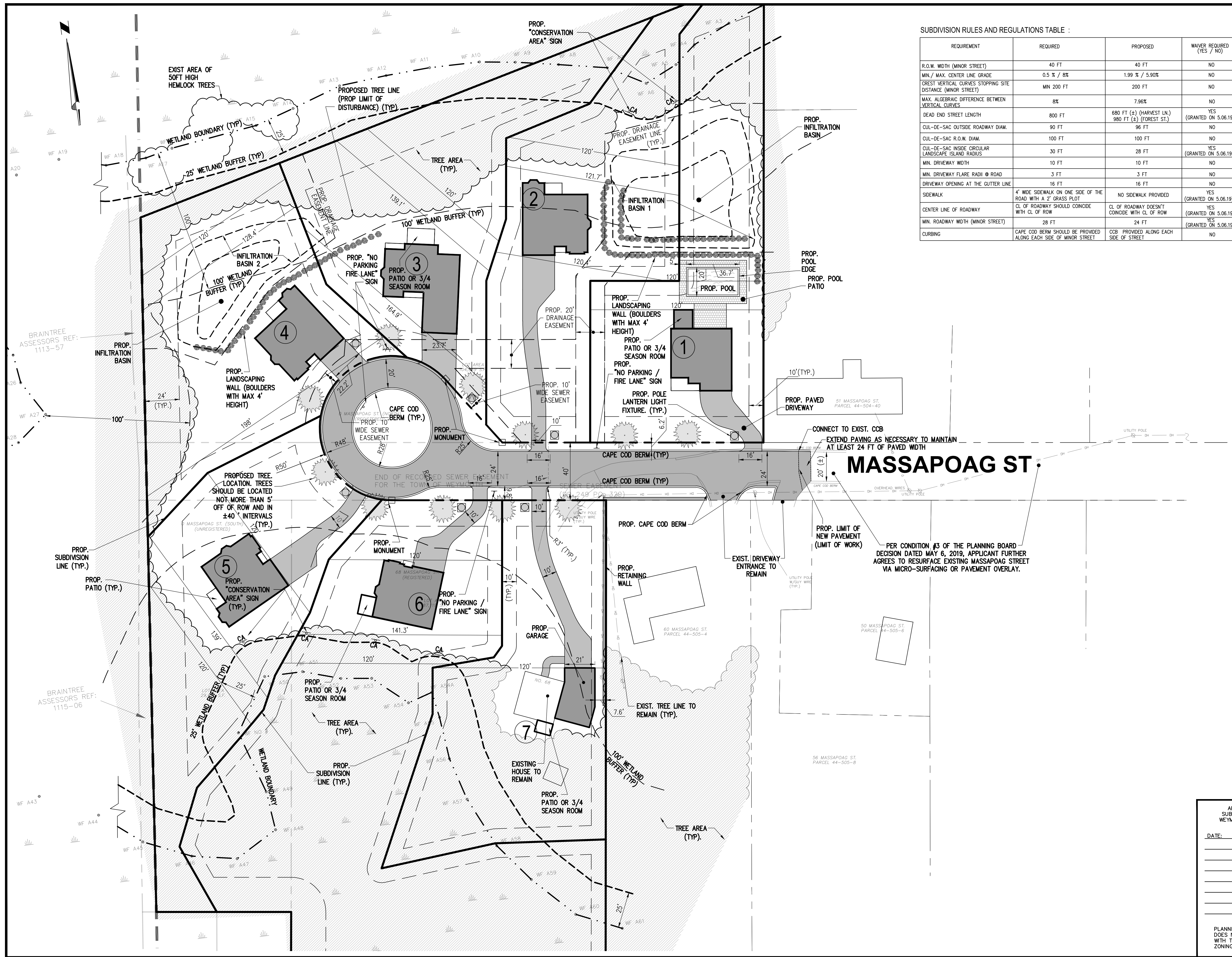
**CROCKER DESIGN GROUP, LLC**  
2 SHARP STREET, UNIT B  
HINGHAM, MA 02043  
P: 781-820-0416  
MASSACHUSETTS

**DEFINITIVE SUBDIVISION PLAN**  
MASSAPOAG STREET  
WEYMOUTH, MA

Prepared for  
**BRISTOL BROS. DEVELOPMENT CORP.**  
190 OLD DERBY STREET, SUITE 311  
HINGHAM, MA 02043

Drawing Title  
**LOTING PLAN**

Project No.	100-028	Drawing No.	<b>C-2</b>
Date	12.20.2018		
Scale	1"=40'		
Drawn By	AS		
Approved By	SMB		



SUBDIVISION RULES AND REGULATIONS TABLE :

REQUIREMENT	REQUIRED	PROPOSED	WAIVER REQUIRED (YES / NO)
R.O.W. WIDTH (MINOR STREET)	40 FT	40 FT	NO
MIN./ MAX. CENTER LINE GRADE	0.5 % / 8%	1.99 % / 5.90%	NO
CREST VERTICAL CURVES STOPPING SITE DISTANCE (MINOR STREET)	MIN 200 FT	200 FT	NO
MAX. ALGEBRAIC DIFFERENCE BETWEEN VERTICAL CURVES	8%	7.96%	NO
DEAD END STREET LENGTH	800 FT	680 FT (±) (HARVEST LN.) 980 FT (±) (FOREST ST.)	YES (GRANTED ON 5.06.19)
CUL-DE-SAC OUTSIDE ROADWAY DIAM.	90 FT	96 FT	NO
CUL-DE-SAC R.O.W. DIAM.	100 FT	100 FT	NO
CUL-DE-SAC INSIDE CIRCULAR LANDSCAPE ISLAND RADIUS	30 FT	28 FT	YES (GRANTED ON 5.06.19)
MIN. DRIVEWAY WIDTH	10 FT	10 FT	NO
MIN. DRIVEWAY FLARE RADIUS @ ROAD	3 FT	3 FT	NO
DRIVEWAY OPENING AT THE OUTER LINE	16 FT	16 FT	NO
SIDEWALK	4' WIDE SIDEWALK ON ONE SIDE OF THE ROAD WITH A 2' GRASS PLOT	NO SIDEWALK PROVIDED	YES (GRANTED ON 5.06.19)
CENTER LINE OF ROADWAY	CL OF ROADWAY SHOULD COINCIDE WITH CL OF ROW	CL OF ROADWAY DOESN'T COINCIDE WITH CL OF ROW	YES (GRANTED ON 5.06.19)
MIN. ROADWAY WIDTH (MINOR STREET)	28 FT	24 FT	YES (GRANTED ON 5.06.19)
CURBING	CAPE COD BERM SHOULD BE PROVIDED ALONG EACH SIDE OF MINOR STREET	CCB PROVIDED ALONG EACH SIDE OF STREET	NO

FOR REGISTRY USE ONLY



# MASSAPOAG ST.

PER CONDITION #3 OF THE PLANNING BOARD DECISION DATED MAY 6, 2019, APPLICANT FURTHER AGREES TO RESURFACE EXISTING MASSAPOAG STREET VIA MICRO-SURFACING OR PAVEMENT OVERLAY.

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4.23.20	REVISED PER TOWN STAFF COMMENTS	2.
2.05.19	REVISED WETLAND FLAGS AND LOT	1.

**GABRIEL R. CROCKER**  
 CIVIL ENGINEER  
 PROFESSIONAL ENGINEER, MA REGISTRATION #47917

**CROCKER DESIGN GROUP, LLC.**

2 SHARP STREET, UNIT B  
 HINGHAM, MA 02043  
 P: 781-820-0416

MASSACHUSETTS

Project

**DEFINITIVE SUBDIVISION PLAN**

MASSAPOAG STREET  
 WEYMOUTH, MA

Prepared for

**WEATHERVANE MASSAPOAG, LLC.**

190 OLD DERBY STREET, SUITE 311  
 HINGHAM, MA 02043

Drawing Title

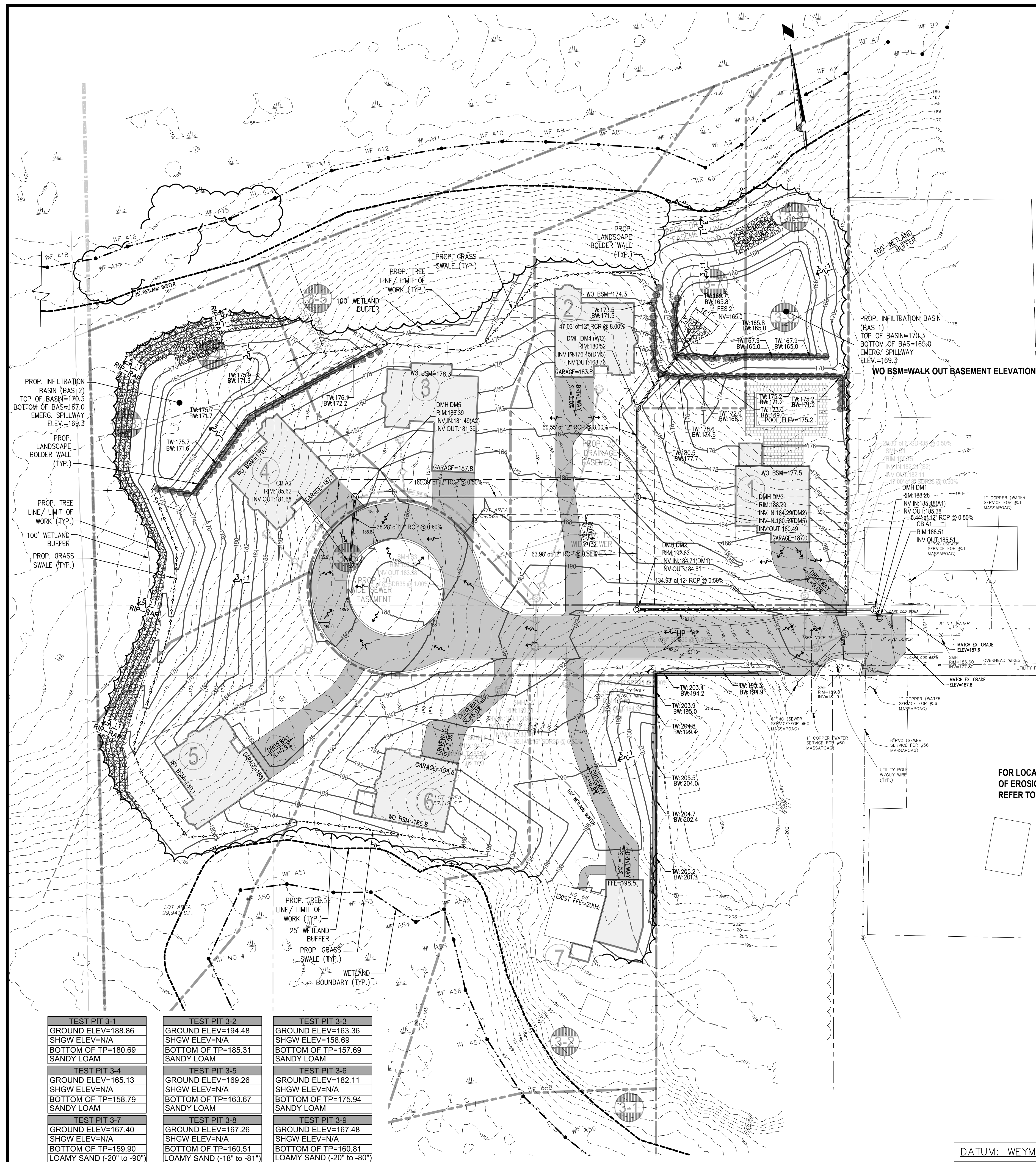
**SITE PLAN**

Project No.	100-029	Drawing No.	<b>C-3</b>	
Date	12.20.2018	Scale		1"=30'
Scale	1"=30'	Drawn By		SZA
Drawn By	SZA	Approved By		GC

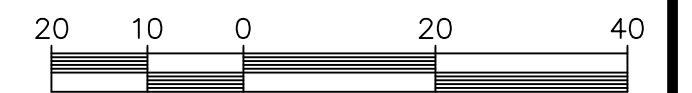
APPROVAL UNDER THE SUBDIVISION CONTROL LAW WEYMOUTH PLANNING BOARD

DATE: \_\_\_\_\_

PLANNING BOARD ENDORSEMENT DOES NOT IMPLY CONFORMANCE WITH TOWN OF WEYMOUTH ZONING BY-LAW.



- GRADING NOTES:**
1. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR HIS REPRESENTATIVE.
  2. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
  3. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.
  4. ALL SITEWORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT.
  5. DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK. THIS WORK IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. TEST PITS SHALL BE BACKFILLED, AS SOON AS THE DESIRED INFORMATION HAS BEEN OBTAINED.
  6. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.
  7. UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.
  8. FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.
  9. THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREA, OR SOFTENING OR LOOSENING OF THE SOIL AT EXCAVATION OR EARTHWORK SUB-GRADES.
  10. THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED. THE CONTRACTOR SHALL BEAR THE FULL COST OF PROVIDING ALL NECESSARY DEWATERING.
  11. THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND UTILITIES.
  12. ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BAGS.
  13. PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.
  14. PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.
  15. ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TOLERANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  16. PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.
  17. PAVEMENT EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.
  18. STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR BOLDERS ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.
  19. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
  20. ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.



FOR LOCATIONS / LIMITS OF EROSION CONTROLS, REFER TO SHEET C-6

**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
--- (dashed)	--- (solid)	MINOR CONTOUR
--- (dashed)	--- (solid)	MAJOR CONTOUR
--- (dashed)	--- (solid)	SPOT ELEVATION
--- (dashed)	--- (solid)	TOP/BOTTOM OF CURB ELEVATION
---	---	PROPERTY LINE (ROW)
---	---	POST AND RAIL FENCE
---	---	CHAIN LINK FENCE
---	---	GUARDRAIL/GUIDERAIL
---	---	TREE LINE
---	---	RIPRAP
---	---	SEWER LINE/MANHOLE
---	---	DRAIN LINE/MANHOLE
---	---	CATCH BASIN
---	---	DOUBLE CATCH BASIN
---	---	GAS LINE/GATE
---	---	WATER LINE/GATE
---	---	HYDRANT
---	---	UNDERGROUND ELECTRIC
---	---	AREA LIGHT
---	---	ELECTRICAL TRANSFORMER

- DRAINAGE NOTES:**
1. MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.
  2. THE CONTRACTOR SHALL FILL ANY PRE-CAST TANKS (NOT INCLUDING MANHOLES OR CATCH BASINS) WITH WATER FOR LEAKAGE OBSERVATIONS BY THE ENGINEER OVER A PERIOD OF 24-HOURS. ANY LEAKS SHALL BE REPAIRED BY THE CONTRACTOR.
  3. FOR SPECIFIC INFORMATION OF FRAMES AND COVER FOR DRAINAGE STRUCTURES SEE DETAIL SHEETS.
  4. DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.
  5. FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.
  6. ALL ON-SITE DRAIN LINES SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
  7. FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.
  8. INSTALL PIPE AND FLARED ENDS IN STRICT ACCORDANCE WITH PIPE MANUFACTURER INSTRUCTIONS.
  9. PROTECT PROPOSED INFILTRATION BASINS FROM SEDIMENTATION THROUGHOUT CONSTRUCTION OPERATIONS. INFILTRATION BASINS ARE NOT TO BE USED UNTIL DRAINAGE SYSTEM IS INSTALLED AND FUNCTIONAL.

<b>TEST PIT 3-1</b> GROUND ELEV=188.86 SHGW ELEV=N/A BOTTOM OF TP=180.69 SANDY LOAM	<b>TEST PIT 3-2</b> GROUND ELEV=194.48 SHGW ELEV=N/A BOTTOM OF TP=185.31 SANDY LOAM	<b>TEST PIT 3-3</b> GROUND ELEV=163.36 SHGW ELEV=158.69 BOTTOM OF TP=157.69 SANDY LOAM
<b>TEST PIT 3-4</b> GROUND ELEV=165.13 SHGW ELEV=N/A BOTTOM OF TP=158.79 SANDY LOAM	<b>TEST PIT 3-5</b> GROUND ELEV=169.26 SHGW ELEV=N/A BOTTOM OF TP=163.67 SANDY LOAM	<b>TEST PIT 3-6</b> GROUND ELEV=182.11 SHGW ELEV=N/A BOTTOM OF TP=175.94 SANDY LOAM
<b>TEST PIT 3-7</b> GROUND ELEV=167.40 SHGW ELEV=N/A BOTTOM OF TP=159.90 LOAMY SAND (-20" to -80")	<b>TEST PIT 3-8</b> GROUND ELEV=167.26 SHGW ELEV=N/A BOTTOM OF TP=160.51 LOAMY SAND (-18" to -81")	<b>TEST PIT 3-9</b> GROUND ELEV=167.48 SHGW ELEV=N/A BOTTOM OF TP=160.81 LOAMY SAND (-20" to -80")

DATUM: WEYMOUTH BASE

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2.05.19	REVISED WETLAND FLAGS AND LOT	1.

Professional Engineer Seal for Gabriel R. Crocker, No. 47917, State of Massachusetts.

**CROCKER DESIGN GROUP, LLC.**  
2 SHARP STREET, UNIT B  
HINGHAM, MA 02043  
P: 781-820-0416

MASSACHUSETTS

Project  
**DEFINITIVE SUBDIVISION PLAN**  
MASSAPOAG STREET  
WEYMOUTH, MA

Prepared for  
**WEATHERVANE MASSAPOAG, LLC.**  
190 OLD DERBY STREET, SUITE 311  
HINGHAM, MA 02043

Drawing Title

**GRADING AND DRAINAGE PLAN**

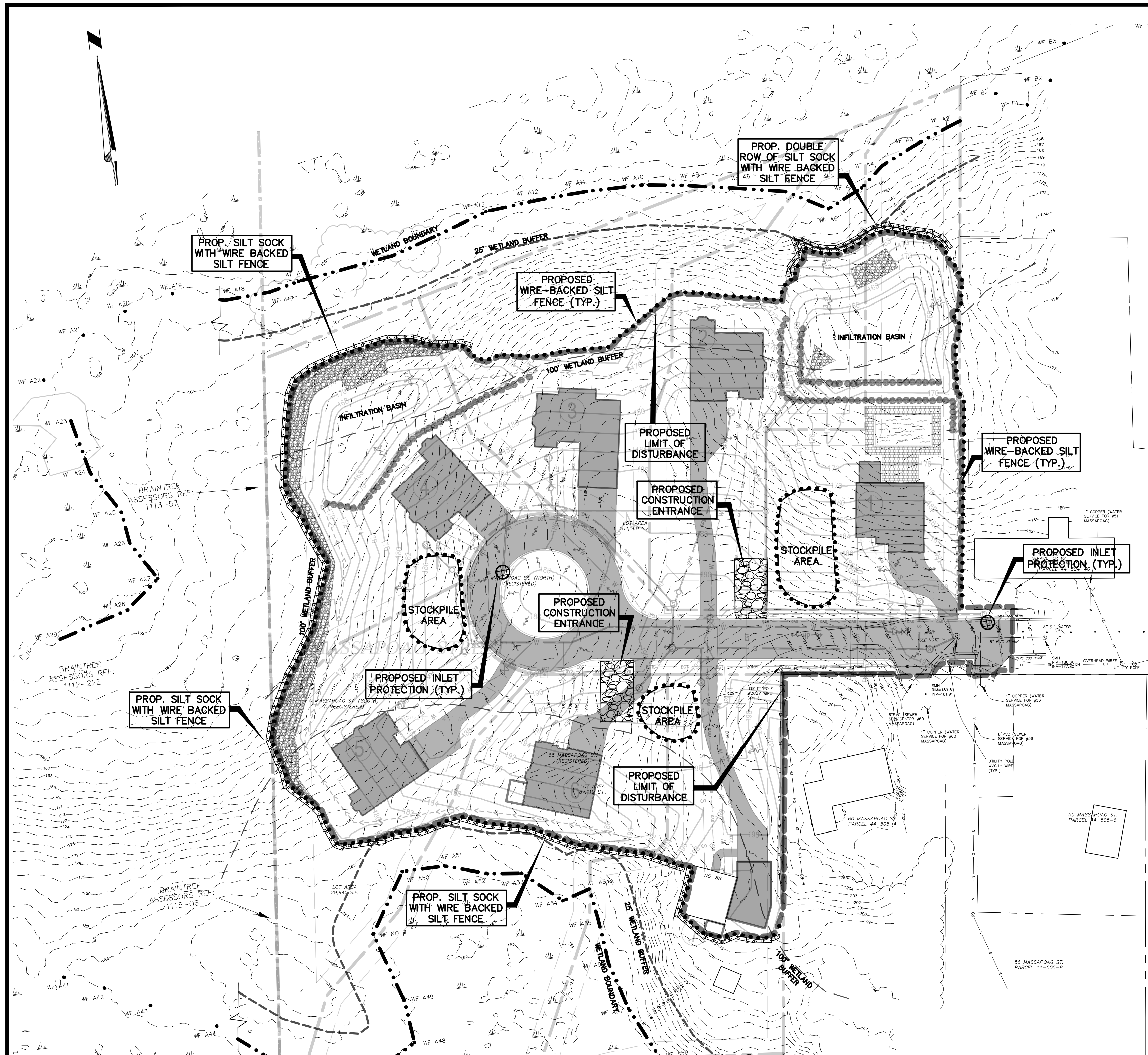
Project No.	100-029	Drawing No.	C-4
Date	12.20.2018	Scale	1"=20'
Drawn By	SZA	Approved By	GC

APPROVAL UNDER THE SUBDIVISION CONTROL LAW WEYMOUTH PLANNING BOARD

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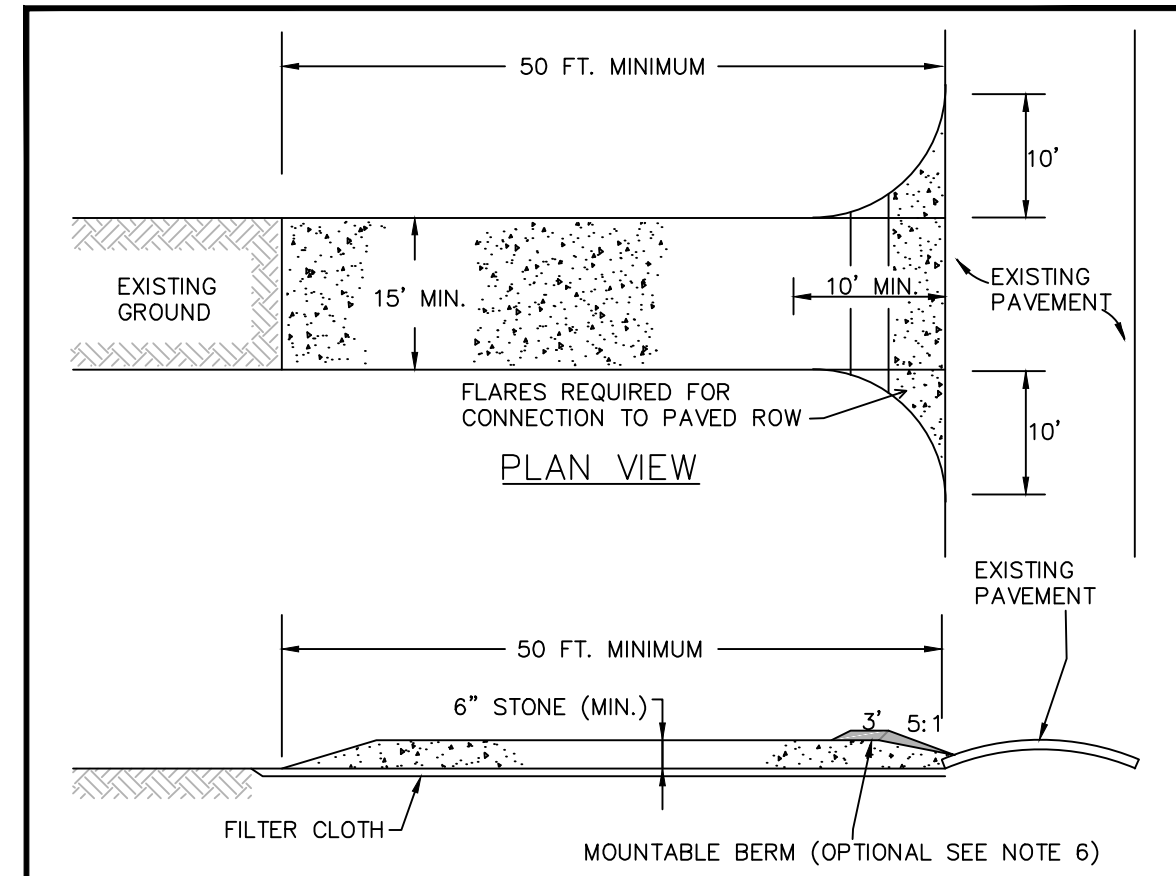


- CONTRACTOR TO ABIDE BY PROVISIONS OF EPA NOI NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND BY STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN AS PREPARED BY COLER & COLANTONIO, INC.
- ALL TEMPORARY STOCKPILE AREAS SHALL HAVE EROSION CONTROLS (HAYBALES AND SILT FENCE) AROUND THE PERIMETER.
- UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN. DIG SAFE MUST BE NOTIFIED (1-800-344-7233) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION.
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN PLACE AND OBSERVED PRIOR TO ANY WORK STARTING ON THE PROJECT.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER METHOD OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE, UNLESS ADDITIONAL CONSTRUCTION OF THE AREAS IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
- UPON COMPLETION OF FINE GRADING, ALL AREAS NOT OTHERWISE PERMANENTLY STABILIZED SHALL BE SEEDING AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 75%± MINIMUM DENSITY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, IS ACHIEVED.
- MAINTENANCE - EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY OR AS DIRECTED BY THE ENGINEER OR ARCHITECT. ACCUMULATED SILT AT ANY EROSION CONTROL DEVICE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6", AND SHALL BE DISTRIBUTED ON-SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
- ANY CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ANY EROSION CONTROL DEVICE WHICH HE DISTURBS. EACH CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASE, FUEL, AND LUBE OIL, PESTICIDES, ANY SOLID WASTE MATERIALS.

- (CONTINUATION OF GENERAL NOTES)
- ALL SIDE SLOPES SHALL BE SEEDING WITH GRASS OR INSTALL JUTE NETTING TO PREVENT EROSION.
  - MAINTENANCE: EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY OR AS DIRECTED BY THE ENGINEER OR ARCHITECT. ACCUMULATED SILT AT ANY EROSION CONTROL DEVICE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6", AND SHALL BE DISTRIBUTED ON-SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
  - INSPECTIONS: INSPECTIONS ARE TO BE PERFORMED BY QUALIFIED PERSONNEL. DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, MUST BE INSPECTED ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM EVEN OF 0.5 INCHES OR GREATER. STABILIZED AREAS ARE TO BE INSPECTED ONCE PER MONTH. DISTURBED AREAS AND STORAGE AREAS EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING THE DRAINAGE SYSTEM. CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THEY ARE WORKING PROPERLY. DISCHARGE LOCATIONS AND POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER CONTROLS ARE PREVENTING SIGNIFICANT IMPACT. BASED ON THE RESULTS OF THE ABOVE INSPECTIONS, ANY NECESSARY CHANGES TO THE PLAN WILL BE MADE WITHIN 7 DAYS OF THE INSPECTION AND SUBMITTED TO THE TOWN PLANNING BOARD. THE CHANGES MUST BE IMPLEMENTED IN THE FIELD BEFORE THE NEXT STORM EVEN IF PRACTICABLE, OTHERWISE AS SOON AS POSSIBLE.
  - INSTALL AND MAINTAIN CATCH BASIN INSERTS IN ALL PROPOSED AND EXISTING CATCH BASINS.
  - PROVIDE TEMPORARY SEDIMENTATION BASINS, HAY BALES, ETC. AS NECESSARY.
  - STOCKPILES ARE TO BE AT LEAST 100 FEET FROM WETLAND AREAS. STOCKPILES NOT TO BE REUSED WITHIN 30 DAYS ARE TO BE STABILIZED WITH SEED OR MULCH.
  - CONTRACTOR TO MAINTAIN WITHIN LIMITS OUTSIDE NSTAR EASEMENT EXCEPT FOR SPECIFIC AREAS IDENTIFIED TO BE DISTURBED WITHIN EASEMENT.
  - POTENTIAL STOCK PILE AREA TO BE PROTECTED WITH EROSION CONTROL MEASURES.
  - THE CONTRACTOR SHALL HAVE A WATER TRUCK ON-SITE AT ALL TIMES AND SHALL PROVIDE TEMPORARY PLANTINGS OR OTHER COVERINGS INACTIVE STOCKPILES OR AREAS OF GRANULAR MATERIAL OR TOPSOIL SHALL BE TEMPORARILY SEEDING OR MULCHED IN ORDER TO CONTROL SEDIMENT LADEN RUNOFF.

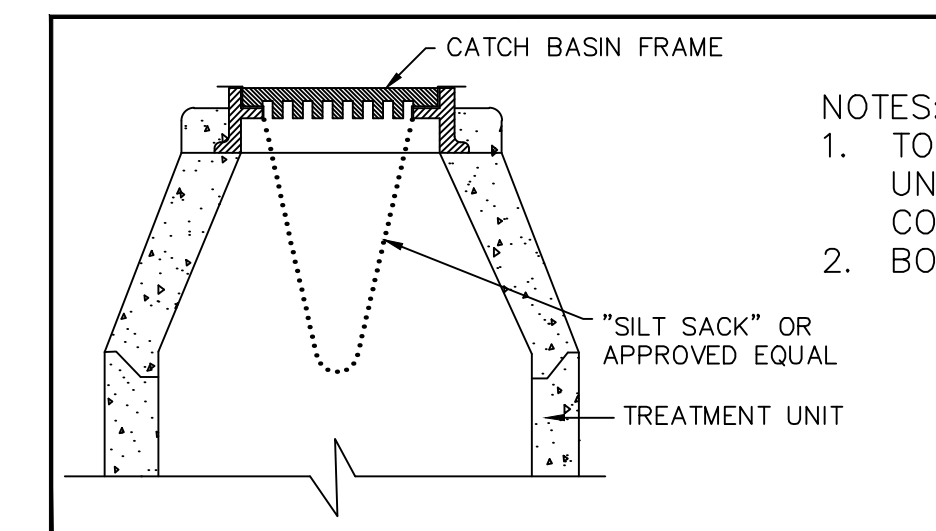
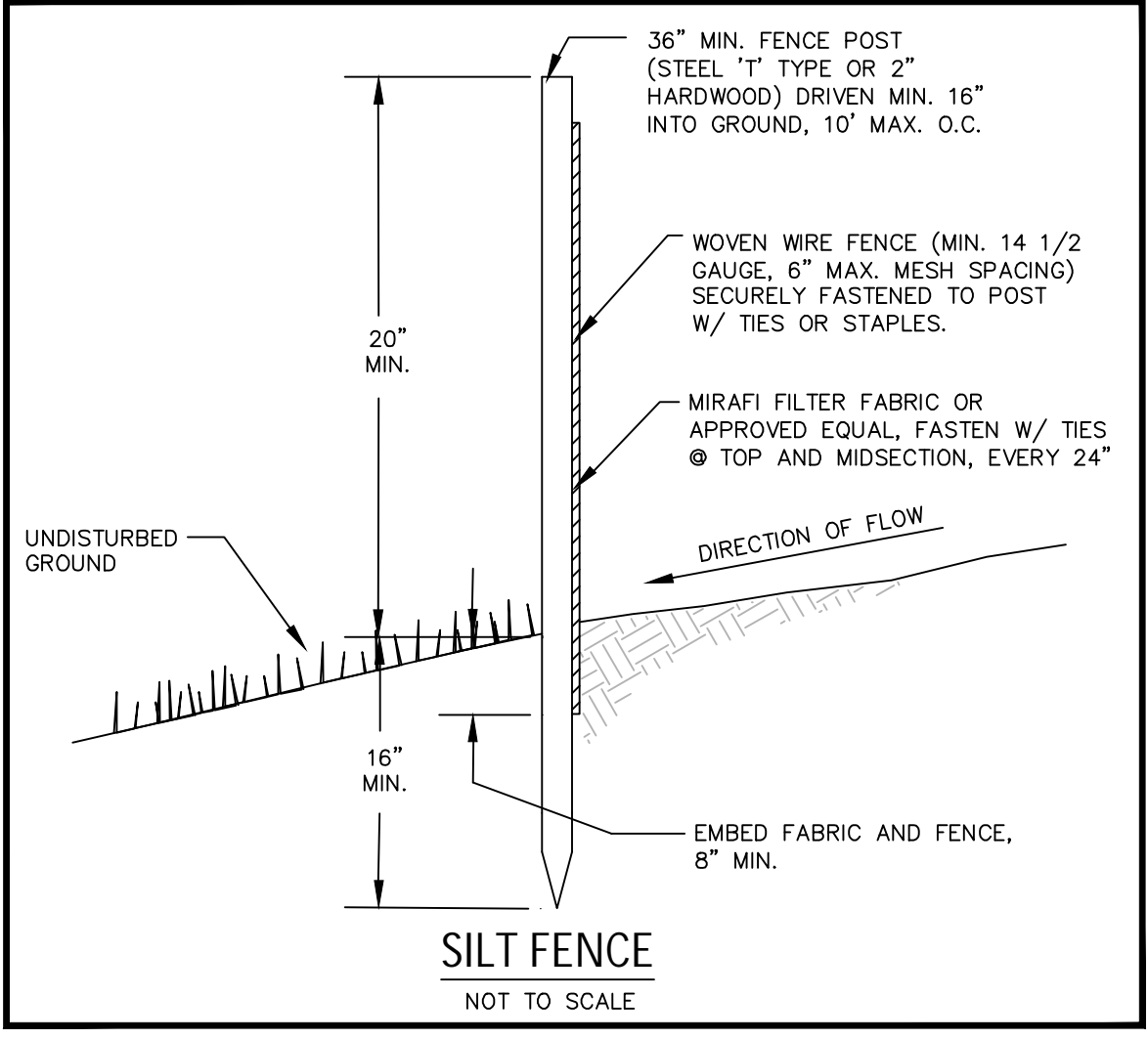
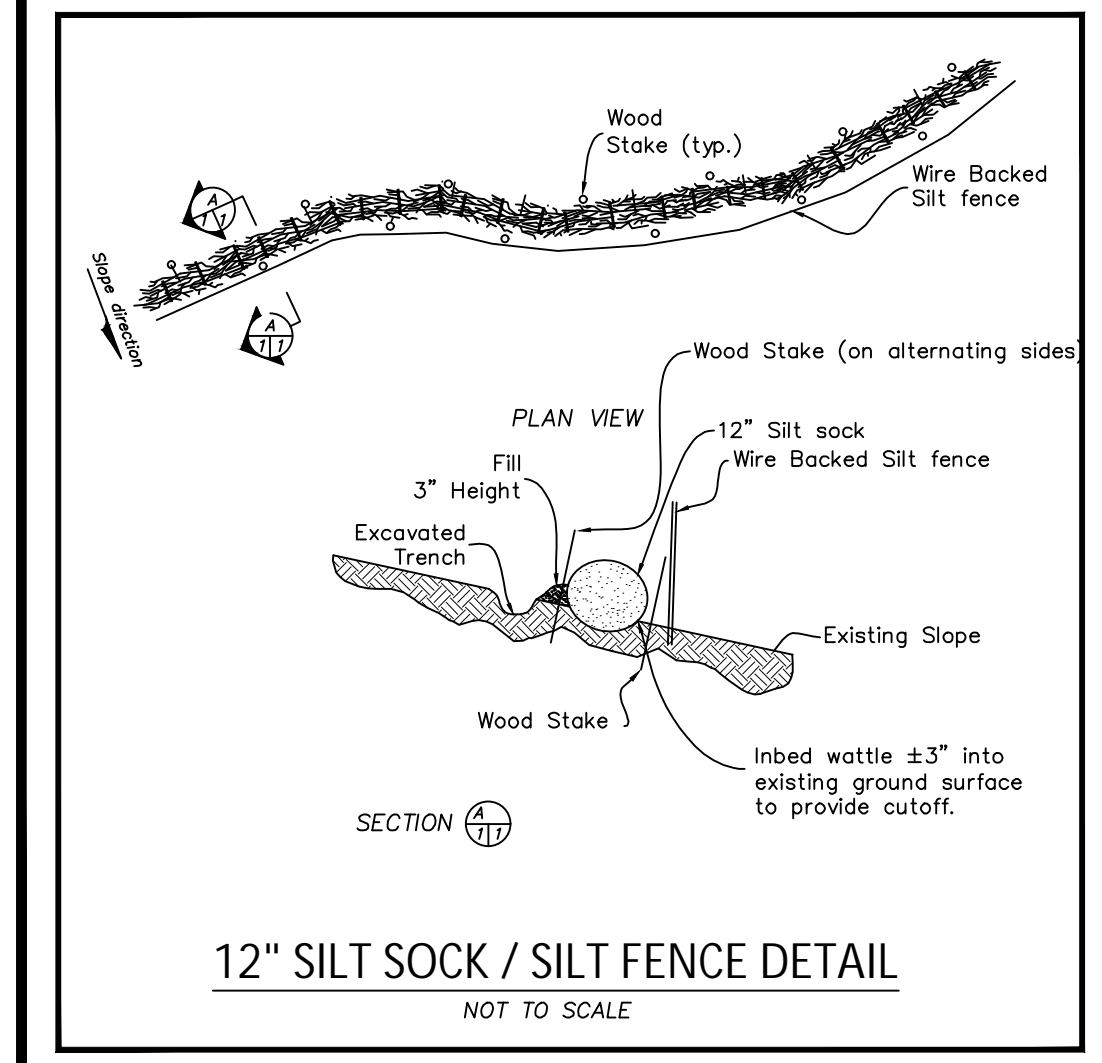
**CONSTRUCTION PHASING**

- BELOW IS PRESENTED A GENERAL CONSTRUCTION PHASING. A MORE DETAILED SCHEDULE IS PRESENTED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- CENTERLINE OF ROAD AND EXTENTS OF CONSTRUCTION TO BE DELINEATED BY CONTRACTOR.
- EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING HAY BALES AND SILT FENCE (OR OPTIONAL FILTER SACK IN LIEU OF HAY BALES AND SILT FENCE) WILL BE INSTALLED. CONTRACTOR SHALL INSPECT CONTROL MEASURES MONTHLY AND AFTER RAIN EVENTS OF 0.5" OR GREATER.
- THE PROJECT AREA WILL BE CLEARED OF DEBRIS AND BOULDERS. MATERIAL REMOVED FROM THE SITE WILL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR WILL BE DISPOSED OF ELSEWHERE ACCORDING TO FEDERAL, STATE, AND LOCAL GUIDELINES. INACTIVE STOCKPILES OR AREAS OF GRANULAR MATERIAL OR TOPSOIL SHALL BE TEMPORARILY SEEDING OR MULCHED IN ORDER TO CONTROL SEDIMENT LADEN RUNOFF.
- CONTRACTOR IS RESPONSIBLE TO SET OUT UTILITIES AND ANY NECESSARY GRADES.
- GRADING OF SITE INCLUDING BUILDING PADS, PARKING AREAS, AND DETENTION BASINS AND DIGGING OF UTILITY TRENCHES TO DEFINED INVERT LEVELS. MATERIAL TO BE STORED ON AN UNUSED SITE AREA FOR FILL OR PROPERLY REMOVED FROM THE JOB SITE. IF SUITABLE TOPSOIL IS FOUND, IT WILL BE REMOVED AND STOCKPILED IN AN UPLAND AREA AT LEAST 100' FROM WETLANDS TO BE REUSED AS TOPSOIL ON THE PROJECT.
- PLACING OF FILL OR SUITABLE MATERIAL ON ALL ACCESS ROADS FOR EASY ACCESS. SETTING OUT OF FOUNDATIONS AND SURROUNDING ROADS.
- LAYING OF ALL UTILITIES INCLUDING DRAINAGE PIPES AND STRUCTURES FOLLOWED BY BACK-FILL TAKING CARE TO LEAVE ONLY TRENCHES BEING WORKED ON OPEN.
- FINE GRADING FOR THE PARKING AREAS, ROADWAYS, AND DRAINAGE BASINS TO BE COMPLETED.
- DRAINAGE BASIN VEGETATION TO BE ESTABLISHED PRIOR TO DISCHARGE FROM CONSTRUCTED DRAINAGE STRUCTURES.
- ONCE THE DRAINAGE STRUCTURES ARE INSTALLED, PROVIDE PROTECTION AT ALL CATCH BASINS AND INLETS TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
- INSTALL BINDER COURSE AND SPREAD TOPSOIL AS NEEDED.
- LIGHT POLES, SIGNAGE, ETC. WILL BE INSTALLED.
- INSTALL TOP COURSE OF PAVING AND SIDEWALK.
- THE FINAL PHASE OF CONSTRUCTION IS RESTORATION AND STABILIZATION OF ALL EXPOSED SURFACES. DISTURBED AREAS SHALL BE LANDSCAPED OR SEEDING (SEE ADDITIONAL DISCUSSION IN SWPPP). IN THE EVENT THAT WEATHER CONDITIONS PREVENT FINAL STABILIZATION, TEMPORARY EROSION AND SEDIMENTATION MEASURES WILL BE EMPLOYED UNTIL THE TEMPERATURE AND WEATHER IS SUITABLE FOR GRASS GROWING. A FINAL INSPECTION WILL ENSURE THAT THE SITE IS CLEARED OF ALL PROJECT DEBRIS AND THAT EROSION AND SEDIMENTATION CONTROLS ARE FUNCTIONING PROPERLY. HAYBALES AND SILT FENCE WILL REMAIN IN PLACE UNTIL THE SITE IS FULLY STABILIZED AND THE SITE HAS PASSED FINAL INSPECTION. VEGETATION IS TO BE OF A UNIFORM DENSITY OF AT LEAST 75% FOR ACCEPTANCE.



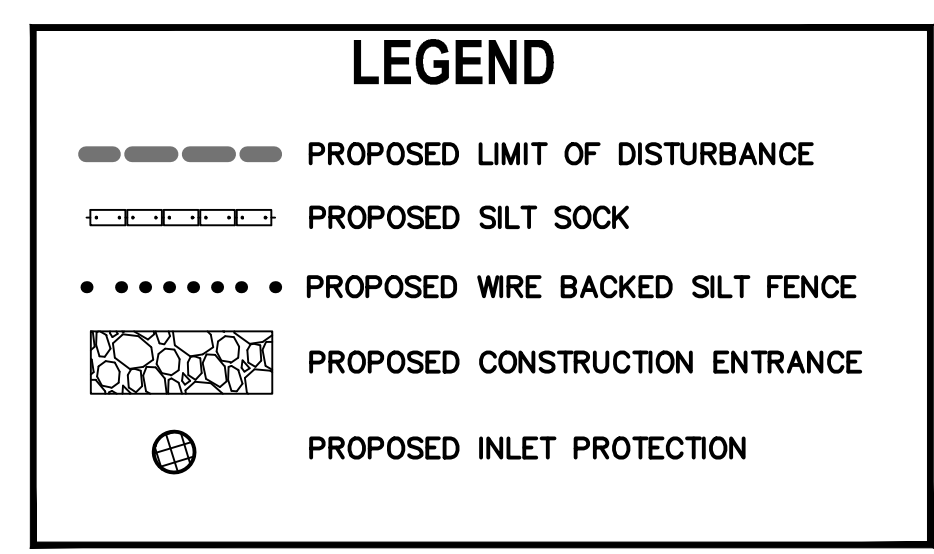
- CONSTRUCTION SPECIFICATIONS:**
- STONE SIZE—USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH—RECOMMEND GREATER THAN OR EQUAL TO 50 FEET WHERE SOILS ARE SANDS AND GRAVELS AND 100 FEET IN SILTS AND CLAYS.
  - THICKNESS—NOT LESS THAN SIX (6) INCHES.
  - WIDTH—FIFTEEN (15) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OF EGRESS OCCURS.
  - FILTER CLOTH—SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER—ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE INSTALLED.
  - MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

**CONSTRUCTION ENTRANCE**  
NOT TO SCALE



- NOTES:**
- TO BE INSTALLED IN ALL GRATED TREATMENT UNITS AFTER INSTALLATION AND UNTIL COMPLETION OF CONSTRUCTION.
  - BOOT ADAPTER MAY BE TRIMMED TO SIZE.

**"SILT SACK" FILTER BAG**  
(N.T.S.)



**DATE:** \_\_\_\_\_

PLANNING BOARD ENDORSEMENT DOES NOT IMPLY CONFORMANCE WITH TOWN OF WEYMOUTH ZONING BY-LAW.



Date	Description	No.
11.19.21	REV. PER CON. COMM. AND TOWN ENG. COMMENTS	3.
4.23.20	REVISED PER TOWN STAFF COMMENTS	2.
2.05.19	REVISED WETLAND FLAGS AND LOT	1.

**GABRIEL R. CROCKER**  
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

**CROCKER DESIGN GROUP, LLC.**  
2 SHARP STREET, UNIT B  
HINGHAM, MA 02043  
P: 781-820-0416

**DEFINITIVE SUBDIVISION PLAN**  
MASSAPOAG STREET  
WEYMOUTH, MA

Prepared for  
**WEATHERVANE MASSAPOAG, LLC.**  
190 OLD DERBY STREET, SUITE 311  
HINGHAM, MA 02043

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

Project No. 100-029 Drawing No. \_\_\_\_\_

Date 12.20.2018

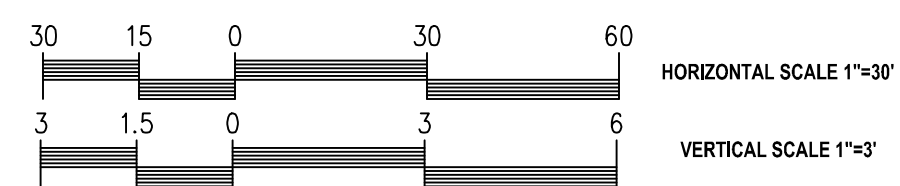
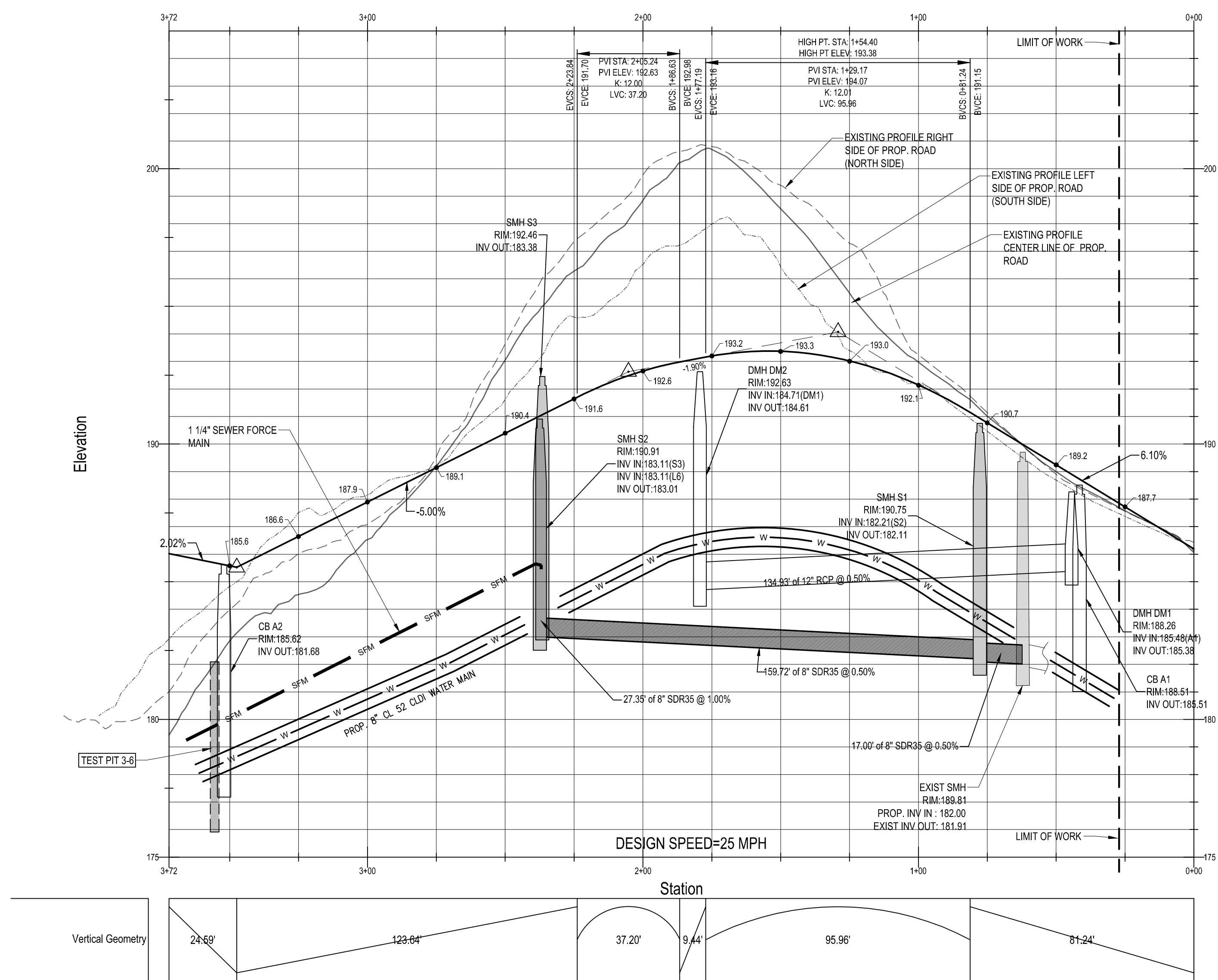
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Drawn By SZA

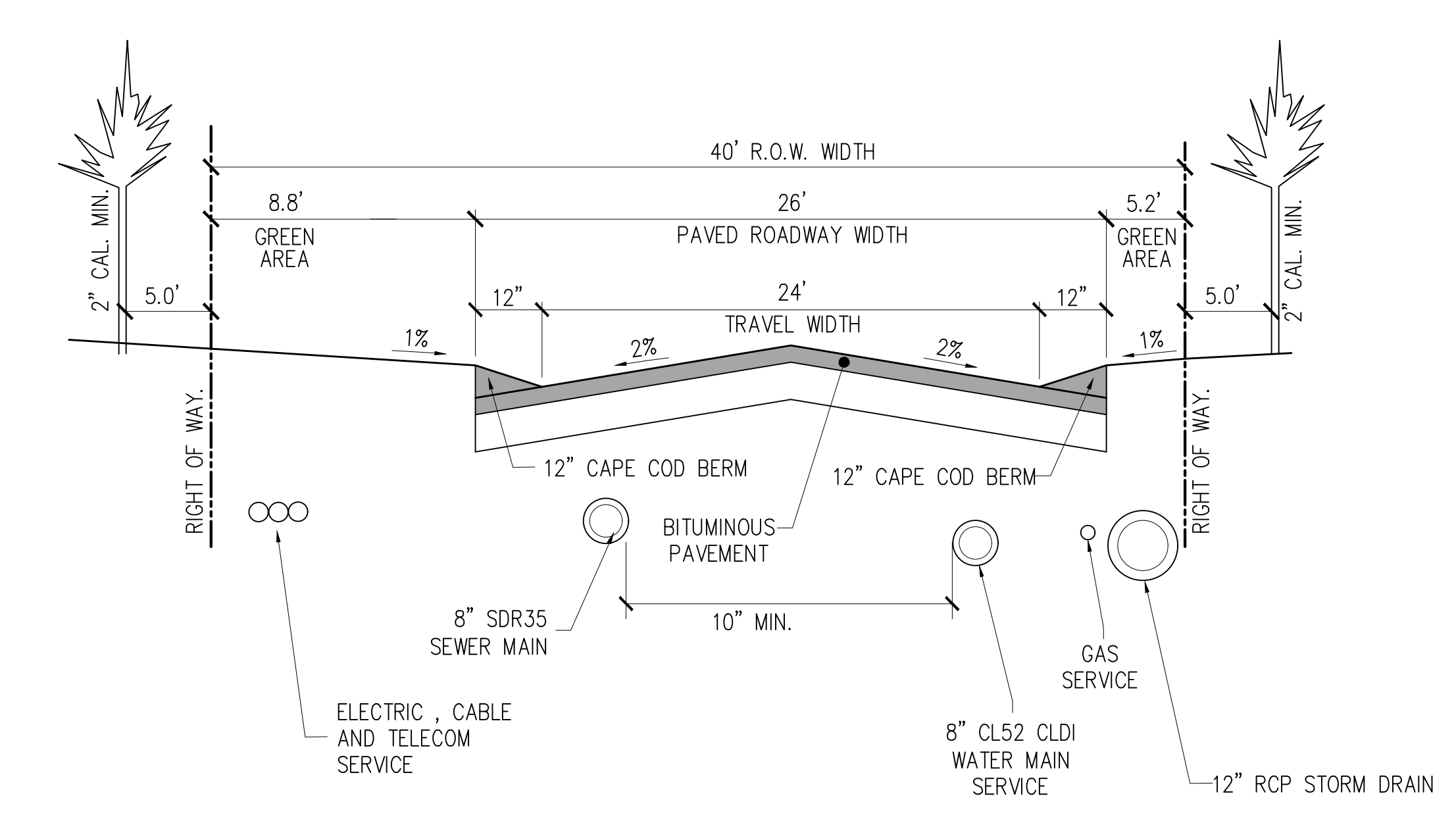
Approved By GC

**C-6**

**ROAD PROFILE**



**TYPICAL ROAD CROSS-SECTION**  
NOT TO SCALE



- NOTES:**
- PLANNING BOARD GRANTED THE FOLLOWING WAIVERS REGARDING ROADWAY CROSS SECTION ON 05.06.2019
    - 24' WIDE PAVED ROADWAY WITH NO SIDEWALK
    - 12" CAPE-COD BERM THROUGHOUT THE EXTENSION OF MASSAPOAG ST.

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**Revisions**

GABRIEL R. CROCKER  
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

**CROCKER DESIGN GROUP, LLC.**

2 SHARP STREET, UNIT B  
HINGHAM, MA 02043  
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MASSACHUSETTS

Project

**DEFINITIVE SUBDIVISION PLAN**

MASSAPOAG STREET  
WEYMOUTH, MA

Prepared for

**WEATHERVANE MASSAPOAG, LLC.**

190 OLD DERBY STREET, SUITE 311  
HINGHAM, MA 02043

Drawing Title

**ROADWAY PLAN AND PROFILE**

Project No. **100-029** Drawing No.

Date **12.20.2018**

Scale **AS NOTED**

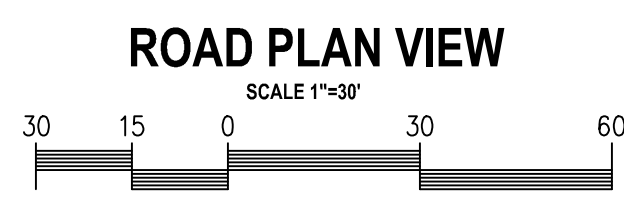
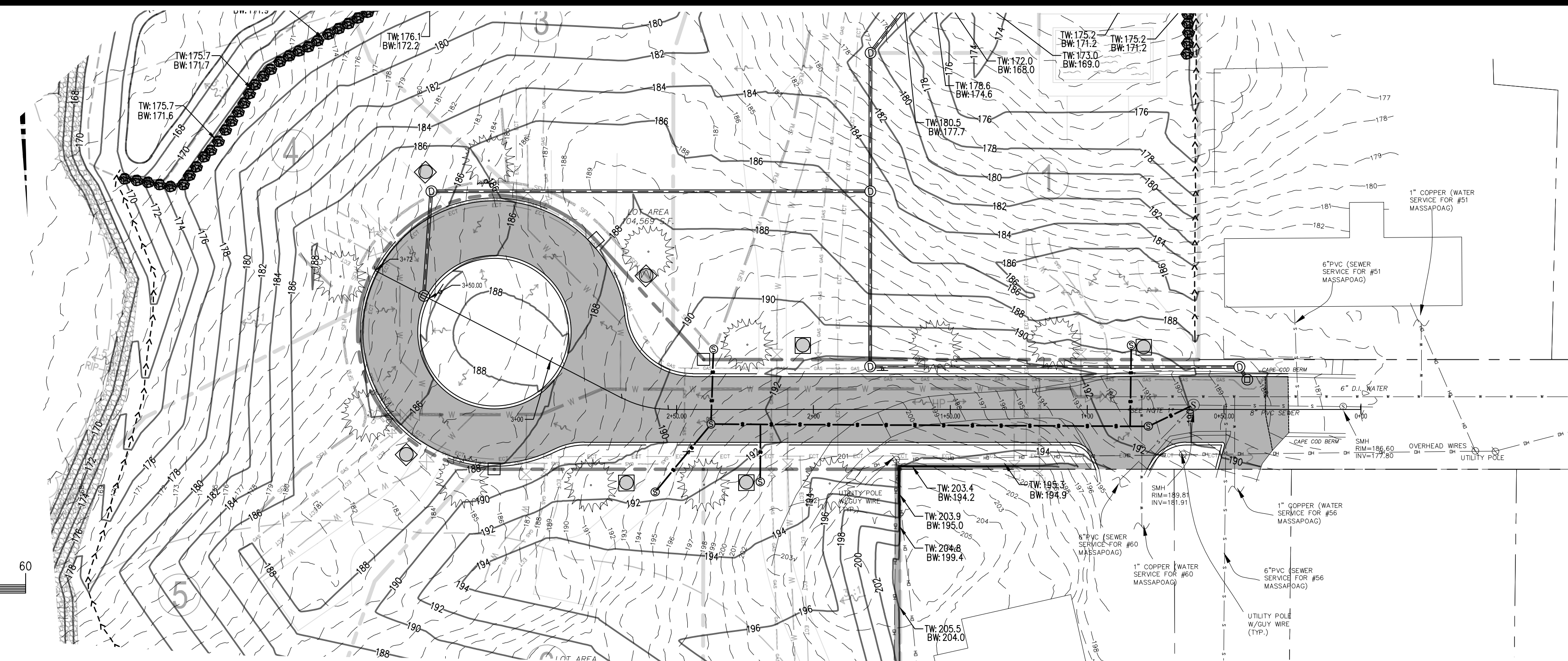
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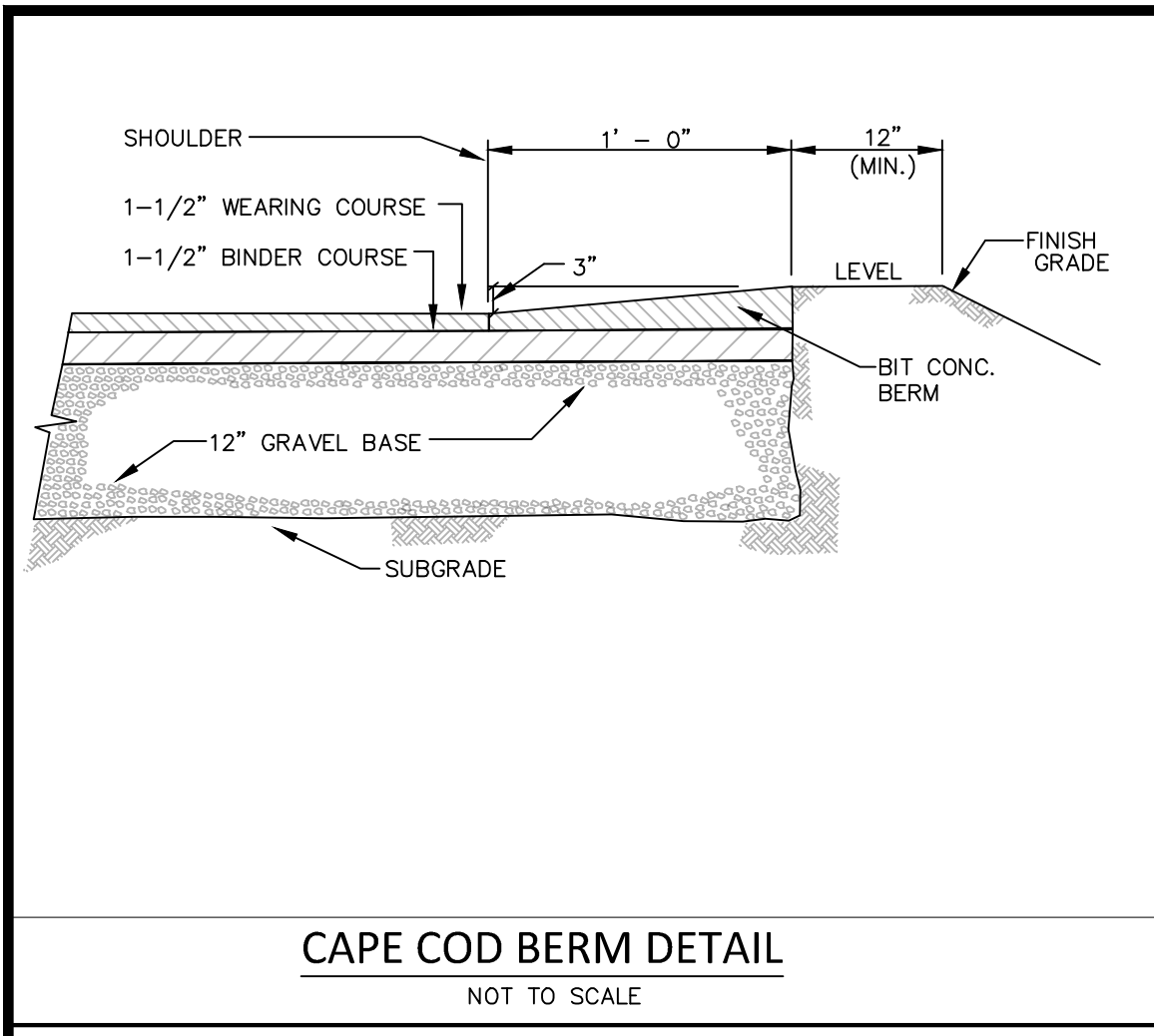
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APPROVAL UNDER THE SUBDIVISION CONTROL LAW WEYMOUTH PLANNING BOARD

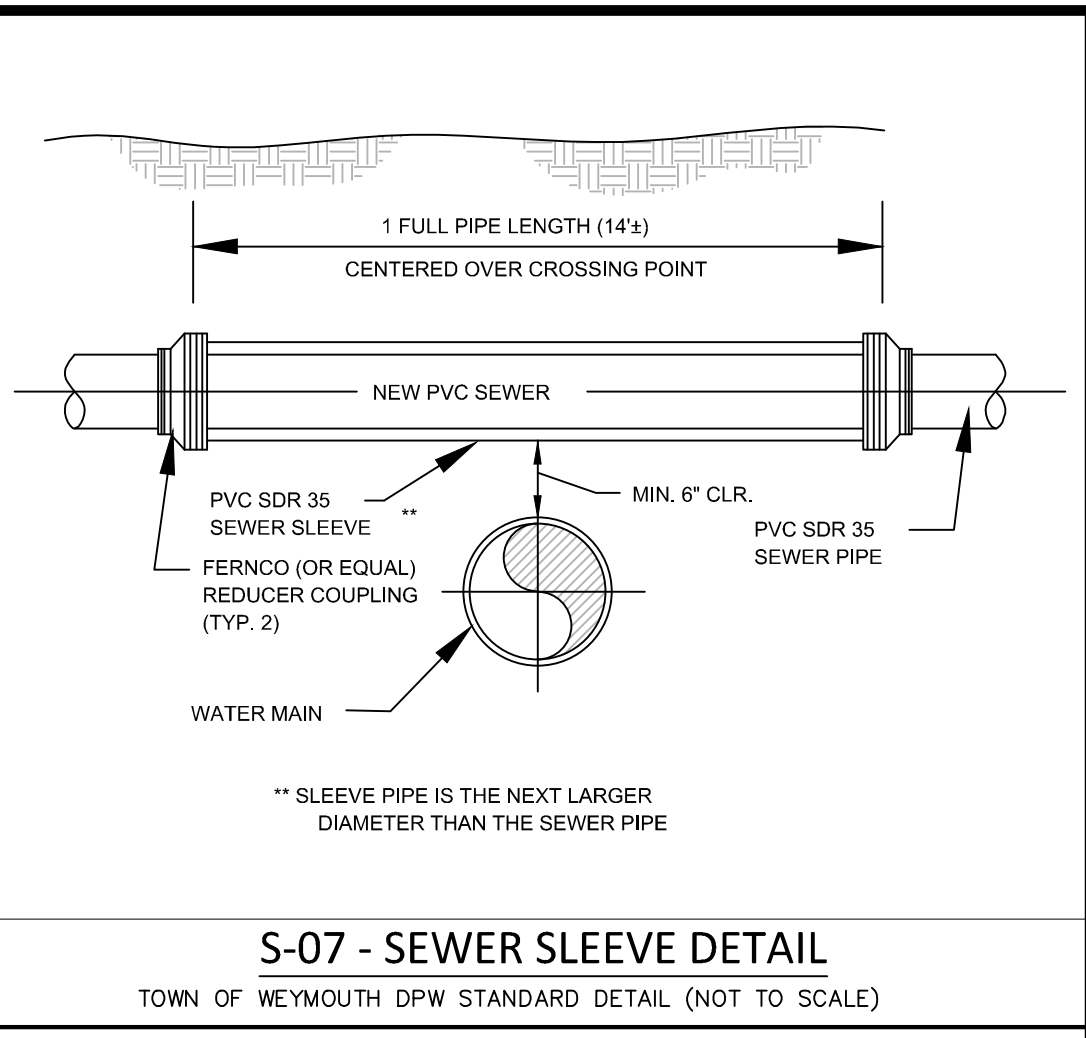
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PLANNING BOARD ENDORSEMENT DOES NOT IMPLY CONFORMANCE WITH TOWN OF WEYMOUTH ZONING BY-LAW.

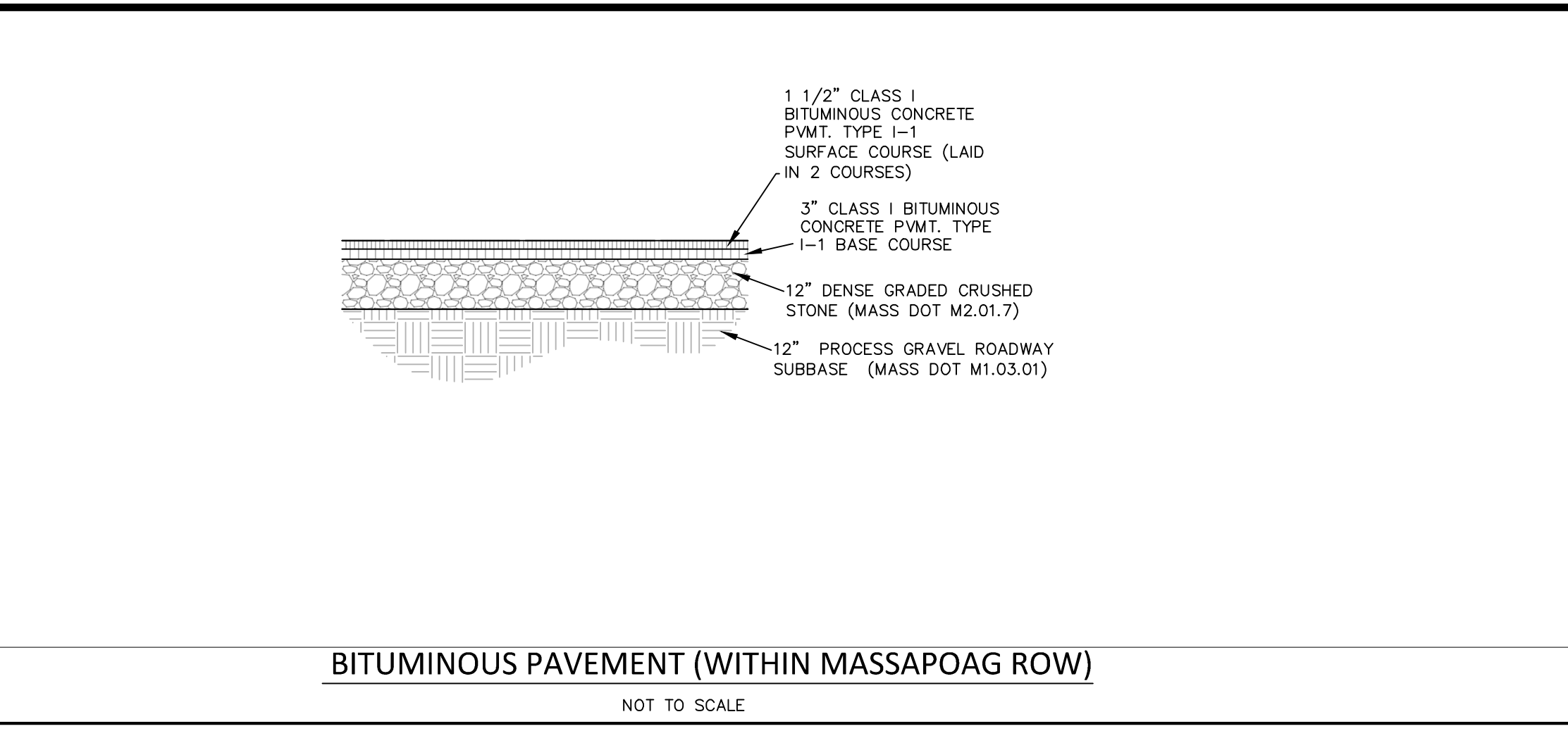




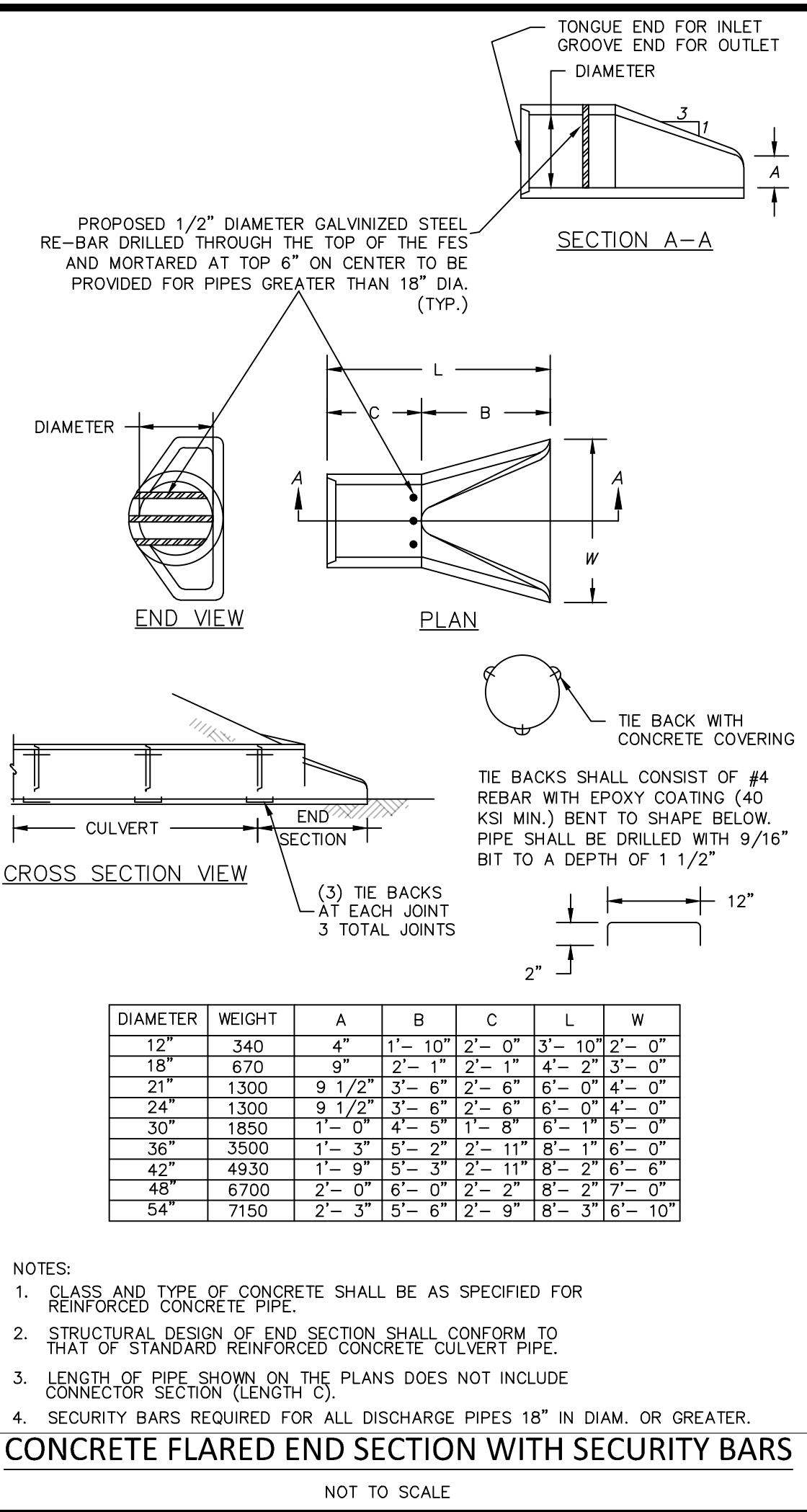
CAPE COD BERM DETAIL  
NOT TO SCALE



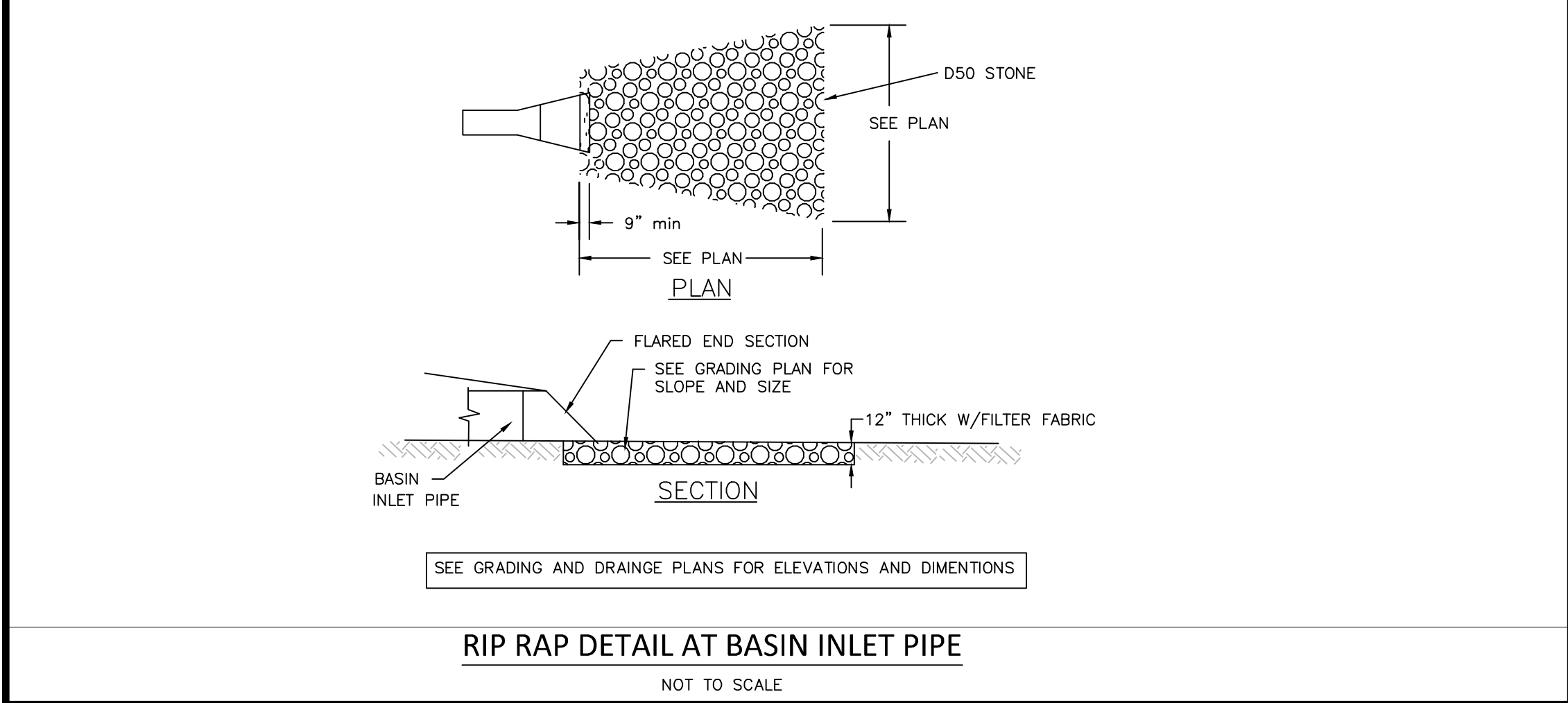
S-07 - SEWER SLEEVE DETAIL  
TOWN OF WEYMOUTH DPW STANDARD DETAIL (NOT TO SCALE)



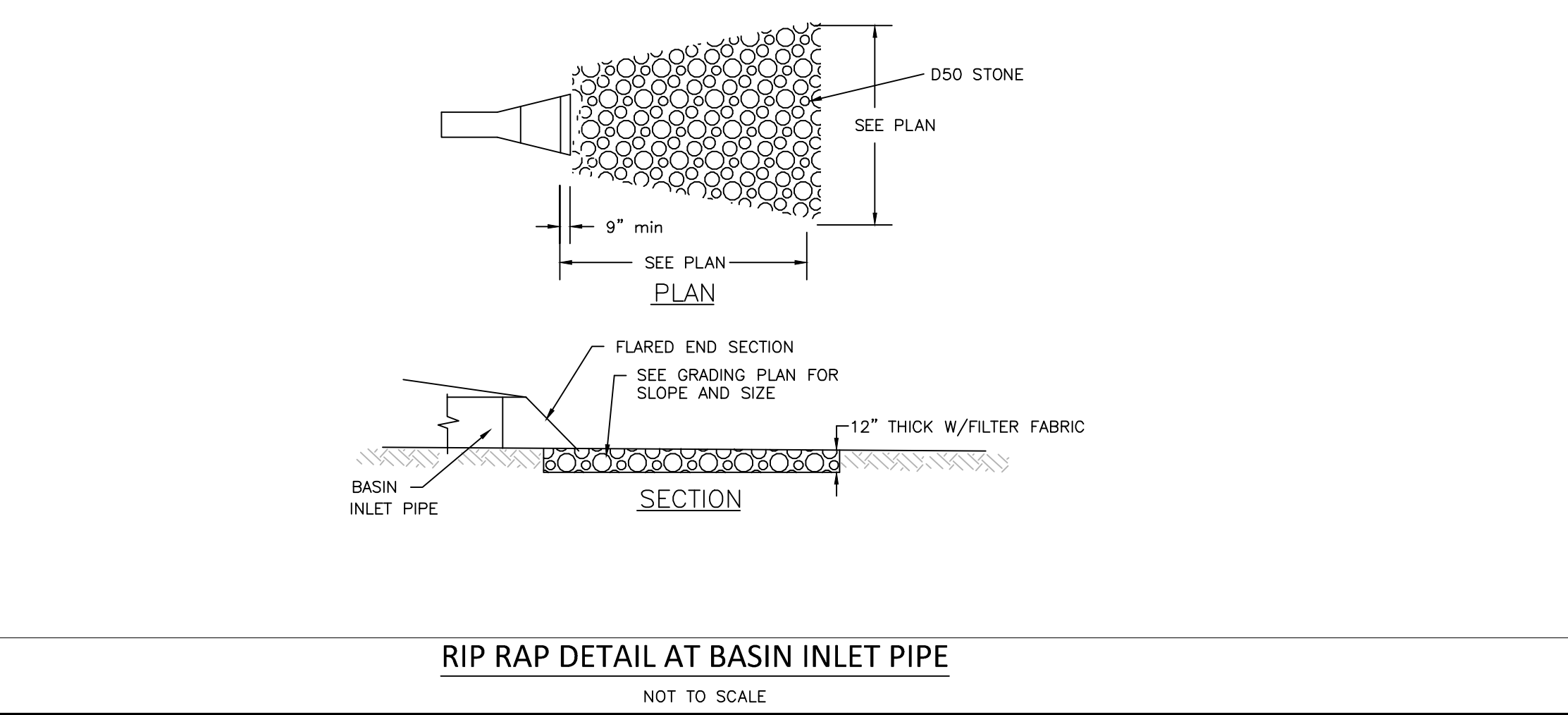
BITUMINOUS PAVEMENT (WITHIN MASSAPOAG ROW)  
NOT TO SCALE



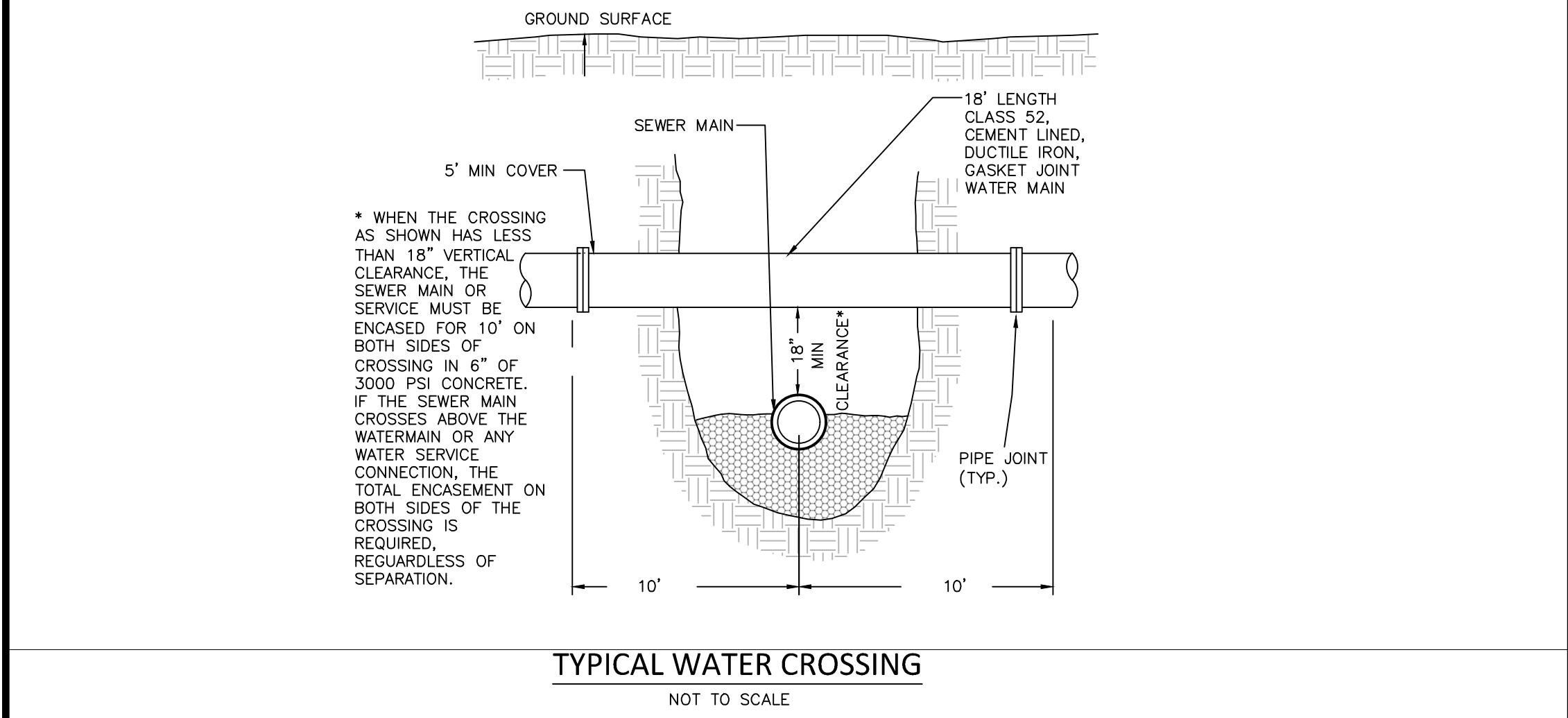
CONCRETE FLARED END SECTION WITH SECURITY BARS  
NOT TO SCALE



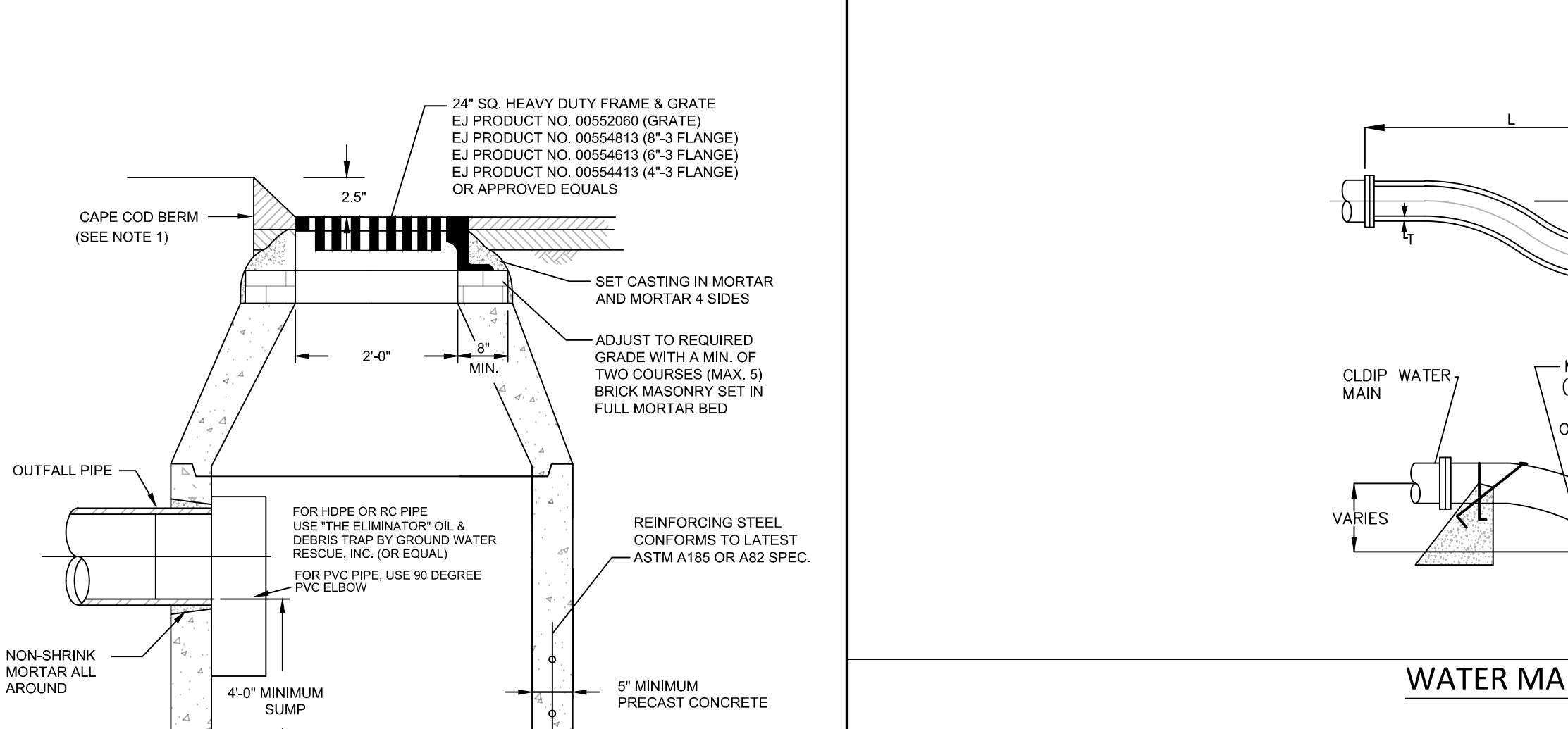
RIP RAP DETAIL AT BASIN INLET PIPE  
NOT TO SCALE



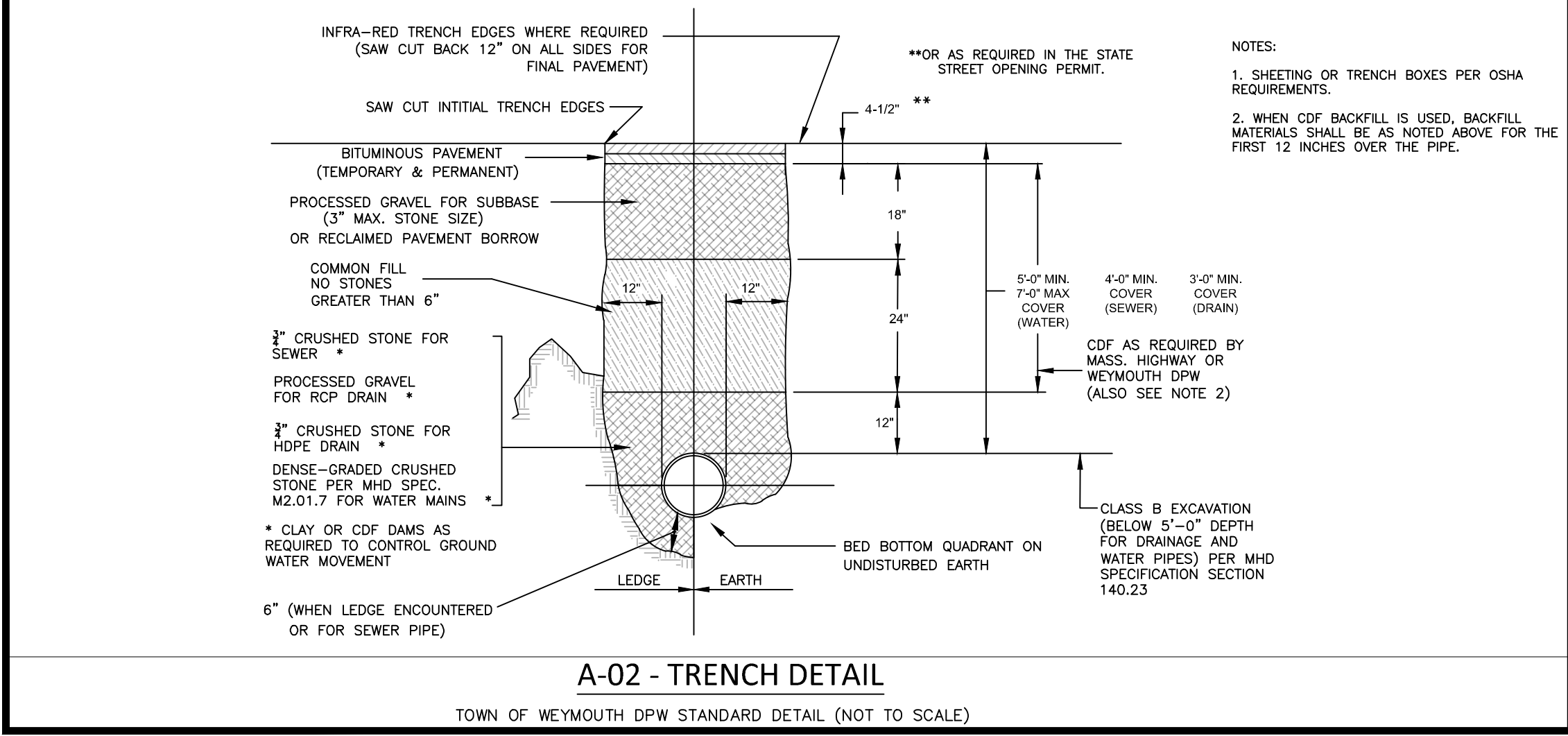
RIP RAP DETAIL AT BASIN INLET PIPE  
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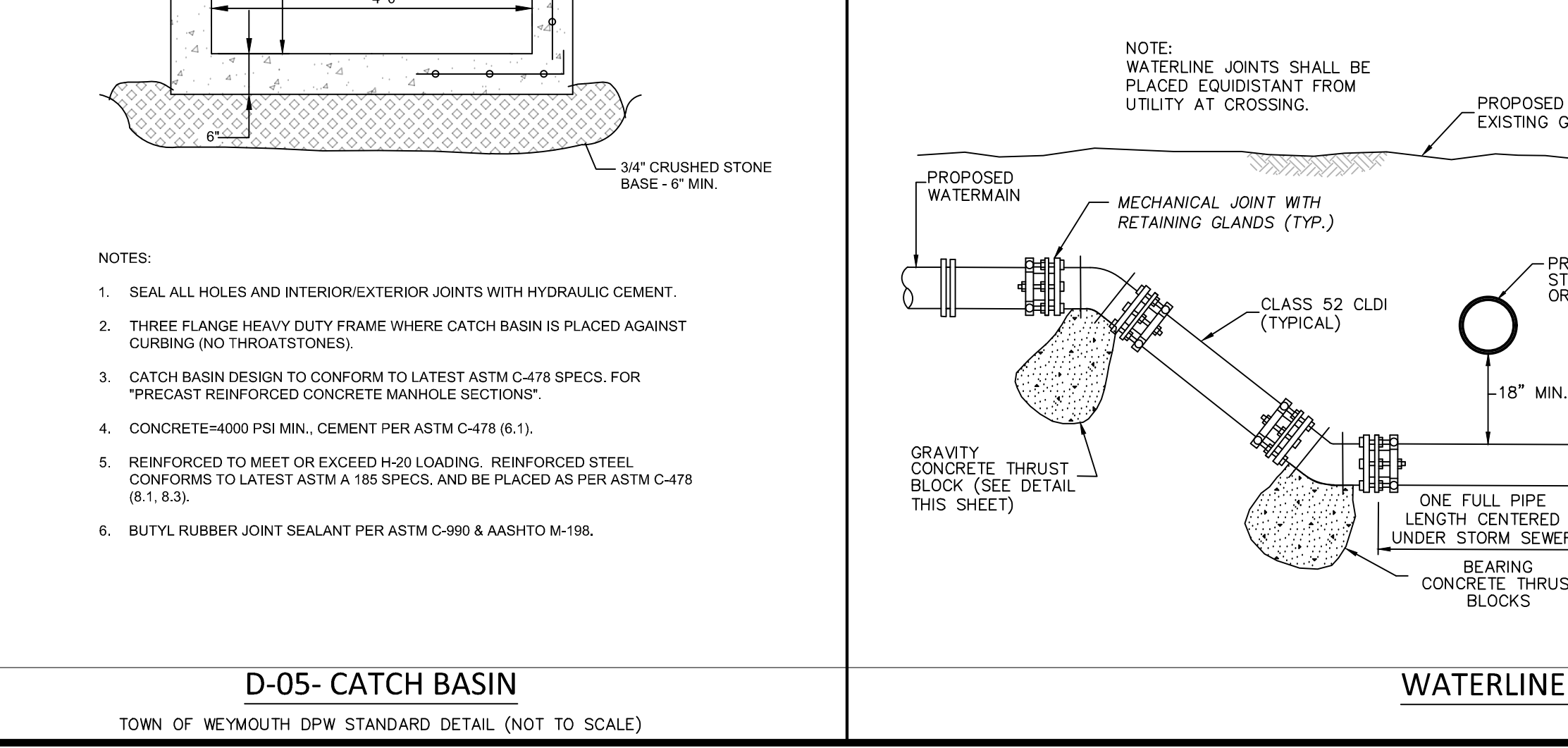
TYPICAL WATER CROSSING  
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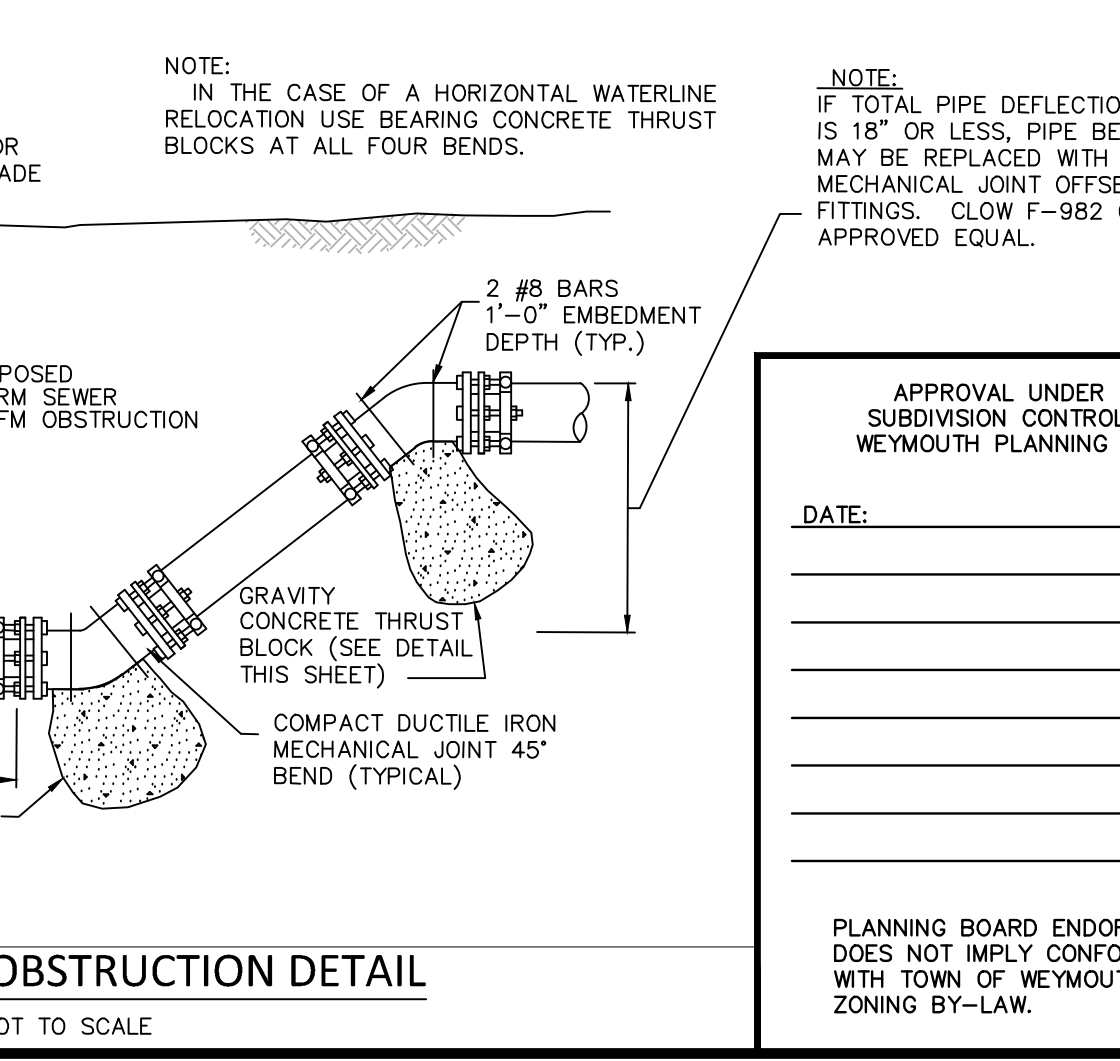
WATER MAIN LOWERING METHOD DETAIL  
NOT TO SCALE



A-02 - TRENCH DETAIL  
TOWN OF WEYMOUTH DPW STANDARD DETAIL (NOT TO SCALE)



D-05 - CATCH BASIN  
TOWN OF WEYMOUTH DPW STANDARD DETAIL (NOT TO SCALE)



WATERLINE OBSTRUCTION DETAIL  
NOT TO SCALE

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Revisions

GABRIEL R. CROCKER  
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

**CROCKER DESIGN GROUP, LLC.**  
2 SHARP STREET, UNIT B  
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MASSACHUSETTS

Project  
**DEFINITIVE SUBDIVISION PLAN**  
MASSAPOAG STREET  
WEYMOUTH, MA

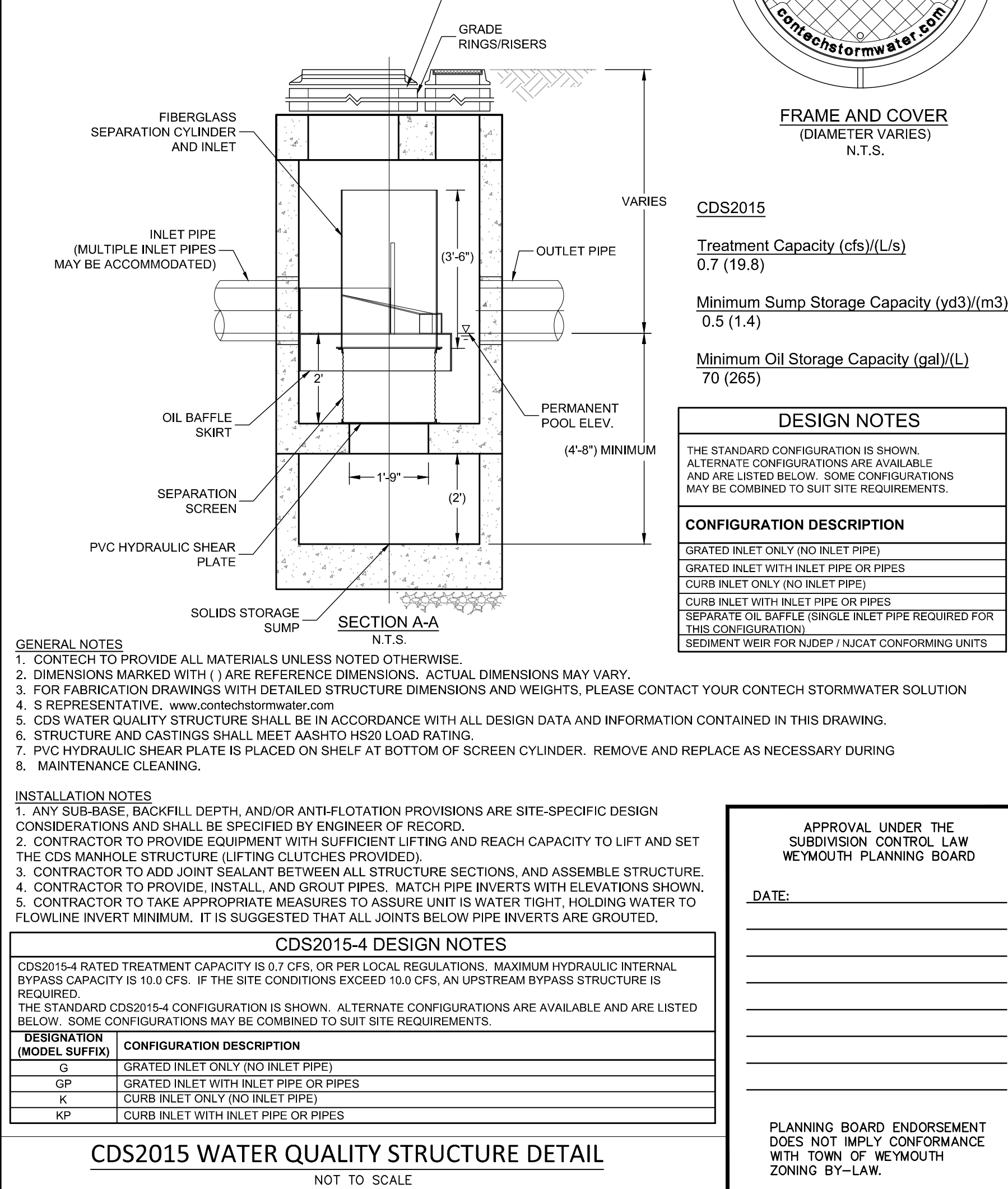
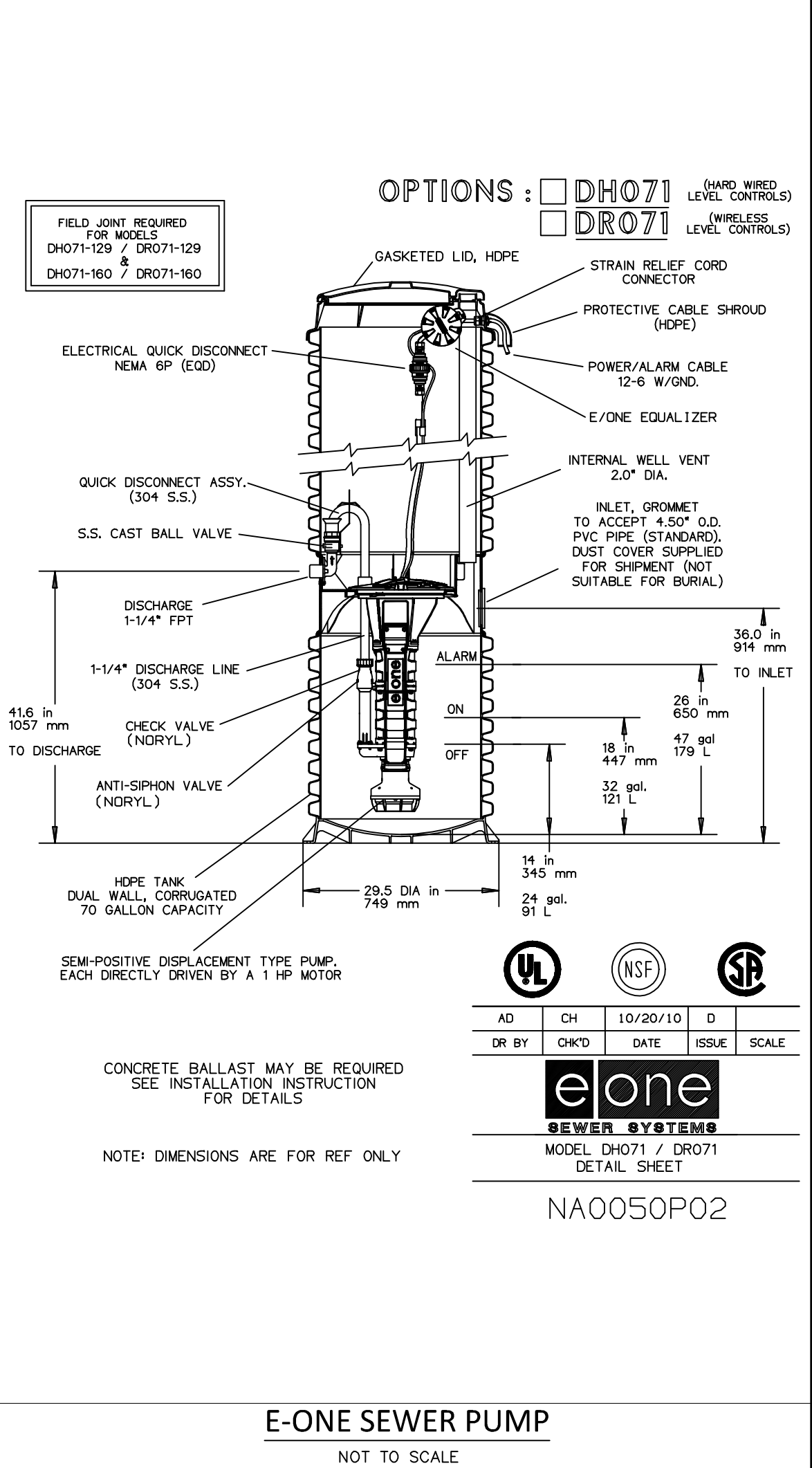
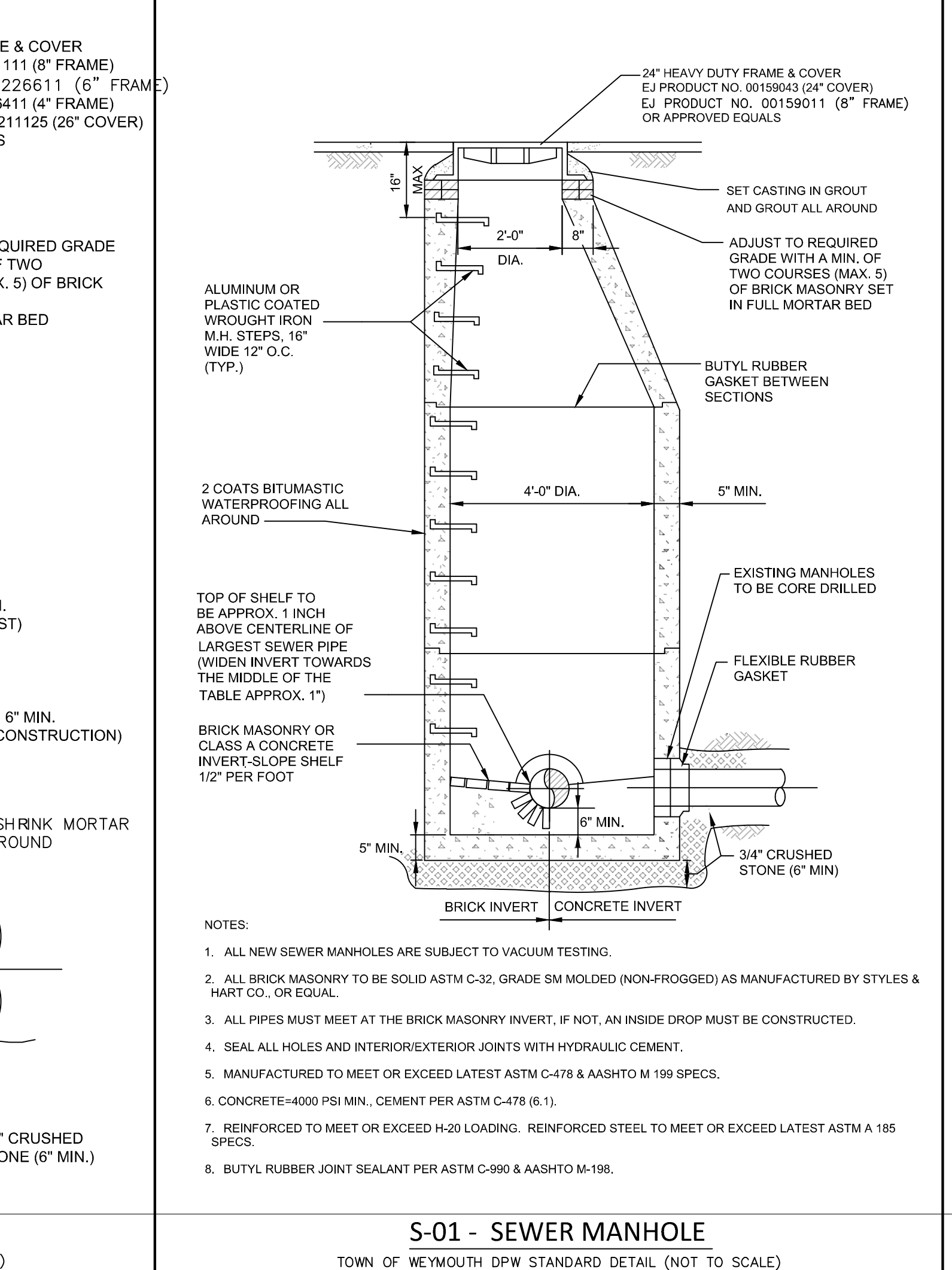
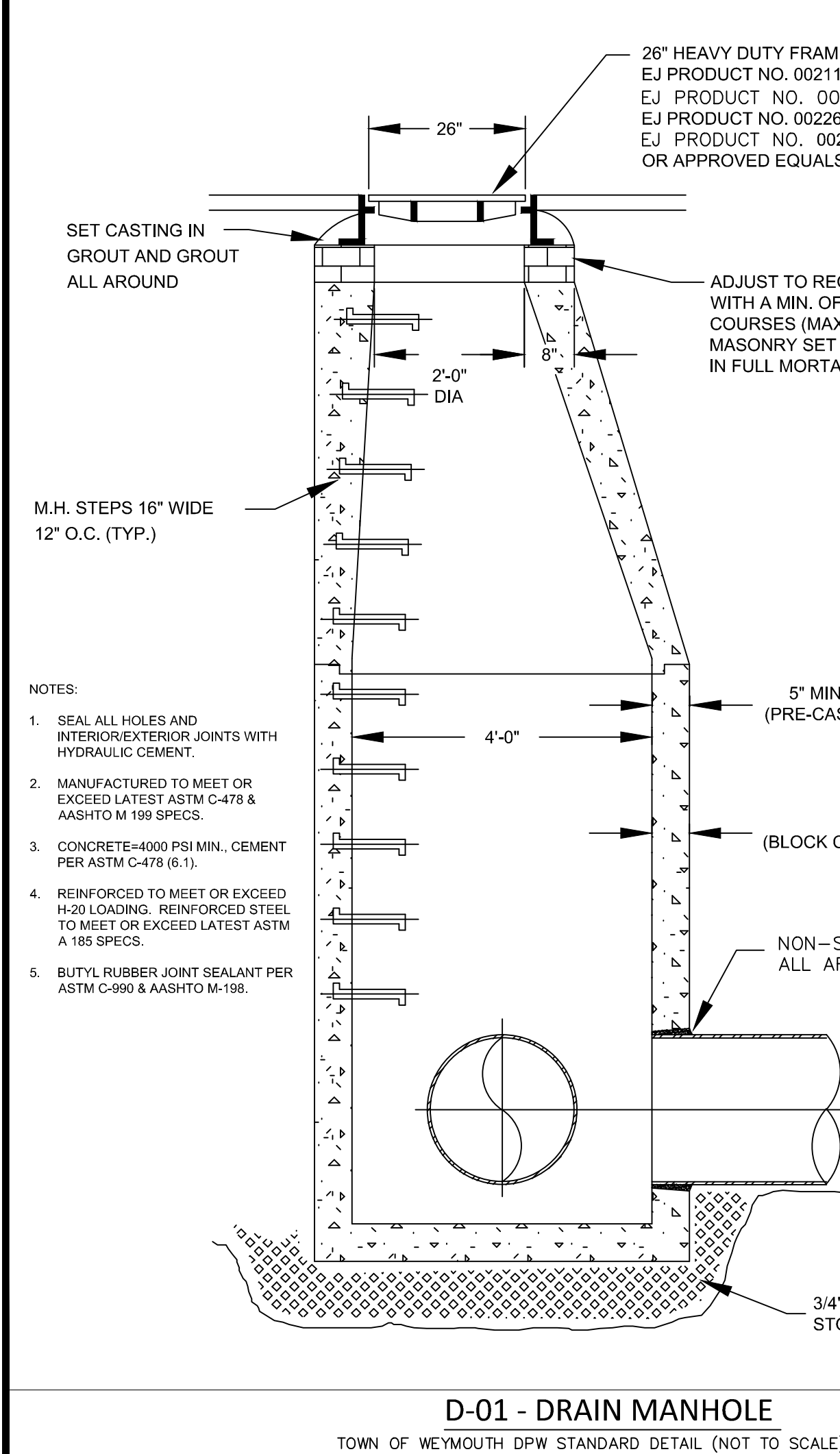
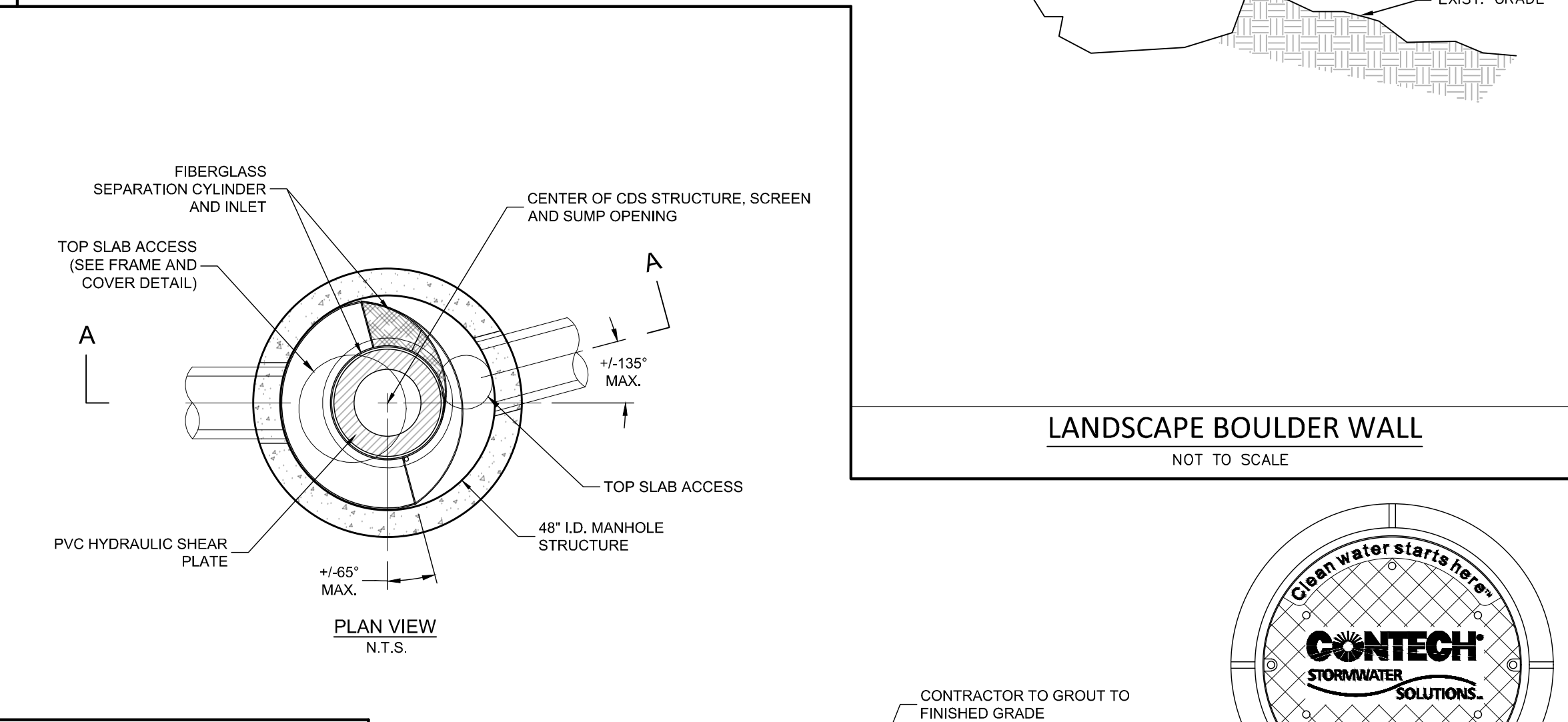
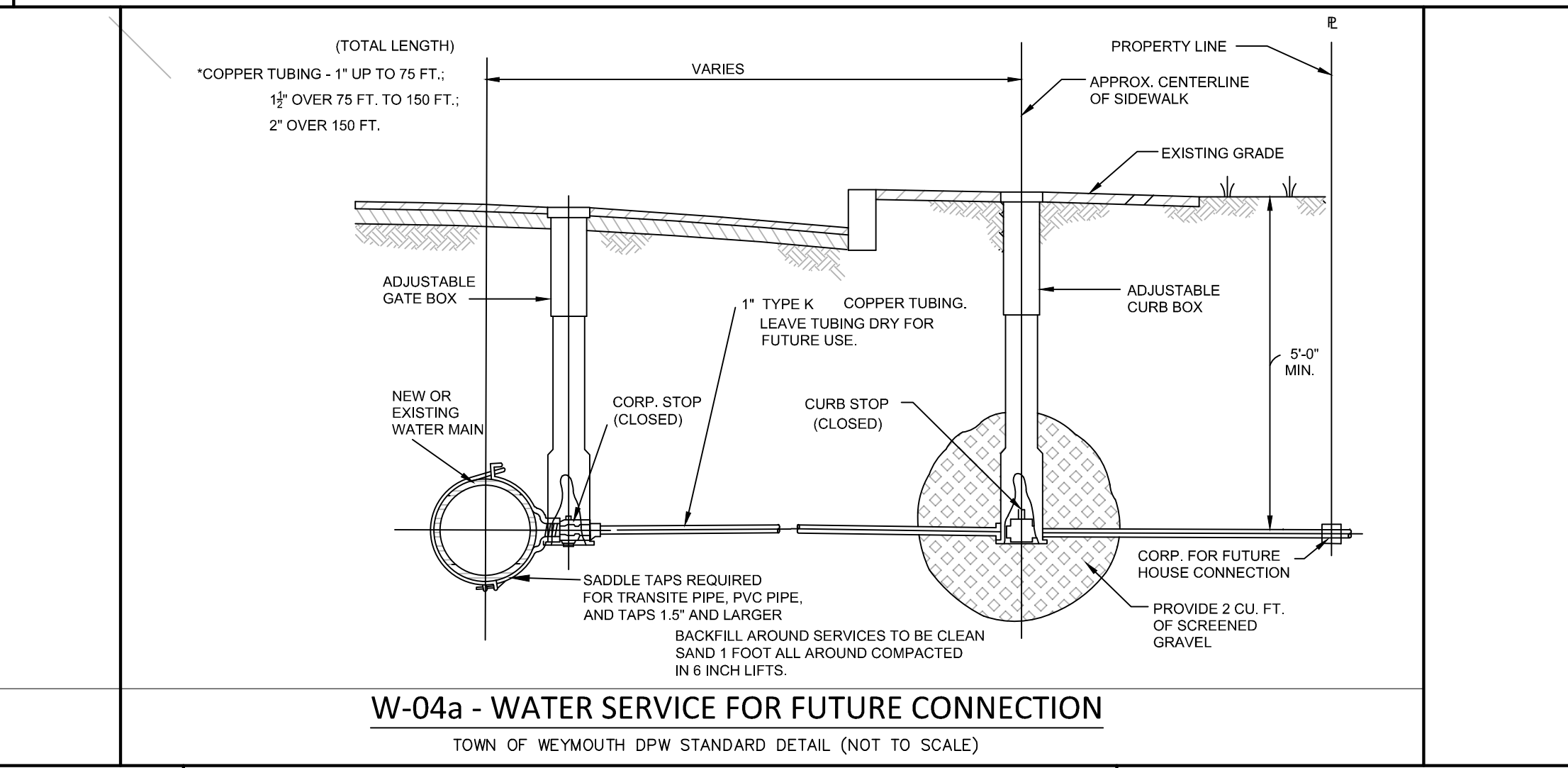
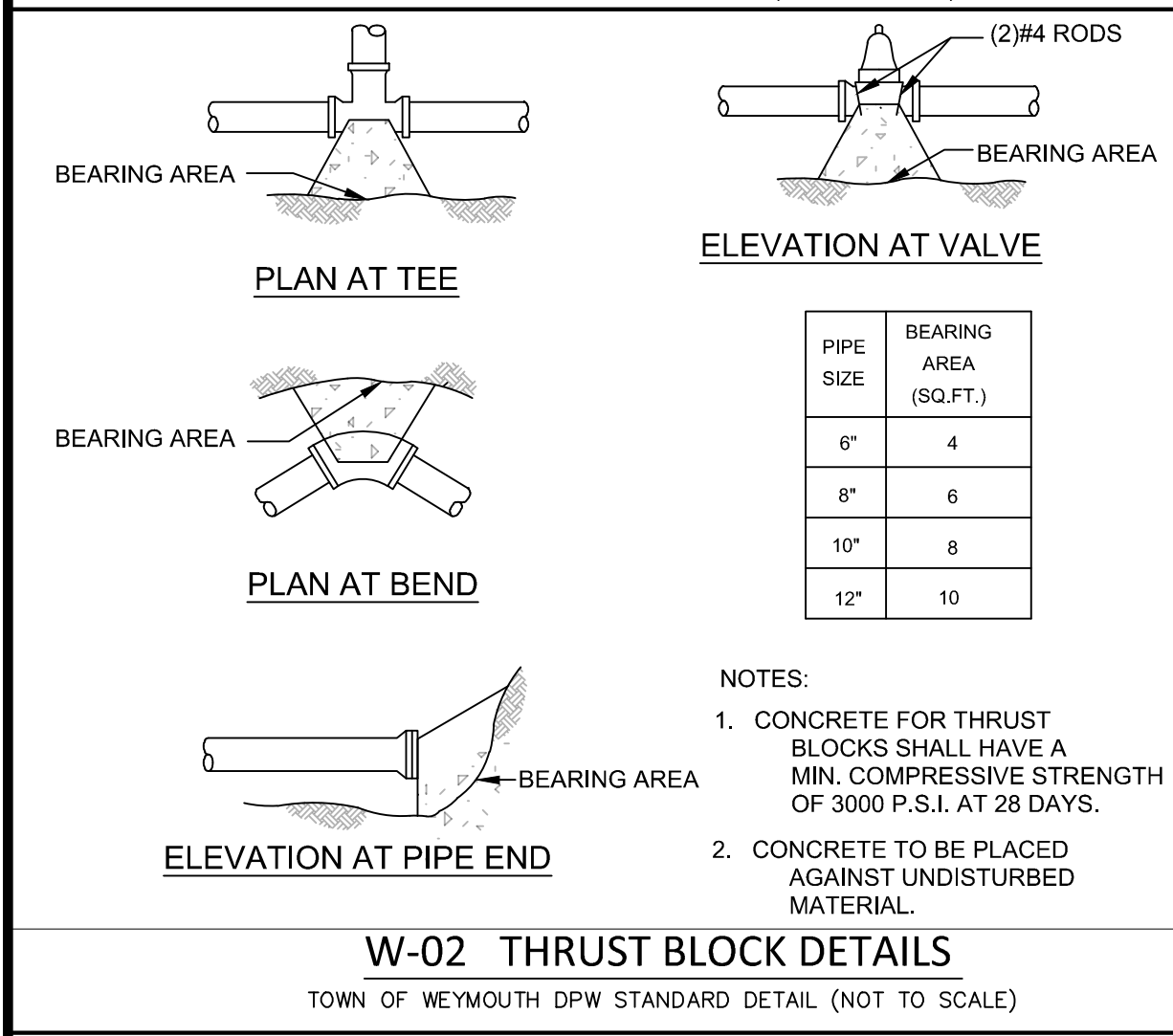
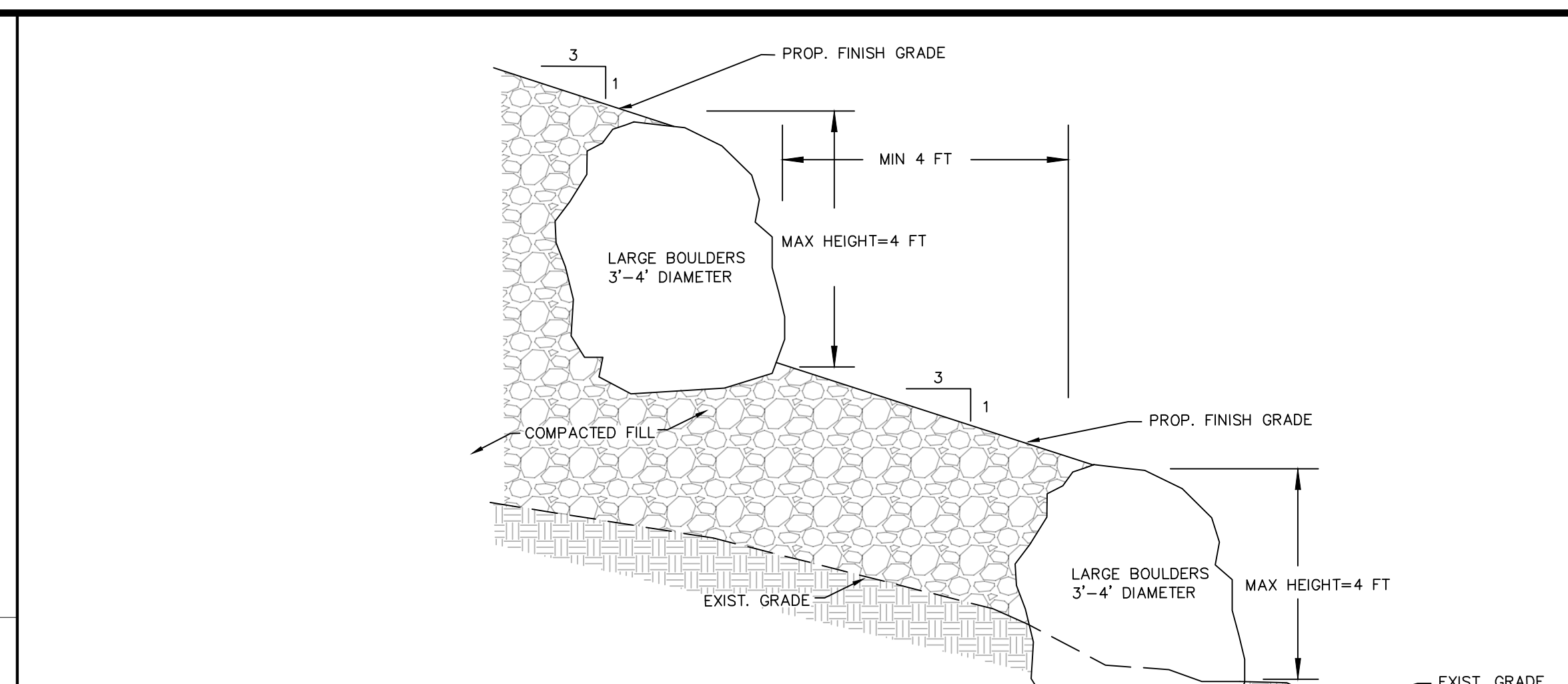
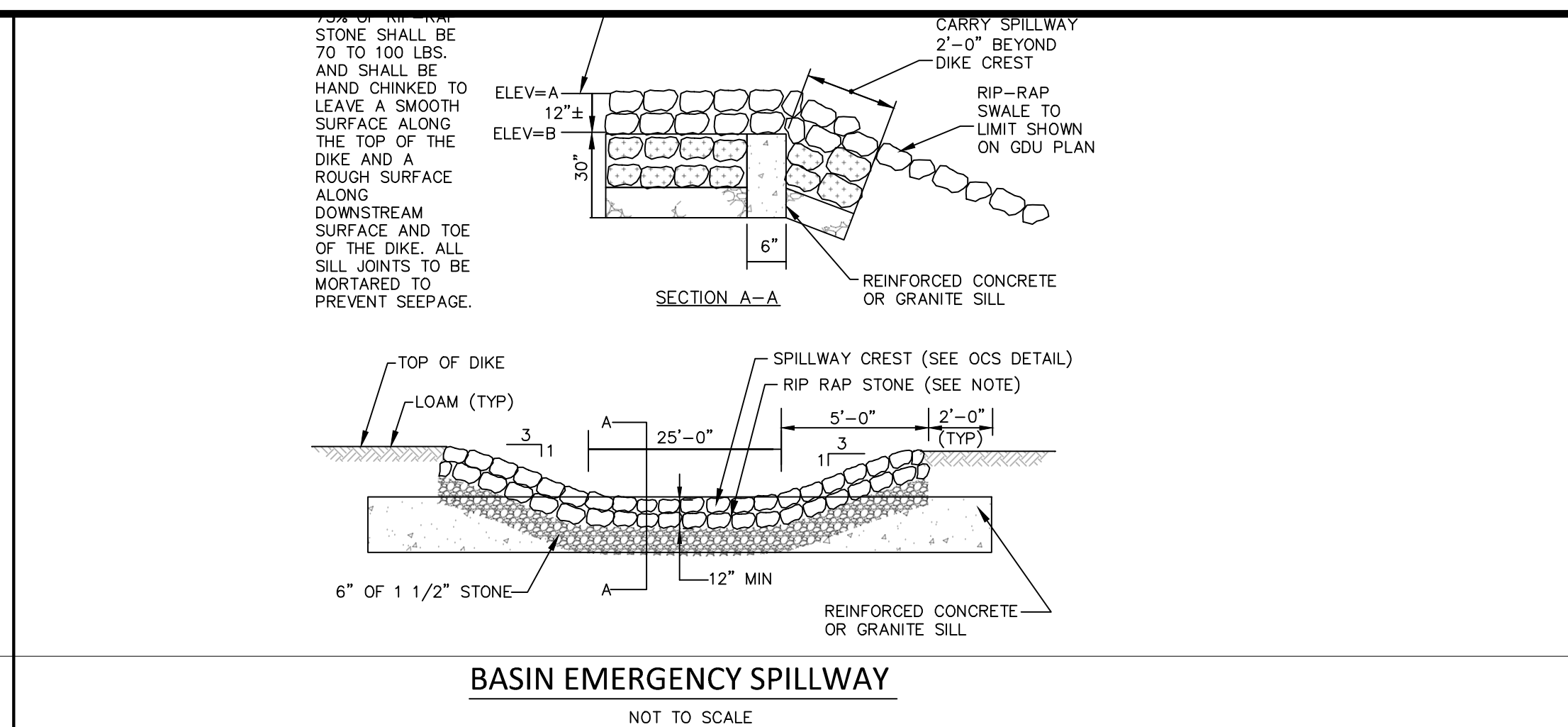
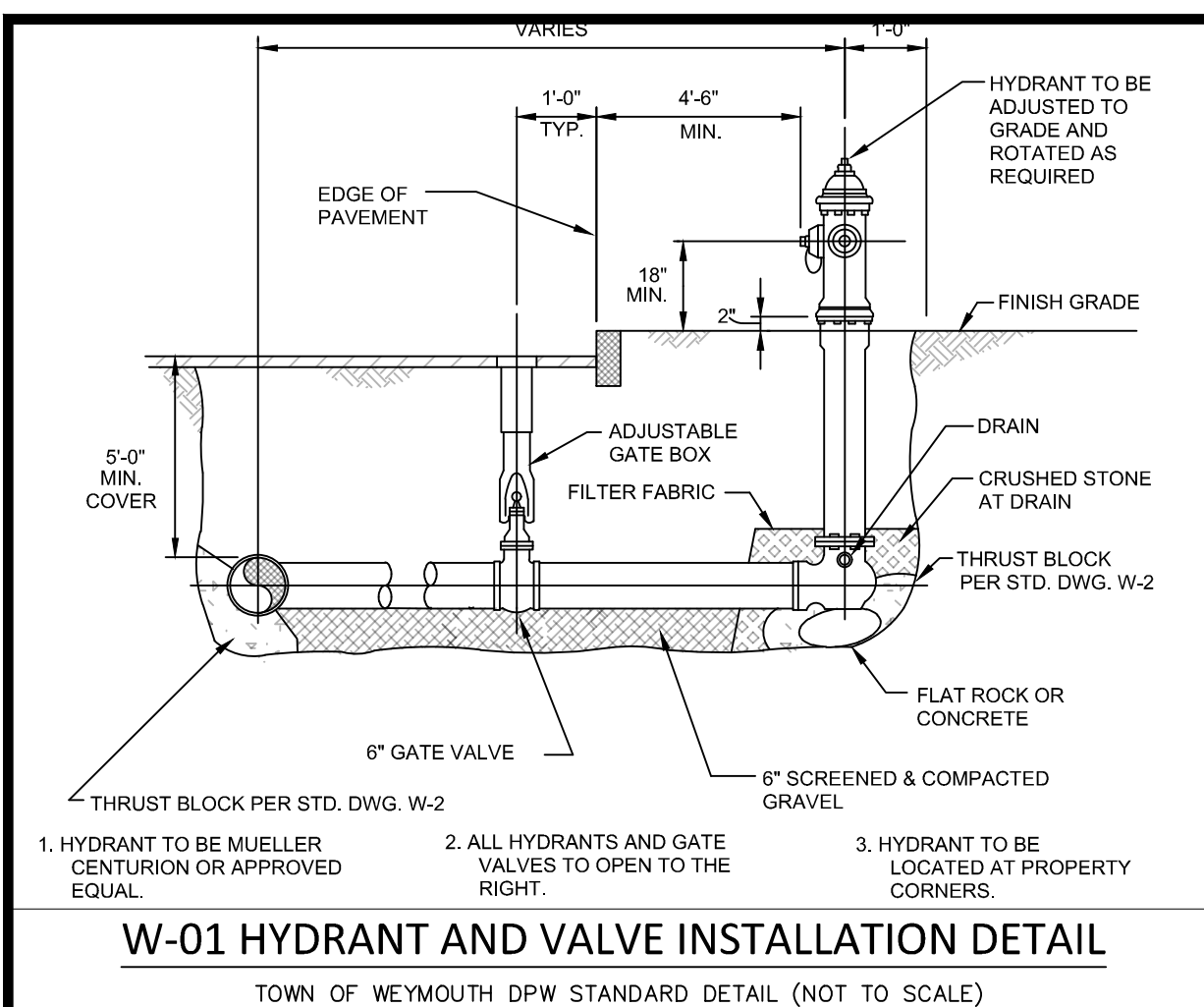
Prepared for  
**WEATHERVANE MASSAPOAG, LLC.**  
190 OLD DERBY STREET, SUITE 311  
HINGHAM, MA 02043

Drawing Title  
**DETAIL SHEET**

Project No. 100-029  
Date 12.20.2018  
Scale AS NOTED  
Drawn By SZA  
Approved By GC

Drawing No.  
**C-8.1**





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**DEFINITIVE SUBDIVISION PLAN**  
MASSAPOAG STREET  
WEYMOUTH, MA

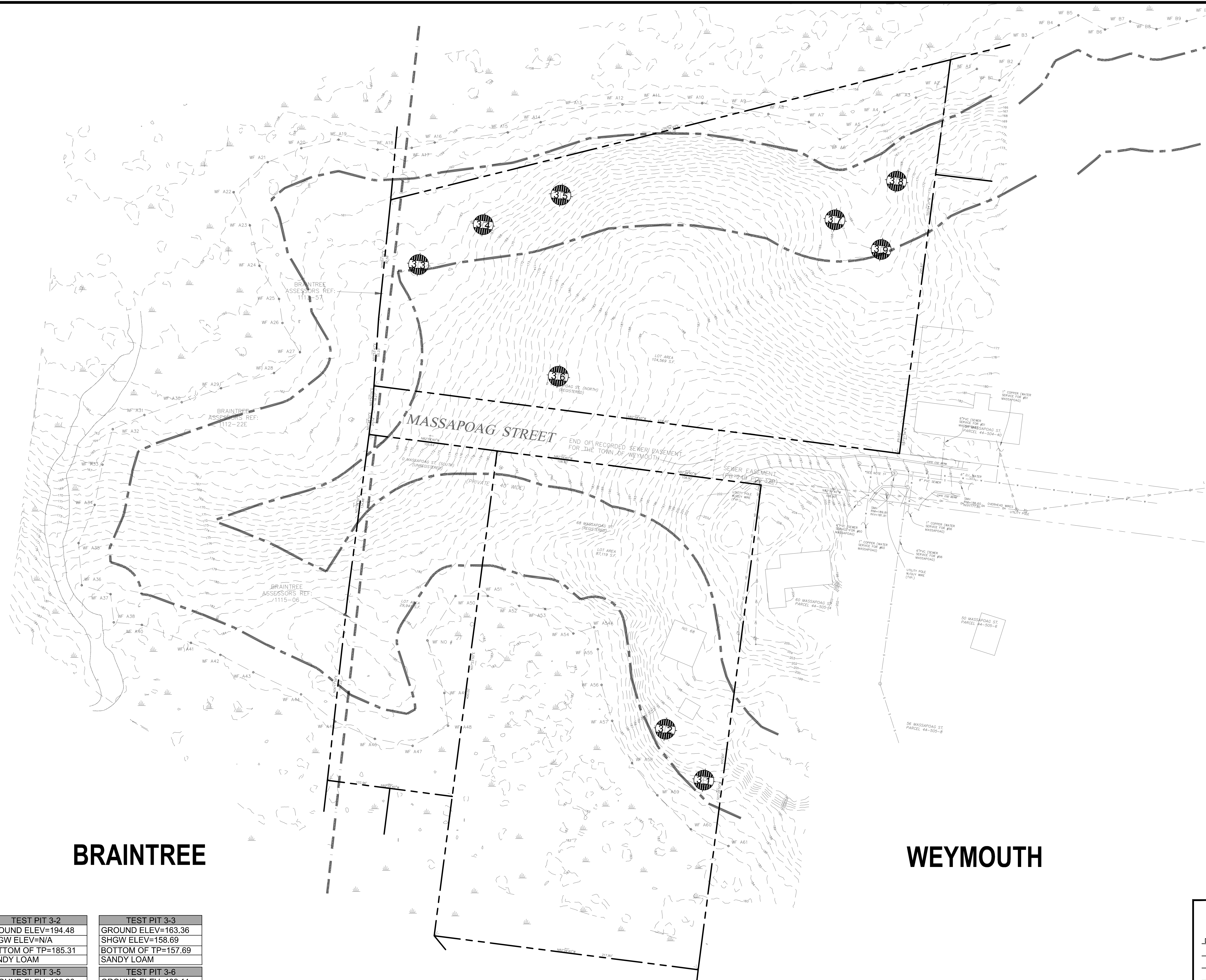
**WEATHERVANE MASSAPOAG, LLC**  
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HINGHAM, MA 02043

**DETAIL SHEET**  
Project No. 100-029 Drawing No. 12.20.2018  
Scale AS NOTED  
Drawn By SZA  
Approved By GC

**C-8.2**

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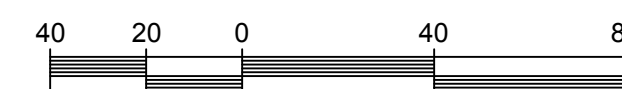
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**BRAINTREE**

**WEYMOUTH**

<b>TEST PIT 3-1</b> GROUND ELEV=188.86 SHGW ELEV=N/A BOTTOM OF TP=180.69 SANDY LOAM	<b>TEST PIT 3-2</b> GROUND ELEV=194.48 SHGW ELEV=N/A BOTTOM OF TP=185.31 SANDY LOAM	<b>TEST PIT 3-3</b> GROUND ELEV=163.36 SHGW ELEV=158.69 BOTTOM OF TP=157.69 SANDY LOAM
<b>TEST PIT 3-4</b> GROUND ELEV=165.13 SHGW ELEV=N/A BOTTOM OF TP=158.79 SANDY LOAM	<b>TEST PIT 3-5</b> GROUND ELEV=169.26 SHGW ELEV=N/A BOTTOM OF TP=163.67 SANDY LOAM	<b>TEST PIT 3-6</b> GROUND ELEV=182.11 SHGW ELEV=N/A BOTTOM OF TP=175.94 SANDY LOAM
<b>TEST PIT 3-7</b> GROUND ELEV=167.40 SHGW ELEV=N/A BOTTOM OF TP=159.90 LOAMY SAND (-20" to -90")	<b>TEST PIT 3-8</b> GROUND ELEV=167.26 SHGW ELEV=N/A BOTTOM OF TP=160.51 LOAMY SAND (-18" to -81")	<b>TEST PIT 3-9</b> GROUND ELEV=167.48 SHGW ELEV=N/A BOTTOM OF TP=160.81 LOAMY SAND (-20" to -80")



APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW  
WEYMOUTH PLANNING BOARD

DATE: \_\_\_\_\_

PLANNING BOARD ENDORSEMENT  
DOES NOT IMPLY CONFORMANCE  
WITH TOWN OF WEYMOUTH  
ZONING BY-LAW.

Date	Description	No.
11.19.21	REV. PER CON. COMM. AND TOWN ENG. COMMENTS	3.
4.23.20	REVISED PER TOWN STAFF COMMENTS	2.
2.05.19	REVISED WETLAND FLAGS AND LOT	1.

Revisions

GABRIEL R. CROCKER  
PROFESSIONAL ENGINEER, MA REGISTRATION #47917

**CROCKER DESIGN GROUP, I.L.C.**

2 SHARP STREET, UNIT B  
HINGHAM, MA 02043  
P: 781-820-0416

MASSACHUSETTS

Project

**DEFINITIVE SUBDIVISION  
PLAN**

MASSAPOAG STREET  
WEYMOUTH, MA

Prepared for

**WEATHERVANE  
MASSAPOAG, I.L.C.**

190 OLD DERBY STREET, SUITE 311  
HINGHAM, MA 02043

Drawing Title

**TEST PIT PLAN**

Project No.	100-029	Drawing No.	<b>TP-1</b>	
Date	12.20.2018	Scale		1"=40'
Drawn By	SAZ	Approved By		GC
Approved By	GC			

**LOCUS INFORMATION**  
CURRENT OWNER: 0 MASSAPOAG (SOUTH)  
ASSESSOR'S REF: 44-505-1

JAMES E. BRISTOL III  
114 SANDTRAP CIRCLE  
WEYMOUTH, MA

LEGAL REF:  
BOOK 35830 PAGE 295

PLAN REF:  
PLAN BOOK 406 PAGE 323

CURRENT OWNER: 68 MASSAPOAG  
ASSESSORS REF: 44-504-8  
0 MASSAPOAG (NORTH)  
ASSESSOR'S REF: 44-505-2

CHEYRL A. JOHNSON  
23 LEROY DRIVE  
RIVERSIDE, RI

LEGAL REF: LCC 194021

PLAN REF: LCP 36658A

**ZONE:**  
R-1  
WATERSHED PROTECTION DISTRICT

**FEMA REFERENCE:**  
ZONE X  
FIRM 25021C0236E  
DATED 7-17-12

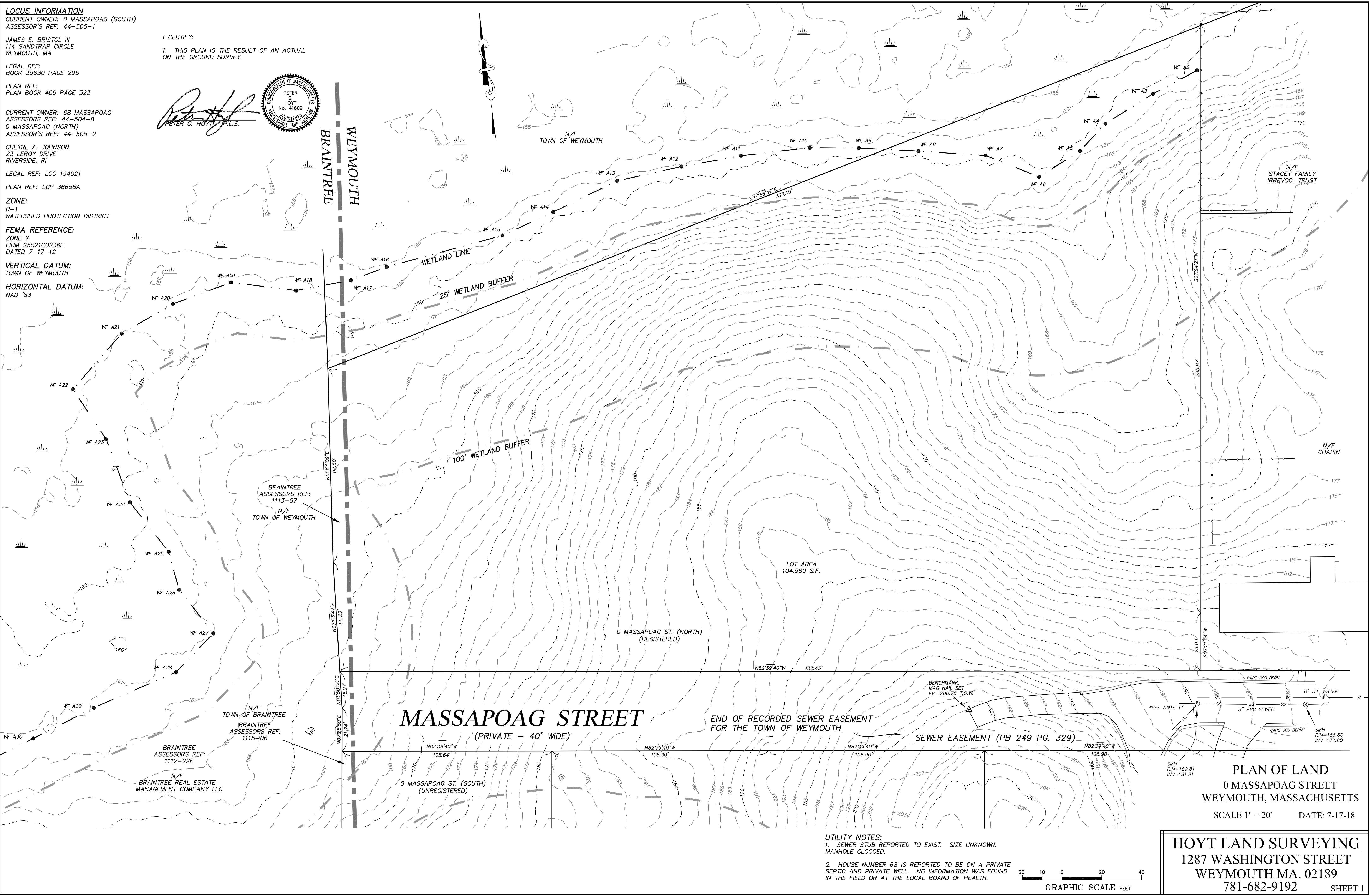
**VERTICAL DATUM:**  
TOWN OF WEYMOUTH

**HORIZONTAL DATUM:**  
NAD '83

I CERTIFY:

1. THIS PLAN IS THE RESULT OF AN ACTUAL  
ON THE GROUND SURVEY.

*Peter G. Hoyt*  
PETER G. HOYT, P.L.S.



**MASSAPOAG STREET**  
(PRIVATE - 40' WIDE)

END OF RECORDED SEWER EASEMENT  
FOR THE TOWN OF WEYMOUTH

SEWER EASEMENT (PB 249 PG. 329)

**PLAN OF LAND**  
0 MASSAPOAG STREET  
WEYMOUTH, MASSACHUSETTS  
SCALE 1" = 20' DATE: 7-17-18

**UTILITY NOTES:**  
1. SEWER STUB REPORTED TO EXIST. SIZE UNKNOWN.  
MANHOLE CLOGGED.  
2. HOUSE NUMBER 68 IS REPORTED TO BE ON A PRIVATE  
SEPTIC AND PRIVATE WELL. NO INFORMATION WAS FOUND  
IN THE FIELD OR AT THE LOCAL BOARD OF HEALTH.



**HOYT LAND SURVEYING**  
1287 WASHINGTON STREET  
WEYMOUTH MA. 02189  
781-682-9192 SHEET 1

# MASSAPOAG STREET

(PRIVATE - 40' WIDE)

END OF RECORDED SEWER EASEMENT  
FOR THE TOWN OF WEYMOUTH

SEWER EASEMENT (PB 249 PG. 329)

BRAINTREE  
ASSESSORS REF:  
1112-22E  
N/F  
BRAINTREE REAL ESTATE  
MANAGEMENT COMPANY LLC

100' WETLAND BUFFER

LOT AREA  
29,941 S.F.

68 MASSAPOAG ST.  
(REGISTERED)

LOT AREA  
87,119 S.F.

NO. 68

N/F  
YETMAN

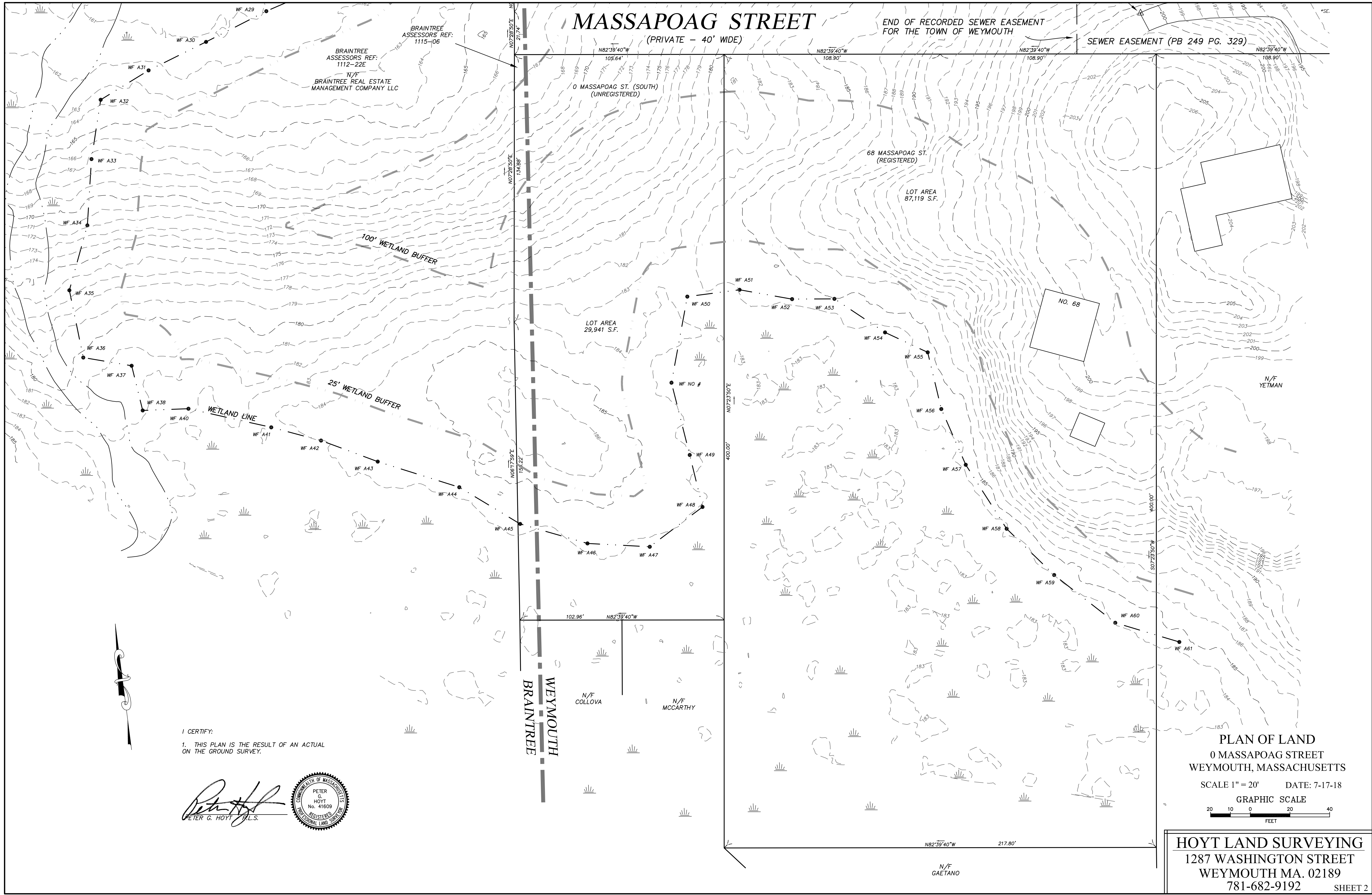
102.96' N82°39'40"W

N/F  
COLLOVA

N/F  
MCCARTHY

N82°39'40"W 217.80'

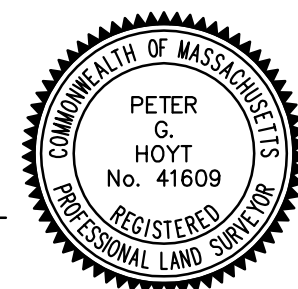
N/F  
GAETANO



I CERTIFY:

1. THIS PLAN IS THE RESULT OF AN ACTUAL  
ON THE GROUND SURVEY.

*Peter G. Hoyt*  
PETER G. HOYT L.L.S.



PLAN OF LAND  
0 MASSAPOAG STREET  
WEYMOUTH, MASSACHUSETTS

SCALE 1" = 20' DATE: 7-17-18

GRAPHIC SCALE



HOYT LAND SURVEYING  
1287 WASHINGTON STREET  
WEYMOUTH MA. 02189  
781-682-9192 SHEET 2





**POINT OF DISCHARGE 1**  
**PEAK DISCHARGE SUMMARY**  
 2-YEAR STORM = 0.00 cfs  
 10-YEAR STORM = 0.00 cfs  
 25-YEAR STORM = 0.01 cfs  
 100-YEAR STORM = 0.05 cfs

**P-2U**  
 AREA=27,381 SF  
 TC=6.0 MIN. (DIRECT ENTRY)  
 CN=xx

**P-1U**  
 AREA=8,022 SF  
 TC=6.0 MIN. (DIRECT ENTRY)  
 CN=xx

**POINT OF DISCHARGE 2**  
**PEAK DISCHARGE SUMMARY**  
 2-YEAR STORM = 0.00 cfs  
 10-YEAR STORM = 0.01 cfs  
 25-YEAR STORM = 0.05 cfs  
 100-YEAR STORM = 0.24 cfs

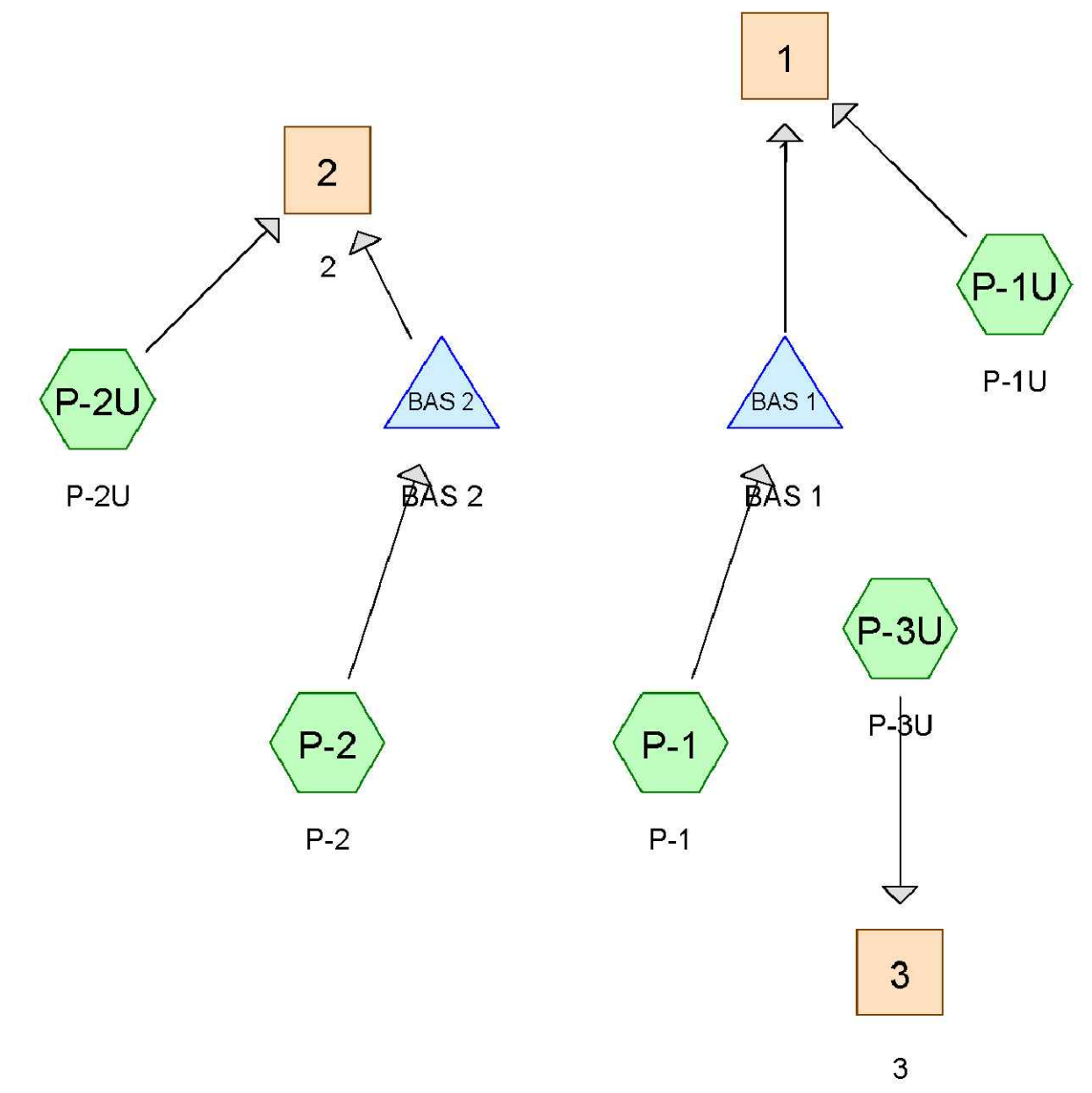
**P-2**  
 AREA=36,281 SF  
 TC=6.0 MIN.  
 CN=40

**P-1**  
 AREA=103,481 SF  
 TC=6.0 MIN.  
 CN=xx

**POINT OF DISCHARGE 4**  
**PEAK DISCHARGE SUMMARY**  
 2-YEAR STORM = 0.00 cfs  
 10-YEAR STORM = 0.00 cfs  
 25-YEAR STORM = 0.00 cfs  
 100-YEAR STORM = 0.00 cfs

**P-3U**  
 AREA=9,992 SF  
 TC=6.0 MIN. (DIRECT ENTRY)  
 CN=30

**POINT OF DISCHARGE 3**  
**PEAK DISCHARGE SUMMARY**  
 2-YEAR STORM = 0.00 cfs  
 10-YEAR STORM = 0.01 cfs  
 25-YEAR STORM = 0.04 cfs  
 100-YEAR STORM = 0.17 cfs



FOR REGISTRY USE ONLY



Date	Description	No.
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2.05.19	REVISED WETLAND FLAGS AND LOT	1.

GABRIEL R. CROCKER  
 CIVIL ENGINEER  
 No. 47917  
 REGISTERED PROFESSIONAL ENGINEER  
 MASSACHUSETTS

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 2 SHARP STREET, UNIT B  
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Project  
**DEFINITIVE SUBDIVISION PLAN**  
 MASSAPOAG STREET  
 WEYMOUTH, MA

Prepared for  
**WEATHERVANE MASSAPOAG, LLC.**  
 190 OLD DERBY STREET, SUITE 311  
 HINGHAM, MA 02043

Drawing Title  
**PROPOSED CONDITIONS WATERSHED ANALYSIS PLAN**

Project No. 100-029 Drawing No.  
 Date 12.20.2018  
 Scale 1"=40'  
 Drawn By SZA  
 Approved By GC

**PW-1**

Map unit symbol	Map unit name	Rating
52	Freetown muck, 0 to 1 percent slopes	B/D
424C	Canton fine sandy loam, 8 to 15 percent slopes, extremely bouldery	A

APPROVAL UNDER THE SUBDIVISION CONTROL LAW  
 WEYMOUTH PLANNING BOARD  
 DATE: \_\_\_\_\_

PLANNING BOARD ENDORSEMENT DOES NOT IMPLY CONFORMANCE WITH TOWN OF WEYMOUTH ZONING BY-LAW.

